

SHEET NO.	SHEET DESCRIPTION	ISSUE	DATE	DESCRIPTION
	TITLE SHEET AND SHEET INDEX	1	06/26/14	PLAN CHECK SUBMITTAL
		2	06/22/14	PLAN CHECK RESPONSE #1
A0.01	COVER SHEET	●	●	
A0.02	SHEET INDEX	●	●	
JOINT TRENCH				
JT-1	JOINT TRENCH TITLE SHEET	●	●	
JT-2	JOINT TRENCH COMPOSITE	●	●	
JT-3	JOINT TRENCH SECTIONS	●	●	
CIVIL				
C1	GRADING AND PAVING PLAN	●	●	
C2	STORM-WATER CONTROL PLAN	●	●	
C3	SITE UTILITY PLAN	●	●	
C3.1	SITE UTILITY PLAN OAK AVE TO REDWOOD AVE	●	●	
C4	EROSION CONTROL	●	●	
C4.1	EROSION NOTES & DETAILS	●	●	
LANDSCAPE				
L-1.1	CONSTRUCTION LAYOUT PLAN	●	●	
L-1.2	CONSTRUCTION LAYOUT PLAN	●	●	
L-2.1	IRRIGATION PLAN	●	●	
L-2.2	IRRIGATION LEGEND, DETAILS AND NOTES	●	●	
L-3.1	PLANTING PLAN	●	●	
L-3.2	PLANT LIST, DETAILS AND NOTES	●	●	
ARCHITECTURAL				
A0.11	CODE ANALYSIS	●	●	
A0.12	SITE EGRESS	●	●	
A0.13	OVERALL FIRST FLOOR EXITING PLAN	●	●	
A0.14	OVERALL SECOND FLOOR EXITING PLAN	●	●	
A0.15	EXTERIOR WALL OPENING CODE COMPLIANCE	●	●	
A0.21	TYPICAL SYMBOLS AND ABBREVIATIONS	●	●	
A0.22	MASTER KEYNOTES	●	●	
A0.23	GENERAL NOTES	●	●	
A0.24	GENERAL NOTES	●	●	
A0.25	GENERAL NOTES	●	●	
A0.26	GENERAL NOTES	●	●	
A0.27	GENERAL NOTES	●	●	
A0.31	CONDITIONS OF APPROVAL	●	●	
A0.32	CITY BUILDING SECURITY ORDINANCE	●	●	
A0.33	CITY BUILDING SECURITY ORDINANCE	●	●	
A0.41	GENERAL NOTES CBC CHAPTER 11A	●	●	
A0.42	GENERAL NOTES CBC CHAPTER 11A	●	●	
A0.43	GENERAL NOTES CBC CHAPTER 11A & CBC 11A DETAILS	●	●	
A0.44	CBC CHAPTER 11A DETAILS	●	●	
A0.51	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.52	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.53	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.54	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.55	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.56	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.57	GENERAL NOTES CBC CHAPTER 11B	●	●	
A0.61	CBC CHAPTER 11B DETAILS	●	●	
A0.62	CBC CHAPTER 11B DETAILS	●	●	
A0.63	CBC CHAPTER 11B DETAILS	●	●	
A0.71	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	
A0.72	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	
A0.73	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	
A0.74	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	
A0.75	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	
A0.76	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	
A0.77	CALIFORNIA GREEN BUILDING STANDARDS CODE	●	●	

SHEET NO.	SHEET DESCRIPTION	ISSUE	DATE	DESCRIPTION
	ARCHITECTURAL (CONT.)	1	06/26/14	PLAN CHECK SUBMITTAL
		2	06/22/14	PLAN CHECK RESPONSE #1
A1.01	SITE PLAN	●	●	
A2.01	OVERALL FLOOR PLAN 1	●	●	
A2.01a	OVERALL SLAB DEPRESSION BUILDING PLAN 1	●	●	
A2.02	OVERALL FLOOR PLAN 2	●	●	
A2.03	OVERALL ROOF PLAN	●	●	
A2.04	ROOF VENTILATION CALCULATION	●	●	
A2.11	OVERALL FIRST FLOOR REFLECTED CEILING PLAN	●	●	
A2.12	OVERALL SECOND FLOOR REFLECTED CEILING PLAN	●	●	
A3.01	EXTERIOR ELEVATIONS	●	●	
A3.02	EXTERIOR ELEVATIONS	●	●	
A3.11	BUILDING SECTIONS	●	●	
A3.12	BUILDING SECTIONS	●	●	
A3.21	WALL SECTIONS	●	●	
A3.22	WALL SECTIONS	●	●	
A3.23	WALL SECTIONS	●	●	
A3.24	WALL SECTIONS	●	●	
A4.01	PARTIAL FIRST FLOOR PLAN	●	●	
A4.02	PARTIAL FIRST FLOOR PLAN	●	●	
A4.03	PARTIAL FIRST FLOOR PLAN	●	●	
A4.04	PARTIAL FIRST FLOOR PLAN	●	●	
A4.05	PARTIAL FIRST FLOOR PLAN	●	●	
A4.11	PARTIAL SECOND FLOOR PLAN	●	●	
A4.12	PARTIAL SECOND FLOOR PLAN	●	●	
A4.13	PARTIAL SECOND FLOOR PLAN	●	●	
A4.14	PARTIAL SECOND FLOOR PLAN	●	●	
A4.15	PARTIAL SECOND FLOOR PLAN	●	●	
A5.01	UNIT PLANS	●	●	
A5.02	UNIT PLANS	●	●	
A5.11	ENLARGED ELEVATOR & TRASH ROOM PLANS & SECTIONS	●	●	
A5.12	STAIR #1 & #2 ENLARGED PARTIAL PLANS & SECTIONS	●	●	
A5.13	RAMP & GYM ENLARGED PARTIAL PLANS & SECTIONS	●	●	
A5.21	VERTICAL CIRCULATION DETAILS	●	●	
A5.22	ELEVATOR NOTES & DETAILS	●	●	
A6.01	INTERIOR ELEVATIONS	●	●	
A6.02	INTERIOR ELEVATIONS	●	●	
A6.03	INTERIOR ELEVATIONS	●	●	
A7.00	CODE ASSEMBLY DETAILS & FIRESTOP PENETRATION	●	●	
A7.01	CODE DETAILS	●	●	
A7.02	CODE DETAILS	●	●	
A7.03	CODE DETAILS	●	●	
A7.04	CODE DETAILS	●	●	
A7.05	CODE DETAILS	●	●	
A7.06	CODE DETAILS	●	●	
A7.07	CODE DETAILS	●	●	
A7.08	CODE DETAILS	●	●	
A8.01	ROOF DETAILS	●	●	
A8.02	ROOF DETAILS	●	●	
A8.03	MEMBRANE ROOF DETAILS	●	●	
A8.04	MEMBRANE ROOF DETAILS	●	●	
A8.05	MEMBRANE ROOF DETAILS	●	●	
A8.06	EXTERIOR DETAILS	●	●	
A8.07	EXTERIOR DETAILS	●	●	
A8.08	EXTERIOR DETAILS	●	●	
A8.09	EXTERIOR DETAILS	●	●	
A8.10	EXTERIOR DETAILS	●	●	
A9.01	INTERIOR DETAILS	●	●	
A9.02	INTERIOR DETAILS	●	●	

SHEET NO.	SHEET DESCRIPTION	ISSUE	DATE	DESCRIPTION
	ARCHITECTURAL (CONT.)	1	06/26/14	PLAN CHECK SUBMITTAL
		2	06/22/14	PLAN CHECK RESPONSE #1
A10.01	FINISH SCHEDULE	●	●	
A10.02	DOOR SCHEDULE	●	●	
A10.02a	DOOR HARDWARE GROUPS	●	●	
A10.03	WINDOW SCHEDULE	●	●	
A10.04	EXTERIOR FLASHING DETAILS	●	●	
A10.05	DOOR DETAILS	●	●	
A10.06	WINDOW DETAILS	●	●	
A10.07	DOOR & WINDOW DETAILS	●	●	
STRUCTURAL				
S1.0	STRUCTURAL NOTES & ABBREVIATIONS	●	●	
S1.1	STRUCTURAL NOTES & ABBREVIATIONS	●	●	
S2.0	FOUNDATION PLAN	●	●	
S2.1	GROUND LEVEL FRAMING PLAN	●	●	
S2.2	2ND LEVEL FRAMING PLAN	●	●	
S2.3	ROOF FRAMING PLAN	●	●	
S3.1	STRUCTURAL DETAILS	●	●	
S3.2	STRUCTURAL DETAILS	●	●	
S3.3	STRUCTURAL DETAILS	●	●	
S4.1	STRUCTURAL DETAILS	●	●	
S4.2	STRUCTURAL DETAILS	●	●	
S4.3	STRUCTURAL DETAILS	●	●	
S4.4	STRUCTURAL DETAILS	●	●	
S5.1	STRUCTURAL DETAILS	●	●	
MECHANICAL				
M0.1	GENERAL NOTES, FIXT. SCHEDULE & SYMBOLS LIST	●	●	
M0.2	MECHANICAL CALCULATIONS	●	●	
M0.3	MECHANICAL DETAILS	●	●	
M2.0	FIRST FLOOR OVERALL PLAN - MECHANICAL	●	●	
M2.1	SECOND FLOOR OVERALL PLAN - MECHANICAL	●	●	
M2.3	UNIT FLOOR PLANS - MECHANICAL	●	●	
M2.4	UNIT FLOOR PLANS - MECHANICAL	●	●	
ELECTRICAL				
E2.01	OVERALL FIRST FLOOR ELECTRICAL PLAN	●	●	
E2.02	OVERALL SECOND FLOOR ELECTRICAL PLAN	●	●	
E2.1	PARTIAL FIRST FLOOR ELECTRICAL POWER PLAN	●	●	
E2.2	PARTIAL FIRST FLOOR ELECTRICAL POWER PLAN	●	●	
E2.3	PARTIAL SECOND FLOOR ELECTRICAL POWER PLAN	●	●	
E2.4	PARTIAL SECOND FLOOR ELECTRICAL POWER PLAN	●	●	
E2.5	PARTIAL FIRST FLOOR ELECTRICAL LIGHTING PLAN	●	●	
E2.6	PARTIAL FIRST FLOOR ELECTRICAL LIGHTING PLAN	●	●	
E2.7	PARTIAL SECOND FLOOR ELECTRICAL LIGHTING PLAN	●	●	
E2.8	PARTIAL SECOND FLOOR ELECTRICAL LIGHTING PLAN	●	●	
E2.9	TYP UNIT PLANS A, B, C, D, E	●	●	
PLUMBING				
P0.01	PLUMBING LEGEND, SCHEDULES & NOTES	●	●	
P2.01	FIRST FLOOR GAS & WATER PLAN	●	●	
P2.02	SECOND FLOOR GAS & WATER PLAN	●	●	
P2.03	ROOF LEVEL GAS & WATER PLAN	●	●	
P2.04	FIRST FLOOR WASTE & VENT PLAN	●	●	
P2.05	SECOND FLOOR WASTE & VENT PLAN	●	●	
P2.06	ROOF LEVEL WASTE & VENT PLAN	●	●	
P3.01	PLUMBING SECTIONS	●	●	
P4.01	PLUMBING WASTE & VENT RISER DIAGRAMS	●	●	
P5.01	PLUMBING PARTIAL PLANS	●	●	
P5.02	PLUMBING PARTIAL PLANS	●	●	
P5.04	PLUMBING PARTIAL PLANS	●	●	
P5.05	PLUMBING PARTIAL PLANS	●	●	
P6.01	PLUMBING DETAILS	●	●	

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VAN TILBURG, BANYARD & SODERBERGH, AIA
 ARCHITECTURE · PLANNING · INTERIORS

WILLOW HOUSING
 605 WILLOW ROAD
 MENLO PARK, CALIFORNIA

WILLOW HOUSING, L.P.
 470 SOUTH MARKET STREET
 SAN JOSE, CALIFORNIA 95113

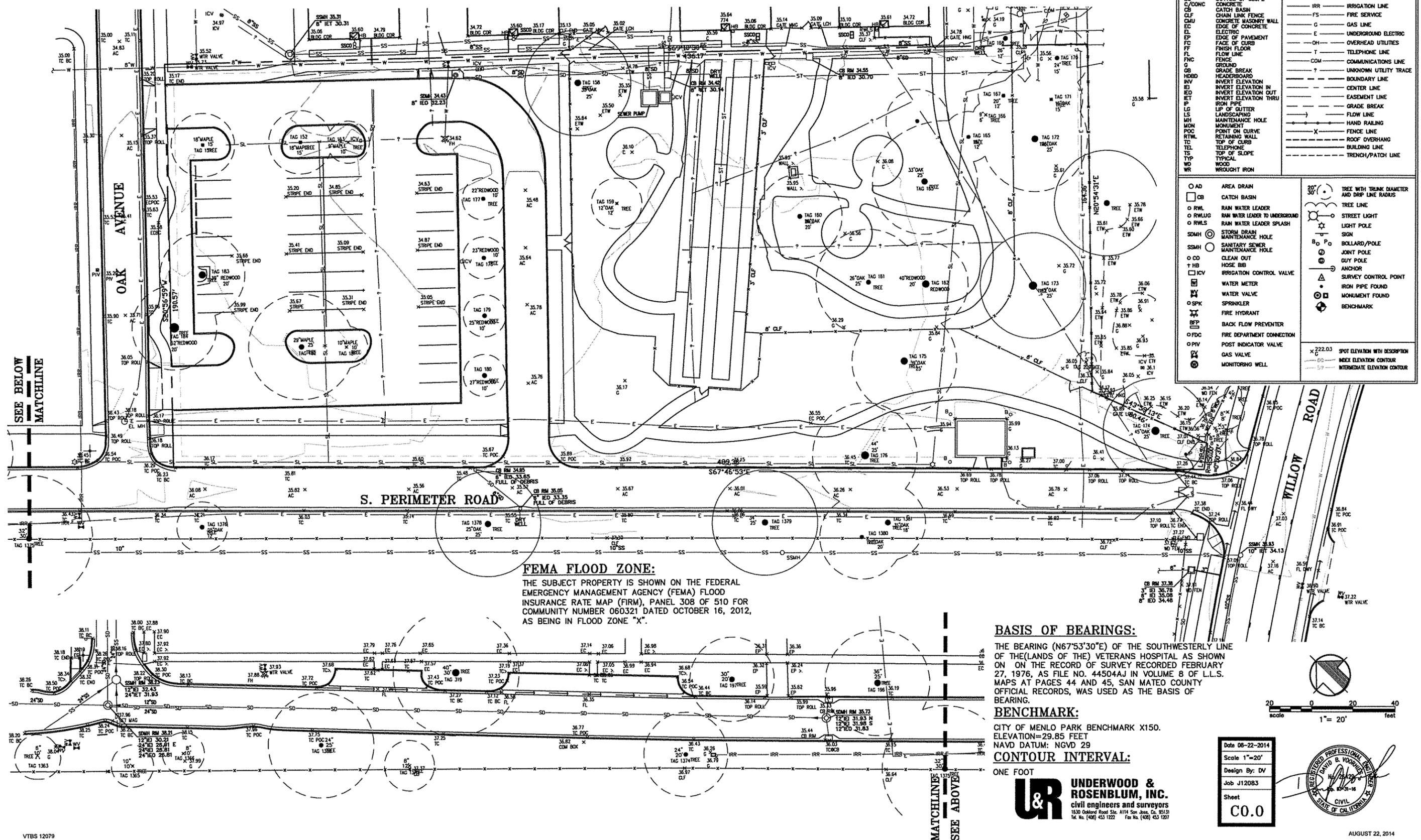


ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITTAL
2	06-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

SHEET INDEX

A0.02



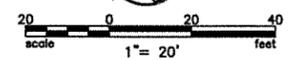
LEGEND			
AC	ASPHALT CONCRETE	SD	STORM DRAIN LINE
AD	AREA DRAIN	SS	SANITARY SEWER LINE
BC	BEGIN CURVE	W	WATER LINE
BLD COR	BUILDING CORNER	IRR	IRRIGATION LINE
BS	BOTTOM OF SLOPE	FS	FIRE SERVICE
C/CONC	CONCRETE	G	GAS LINE
CB	CATCH BASIN	E	UNDERGROUND ELECTRIC
CLF	CHAIN LINK FENCE	OH	OVERHEAD UTILITIES
CMU	CONCRETE MASONRY WALL	T	TELEPHONE LINE
EL	ELECTRIC	COM	COMMUNICATIONS LINE
EP	EDGE OF PAVEMENT	?	UNKNOWN UTILITY TRACE
FC	FACE OF CURB	BL	BOUNDARY LINE
FL	FINISH FLOOR	CL	CENTER LINE
FL	FLOW LINE	EL	EASEMENT LINE
FNC	FENCE	GB	GRADE BREAK
G	GRADE	IB	INVERT ELEVATION
GB	GRADE BREAK	IB	INVERT ELEVATION IN
HDBD	HEADERBOARD	IT	INVERT ELEVATION THRU
INV	INVERT ELEVATION	IP	IRON PIPE
IED	INVERT ELEVATION OUT	LG	LANDSCAPING
IP	INVERT ELEVATION THRU	LS	LANDSCAPING
IS	IRON PIPE	MH	MAINTENANCE HOLE
LG	LANDSCAPING	MON	MONUMENT
LS	LANDSCAPING	POC	POINT ON CURVE
MH	MAINTENANCE HOLE	RTWL	RETAINING WALL
MON	MONUMENT	TC	TOP OF CURB
POC	POINT ON CURVE	TEL	TELEPHONE
RTWL	RETAINING WALL	TS	TOP OF SLOPE
TC	TOP OF CURB	TOP	TYPICAL
TEL	TELEPHONE	WD	WOOD
TS	TOP OF SLOPE	WR	WROUGHT IRON
TOP	TYPICAL		
WD	WOOD		
WR	WROUGHT IRON		

FEMA FLOOD ZONE:
 THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM), PANEL 308 OF 510 FOR COMMUNITY NUMBER 060321 DATED OCTOBER 16, 2012, AS BEING IN FLOOD ZONE "X".

BASIS OF BEARINGS:
 THE BEARING (N67°53'30"E) OF THE SOUTHWESTERLY LINE OF THE (LANDS OF THE) VETERANS HOSPITAL AS SHOWN ON THE RECORD OF SURVEY RECORDED FEBRUARY 27, 1976, AS FILE NO. 44504AJ IN VOLUME 8 OF L.L.S. MAPS AT PAGES 44 AND 45, SAN MATEO COUNTY OFFICIAL RECORDS, WAS USED AS THE BASIS OF BEARING.

BENCHMARK:
 CITY OF MENLO PARK BENCHMARK X150.
 ELEVATION=29.85 FEET
 NAVD DATUM: NGVD 29

CONTOUR INTERVAL:
 ONE FOOT



Date: 08-22-2014
 Scale: 1"=20'
 Design By: DV
 Job: J12083
 Sheet: C0.0



VTBS 12079

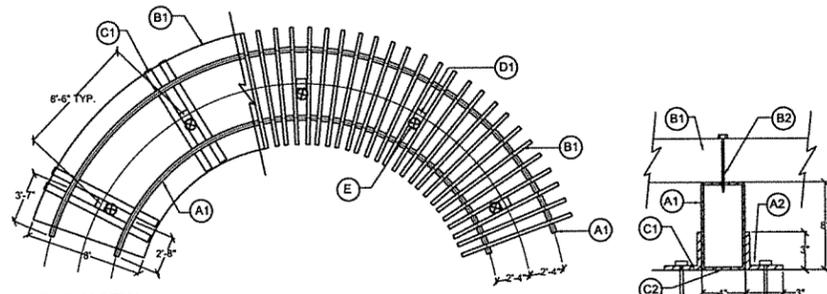
AUGUST 22, 2014

COREaffordable

WILLOW HOUSING
 605 WILLOW ROAD,
 MENLO PARK, CALIFORNIA

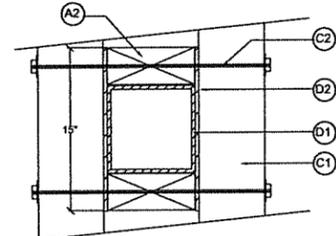
TOPOGRAPHIC SURVEY

DELTA 1 - PLAN CHECK RESPONSE #1

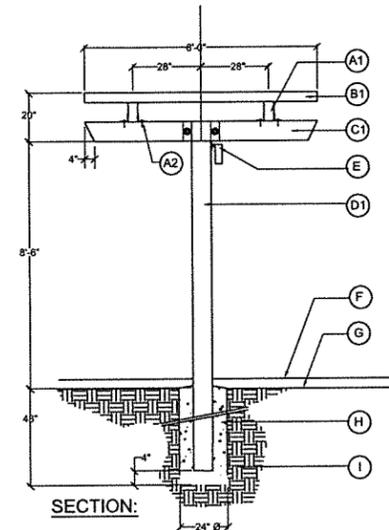


PLAN VIEW:

ENLARGEMENT SECTION:
TRELLIS CONNECTION AT PURLINS



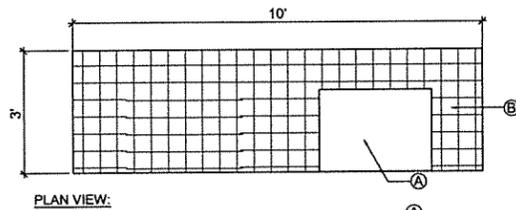
ENLARGEMENT PLAN VIEW:
TRELLIS CONNECTION AT POSTS



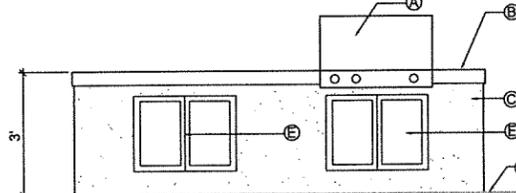
SECTION:

- DESCRIPTIONS:**
- A1 - CURVED 4"x8" STEEL TUBE PURLIN WITH WELDED END CAPS; SECURE TO 6x8 RSDF BEAMS WITH 1/2" LAG SCREWS (PROVIDE ACCESS ON TOP OF PURLIN SIMILAR TO HOLES AT BOTTOM OF PURLIN FOR TRELLIS CONNECTIONS).
 - A2 - 3"x3"x1/4" STEEL 'ELL' WELDED TO PURLINS, SECURE TO WOOD BEAMS WITH 3/4" LAG SCREWS.
 - B1 - 3/4" ROUGH SAWN DOUGLAS FIR PICKETS ON EDGE AT 12" O.C. SPACING AT POST CENTERLINE, SET ON RADIAL ALIGNMENT.
 - B2 - 1/4" LAG SCREW CONNECTION INTO PURLIN FROM WOOD PICKETS.
 - C1 - 6x8 RSDF BEAMS SECURED TO POSTS; CUT ENDS AS SHOWN.
 - C2 - 3/4" THREADED THREADED RODS, HEX NUTS AND MALEABLE WASHERS, CUT ROD FLUSH, GRIND SMOOTH.
 - D1 - 8x8 STEEL TUBE POSTS WITH 1/4" THK. STEEL PLATES WELDED AT TOP FOR SECURING WOOD BEAMS; POSTS SET ON RADIAL ALIGNMENT IN CONCRETE.
 - D2 - 6"x15"x1/4" STEEL PLATE WELDED TO EACH SIDE OF POST AT BEAMS.
 - D3 - RSDF WOOD BLOCKING AT THREADED RODS BETWEEN STEEL PLATES.
 - E - LOW VOLT DOWN LIGHT FIXTURES MOUNTED ON POSTS; WIRES CONCEALED WITHIN STEEL POSTS. SEE LAYOUT PLAN FOR LIGHT FIXTURE SPECIFICATION.
 - F - FINISH SURFACE OF 4" DEEP DECOMPOSED GRANITE.
 - G - FINISH GRADE.
 - H - 24" Ø x 48" DEEP CONCRETE FOOTING AT EACH POST.
 - I - COMPACTED SUBGRADE.
 - J - WOOD POST EXTENDS 2" INTO 4" SAND BASE AT BOTTOM OF FOOTING.
- NOTES:**
1. STEEL PURLINS TO BE 3/16" THICK.
 2. STEEL POSTS TO BE 1/4" THICK.
 3. ALL EXPOSED WOOD AND STEEL SURFACES TO RECEIVE ONE COAT PRIMER AND (2) COATS 'RUST-O-LEUM' PAINT, COLOR TO BE SELECTED.
 4. ALL METAL FASTENERS SHALL BE GALVANIZED.
 5. ALL WELDS SHALL BE FREE OF PITS OR POROSITY, GRIND SMOOTH.

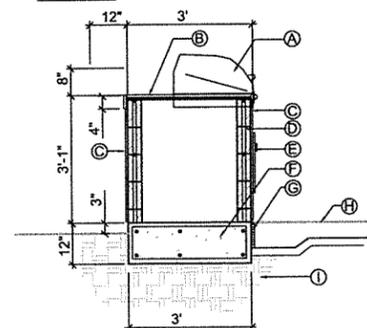
11 CURVED STEEL TRELLIS DETAIL
NO SCALE



PLAN VIEW:



ELEVATION:

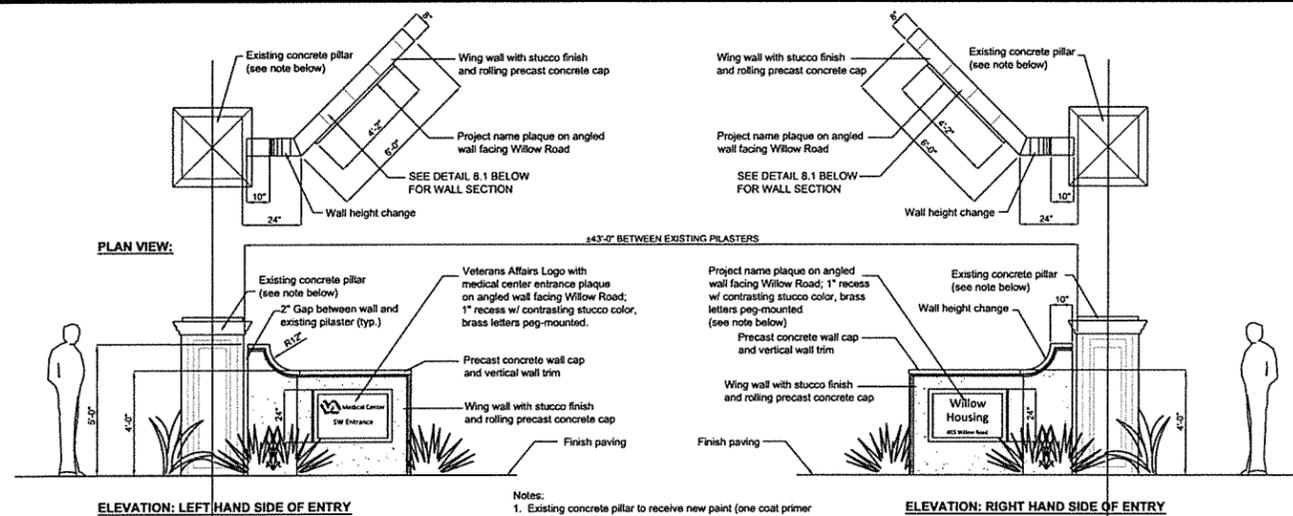


SECTION VIEW:

- ITEM DESCRIPTIONS:**
- A - DROP-IN STAINLESS STEEL GAS BBQ UNIT; REFER TO CONSTRUCTION LAYOUT PLAN FOR SPECIFICATION.
 - B - 4" SQUARE CERAMIC TILE COUNTER TOP AND WRAP AROUND EDGE SET ON 1/2" UNDERLAYMENT; TILE TO BE SELECTED.
 - C - STUCCO FINISH ON ALL EXTERIOR EXPOSED MASONRY SURFACES, TO MATCH ARCHITECTURE STUCCO FINISH AND COLOR.
 - D - 4" WIDE CMU BLOCK CONSTR. WITH PENCIL ROD REINFORCEMENT, GROUT ALL CELLS SOLID.
 - E - PROVIDE 30" WIDE DOUBLE STAINLESS STEEL (STORAGE ACCESS) DOORS BELOW EACH BARBECUE UNIT.
 - F - 12" THICK CONCRETE FOOTING WITH (6) #4 HORIZ. BAR AND #4 BAR WRAP AT 16" O.C. SPACING.
 - G - PROVIDE 1/2" FIBER EXPANSION JOINT WITH 1/2" BEAD OF POLYURETHANE SEALANT ALONG PAVING EDGES.
 - H - PAVING SURFACE - SEE LAYOUT PLANS.
 - I - COMPACTED SUBGRADE.

NOTE:
PROVIDE CONNECTION TO GAS LINE STUB AND EXTEND TO GRILL LOCATIONS.

12 BUILT-IN COUNTER WITH DROP-IN GAS GRILLS
NO SCALE



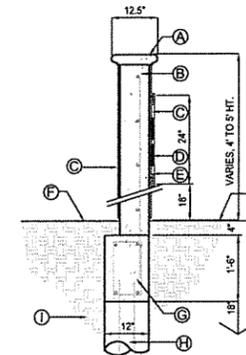
PLAN VIEW:

ELEVATION: LEFT HAND SIDE OF ENTRY

ELEVATION: RIGHT HAND SIDE OF ENTRY

- Notes:**
1. Existing concrete pillar to receive new paint (one coat primer and (2) coats finish paint to be selected).
 2. Willow Housing signage (only) note: The applicant shall provide sign lettering with at least 6" tall with 3/4" stroke illuminated address numbers at the Willow Road entrance (Fire Department Requirement).
 3. Coordinate with Electrician for signage lighting.

8 PROJECT ENTRY MONUMENTS AT WILLOW ROAD



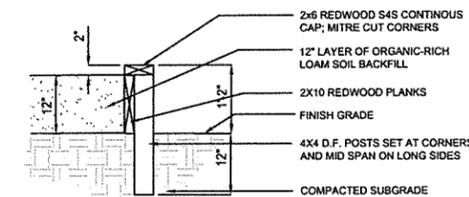
SECTION:

8.1 ENTRY MONUMENT WALL W/ STUCCO FINISH DETAIL
NO SCALE

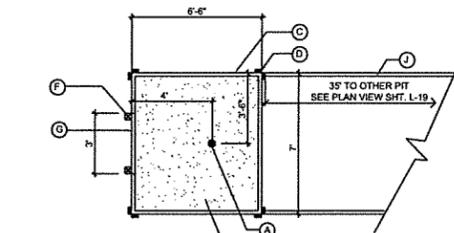
ITEM DESCRIPTIONS:

- A - 12.5" W x 2.75" HT. PRECAST CONCRETE WALL CAP, KAY-TEE PRODUCTS #CC-DBN-300.12.5w; CUT TO 6" LENGTHS FOR CONCAVED TOP; DAVIS INTEGRAL COLOR TO BE SELECTED.
- B - 8" THICK CONCRETE CONSTRUCTION WITH #4 BAR AT 16" O.C. EACH WAY.
- C - STUCCO FINISH ON ALL EXPOSED WALL SURFACES; COLOR AND TEXTURE TO MATCH ARCHITECTURE STUCCO; STUCCO COLOR WITHIN SIGN LETTER FIELD TO BE CONTRASTING DARKER COLOR (TO BE SELECTED).
- D - 6" HT. BRASS LETTERING PER FIRE DEPARTMENT STANDARDS.
- E - 1"x2" FOAM MOULDING FRAME AROUND SIGN LETTER AREA.
- F - FINISH GRADE / FINISH PAVING; SEE LAYOUT PLAN.
- G - 12" x 18" CONTINUOUS CONCRETE FOOTING WITH (4) #4 HORIZ. BAR AND #4 BAR WRAP AT 16" O.C.
- H - 12" Ø CONCRETE PIER FOOTING W/ (4) #4 BAR; AT EACH END OF WALL, AND AT 8 FT. O.C. MAX.
- I - COMPACTED SUBGRADE.

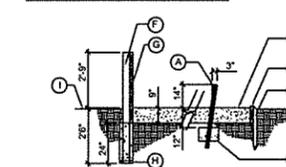
NOTE:
PRECAST CONCRETE AVAILABLE THROUGH:
KAY-TEE PRODUCTS, SANTA ROSA, CA (707-576-1018)
www.castkeyteeinc.com



10 RAISED VEGETABLE GARDEN PLANTER
NO SCALE



PLAN VIEW: HORSE SHOE PIT



SECTION: HORSE SHOE PIT

- DESCRIPTION:**
- A - STEEL STAKE, LEAN FORWARD 3" FROM PLUMB, EMBEDDED IN CONCRETE BASE.
 - B - 8" LAYER OF CLEAN PLAYGROUND SAND; SET 1" BELOW TOP OF PERIMETER HEADERS.
 - C - 2x10 CONTINUOUS P.T.D.F. HEADER AROUND SAND PIT.
 - D - 2x4x24 P.T.D.F. SUPPORT STAKES AT CORNERS PERIMETER HEADERS.
 - E - 12" SQ. x 8" DEEP CONCRETE BASE FOR STAKE.
 - F - 4x4 P.T.D.F. POSTS AT BACKBOARD.
 - G - 2x8 DOUGLAS FIR BOARDS.
 - H - WOOD POSTS EXTEND BELOW CONCRETE FTGS. INTO 2" SAND BASE.
 - I - FINISH GRADE.
 - J - 2x4 P.T.D.F. HEADERS ALONG DECOMPOSED GRANITE SURFACE AREA; PROVIDE 22x24 SUPPORT STAKING AT 3 FT. INTERVALS.

- NOTES:**
1. ALL FASTENERS SHALL BE GALVANIZED WOOD SCREWS.
 2. ALL WOOD TO BE PRESSURE TREATED DOUGLAS FIR EXCEPT BACKBOARDS SHALL BE DOUGLAS FIR.
 3. SAND BASE ALL EXPOSED WOOD EDGES 1/4" FOR SPLINTERS.

9 HORSE SHOE PIT DETAIL
NO SCALE

REVISIONS	
1	Plan No. Rev. #1 Issued 2/1/2014

Thomas Park & Associates, LLP.
Landscape Architects
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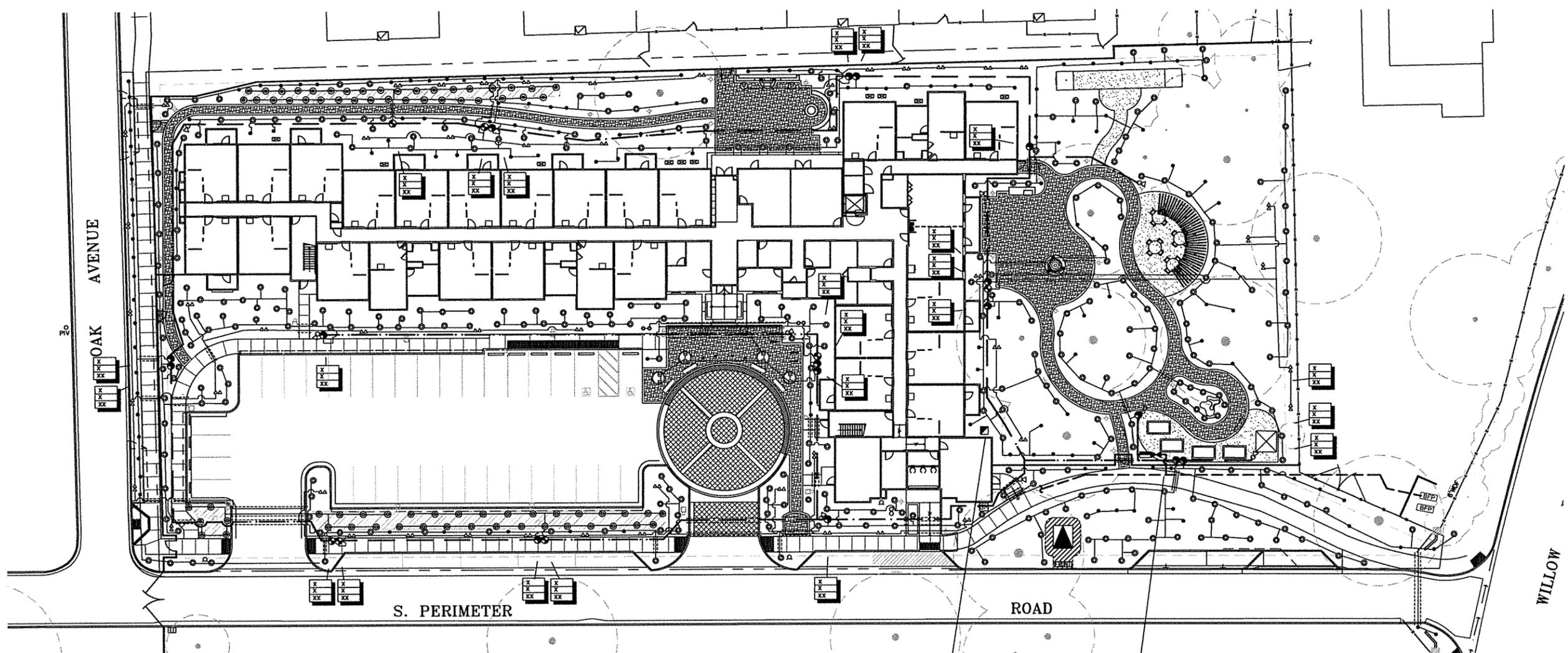


WILLOW HOUSING
MENLO PARK, CALIFORNIA
CORE AFFORDABLE

CONSTRUCTION
DETAILS

DESIGNED: RS	DRAWN: RS
CHECKED:	JOB NO.:
DATE June 26th, 2014	
SCALE	

SHEET
L-1.3
OF SHEETS

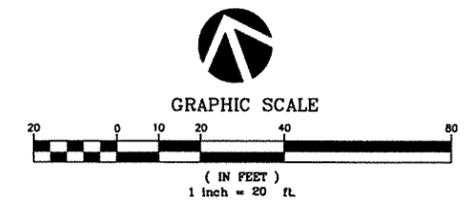


IRRIGATION LEGEND:

- CONTROLLER 'A': 'RAINBIRD' #ESP-LXME 32 STATION INTERIOR WALL-MOUNT CONTROLLER; 12-STATION BASE UNIT WITH (ONE) #ESPLXMSM12 12-STATION MODULE, AND (ONE) #ESPLXMSM8 8-STATION MODULE; PROVIDE 'RAINBIRD' ET' MANAGER CARTRIDGE FOR WEATHER-BASED OPERATION.
- 'FEBCO' #825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER IN 'LEMUER' ENCLOSURE SCHEDULE 80 PVC BALL VALVE; LINE SIZE
- 'RAINBIRD' #44DLRC QUICK COUPLING VALVE; PROVIDE (ONE) #44K KEY FOR EVERY (5) QCV'S.
- 'RAINBIRD' #PEB SERIES REMOTE CONTROL VALVE; SEE PLANS FOR SIZE; INSTALLED W/IN CARSON BROOKS RECTANGULAR PLASTIC VALVE BOX
- 'RAINBIRD' #PEB SERIES REMOTE CONTROL VALVE; SEE PLANS FOR SIZE, AND 'AMIAD' FILTER WITH #150 MESH SCREEN AND PRESSURE REGULATOR (PRESET 30 PSI); INSTALLED W/IN CARSON BROOKS RECTANGULAR PLASTIC VALVE BOX.
- MAIN LINE: SCHEDULE 40 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS; 1-1/2" LINE SIZE THROUGHOUT. PROVIDE 18" (MIN.) COVER.
- LATERAL LINE: CLASS 200 PVC PIPE WITH SCHEDULE 40 PVC SOLVENT-WELD FITTINGS; 3/4" SEE PLAN FOR LINE SIZE. PROVIDE 12" (MIN.) OF COVER.
- SCHEDULE 40 PVC SLEEVE AT PAVING CROSSING, 6" SCH 40 PVC SLEEVE FOR MAINLINE CROSSINGS AND CROSSINGS SHARED BY (2) LATERAL LINES (NON SHOWN, APPLIES TO SAWCUT/TRENCH CONDITIONS); 4" SCH 40 PVC SLEEVE FOR SINGLE LATERAL LINE CROSSING (SEE PLANS). PROVIDE 18" OF COVER BELOW FINISH BASE ROCK MATERIAL.
- | | |
|------|---------------------------|
| YY | CONTROLLER STATION NUMBER |
| XX | CONTROL VALVE SIZE |
| 0.00 | GALLONS PER MINUTE |
- 'RAINBIRD' #RD1812 PRS-SAM 10H,10Q,10EVAN HIGH-POP SPRAY HEAD (12" POP-UP)
- 'RAINBIRD' #RD1800 PRS-SAM 8H,8Q
- 'RAINBIRD' #1401 FLOOD BUBBLER (1.0 GPM) - PROVIDE (2) ON ROOTBALL OF EACH PALM TREE
- 'RAINBIRD' #1401 FLOOD BUBBLER (0.25 GPM) - PROVIDE (2) PER TREE BELOW GRADE IN PERF. TUBE
- 'PEPCO' #5633 QUADRABUBBLER (BLACK, 0.40 GPM) SEE EMITTER SCHEDULE BELOW
- 'PEPCO' #856 OCTABUBBLER (BLACK, 0.80 GPM) SEE EMITTER SCHEDULE BELOW
- EMITTER SCHEDULE:
 TWO EMITTERS PER NEW 5 GALLON AND 2 GALLON PLANT
 ONE EMITTER PER NEW ONE GALLON PLANT

PEDESTAL-MOUNT CONTROLLER:
 PROVIDE 120 VOLT POWER WITHIN RIGID CONDUIT FROM SOURCE STUBBED-OUT BY ELECTRICAL CONTRACTOR TO CONTROLLER PEDESTAL LOCATION : FINAL LOCATION TO BE COORDINATED WITH OWNER. ALL ABOVE GRADE CONTROL WIRES SHALL BE CONTAINED WITHIN PVC ELECTRICAL CONDUIT SECURELY FASTENED TO INSIDE OF PEDESTAL.

POINT-OF-CONNECTION TO WATER SUPPLY(TYP):
 PROVIDE CONNECTION TO EXISTING 4" DOMESTIC WATER LINE WITH 'TEE', ADAPT TO NEW 1-1/2" PVC MAIN LINE; VERIFY LOCATION WITH PROJECT SUPERINTENDENT IN FIELD; VERIFY A MINIMUM STATIC WATER PRESSURE OF 70 PSI AND A MINIMUM AVAILABLE FLOW OF 28.0 GPM.



REFER TO SHEET L-2.2 FOR NOTES AND DETAILS

REVISIONS

1	Rev. 01	11/11/14
2	Rev. 02	11/11/14
3	Rev. 03	11/11/14
4	Rev. 04	11/11/14
5	Rev. 05	11/11/14
6	Rev. 06	11/11/14
7	Rev. 07	11/11/14
8	Rev. 08	11/11/14
9	Rev. 09	11/11/14
10	Rev. 10	11/11/14

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WILLOW HOUSING
MENLO PARK, CALIFORNIA
 CORE AFFORDABLE

IRRIGATION PLAN

DESIGNED:	RS	DRAWN:	RS
CHECKED:	RS	JOB NO.:	
DATE:	June 26th, 2014	SCALE:	

SHEET
L-2.1
 OF SHEETS

IRRIGATION NOTES:

GENERAL NOTES: Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that obstructions, grade differences or differences in area dimensions exist that might not have been considered in the design of the system. Such obstructions or differences should be brought to the attention of the Landscape Architect. Notify Landscape Architect of any aspects of layout, which will provide incomplete or insufficient water coverage of plant material and do not proceed until the instructions are obtained. In the event this notification is not performed, the Irrigation Contractor shall assume full responsibility for any revisions necessary. It is the responsibility of the Irrigation Contractor to familiarize himself with all the grade differences, location of walks, retaining walls, etc. prior to construction. It shall be the Contractor's responsibility to protect in place (by all means necessary) all existing utilities unless otherwise specified on the plans. City standard drawings, specifications, specific notes & detail drawings and the soils report take precedence over general drawings and plans unless otherwise directed. Any deviation from approved plans during construction will require 48 hours prior notice to the Landscape Architect. At least one set of plans shall be on the site at all times for inspection. Irrigation Contractor shall comply with all State, County and City laws and ordinances; and regulations of the Department of Industrial Relations, O.S.H.A. and Industrial Accident Commission relating to the safety and character of work, equipment and labor personnel. The Irrigation Consultant assumes no responsibility beyond the adequacy of the design contained herein.

DRAWINGS: Due to the scale of drawings, it is not possible to indicate all offsets, fittings, sleeves, etc., which may be required. The Contractor shall also carefully investigate the structural and finished conditions affecting all of his work, plan his work accordingly and furnish such fittings, etc. as may be necessary to meet such conditions. Drawings are generally diagrammatic and indicative of the work to be installed. The work shall be installed in such a manner as to avoid conflicts between irrigation system, planting and architectural features. All piping, valves, etc. shown within paved areas are for design clarification only and shall be installed in planting areas where possible.

CONTROLLER Irrigation Contractor is to program timing of stations on controller to irrigate in the most efficient, water conserving manner possible. It is the responsibility of the Landscape Maintenance Contractor and/or the owner to program the Irrigation Controllers to provide the minimum amount of water needed to sustain proper plant health. This includes making adjustments to the program for seasonal weather changes, plant material needs, water requirements, changes in elevation, sun, shade and wind exposures. Contractor shall assume responsibility for any damage, erosion, puddling, etc. due to improper programming. Electrical Contractor to supply 120-VOLT A.C. (2.5 AMP) service & disconnect, junction box and conduit, as necessary, to controller location. Irrigation Contractor to make final connection from electrical stub-out to controller. Install new 9-VOLT Duracell battery(s) in controller (if required) to retain program in memory during temporary power failures. Controller shall have ground wire as per manufacturer's instructions.

VALVES: Isolation and Control Valve locations shown are diagrammatic. Install in groundcover/shrub areas where possible (not in lawn areas), and at the edges of the planting areas so as to not interfere with plant hole excavation. Install valve boxes 12 inches from and perpendicular to: walks, curbs, etc. and each box shall be 12 inches apart. The short side of valve box shall be parallel to walk, curb, edge, etc. Install (1) valve per rectangular box inline with the length of the box. Locate Quick Coupling Valves 2 inches from hardscape area. Irrigation Contractor to notify all local jurisdictions for inspection and testing of installed Backflow Device. If pressure exceeds 80 PSI, Contractor shall install Pressure Reducing equipment as required.

WIRING: Control wires shall be U.L. approved for direct burial in ground, Copper size #14-1. Common ground wire shall have white insulation jacket. Control wire shall have insulation jacket of color other than white. Splicing shall be done with 3M #3570 Scotchlok seal packs. Splicing of 24-VOLT wires will not be permitted except in valve boxes. Leave a 24 inch coil of excel wire at each splice and at 100 feet on center along wire run. Tape wire in bundles at 10 feet on center. No taping permitted in sleeves. Install a control wire for each extra station left on the controller and a spare control wire of a different color along the entire main line. Loop 24 inches of excess wire into each single valve box and into one valve box in each group of valves.

HEADS: The Irrigation Contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent overspray onto walks, roadways, buildings and fences. This shall include selecting the best degree of arc to fit the site conditions and to throttle the flow control at each valve to obtain the optimum operating pressure for each system. Head layout and quantity is as close as possible at the scale of the drawing, the contractor shall adjust and add heads as necessary to provide optimum performance and coverage of all planted areas. At heads where low head drainage will occur, use manufacturers integral in-head check valve or approved in-line check valve. All sprinkler heads shall be set perpendicular to the finish grade of the area to be irrigated unless otherwise designated on the plans. Heads shall be set 1/2" below and 2" away from adjacent walks, curbs or headers.

DRIP HEADS: Contractor shall install drip heads in plastic cans per detail; install port plug in any and all unused drip emitter ports; distribution tubing shall not extend beyond manufacturer's recommendations (6 feet max.). Secure distribution tubing to grade with tubing metal staples at a maximum spacing of 24 inches. Provide plastic stake supports at distribution tubing terminus to anchor and secure emitter(s) over rootball; evenly space multiple emitter installations around plant rootball. Install 'bug plugs' in every distribution tubing terminus.

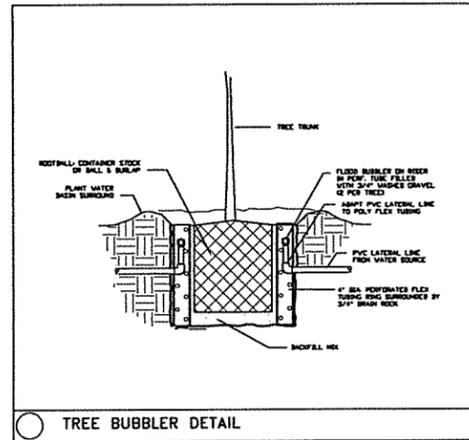
PIPING/TRENCHING: Install main line piping with concrete thrust blocks as per manufacturer's recommendation. Main and lateral lines shall be surrounded with a minimum of 2" of sand or rock free soil. Pipe sealant compound shall be Rector Seal T-2, Permatex 51 or Lasco #905305. Pressure the Main Line @ 150 PSI for 2 hours and the Lateral lines @ 100 PSI for 2 hours, where it is necessary to excavate adjacent to existing trees, the contractor shall use all possible care to avoid injury to trees, and tree root systems. Excavation in area where two (2) inch and larger roots exist shall be done by hand. Cut roots one (1) inch and larger in diameter shall be painted with two coats of tree seal, or equal. Trenches adjacent to trees should be closed within twenty-four (24) hours; and where this is not possible, the side of the trench adjacent to the tree shall be kept shaded with wet burlap or canvas.

SLEEVES: The Irrigation Contractor shall coordinate with the General Contractor and other Subcontractors for the location and the installation of sleeves, conduit or pipe through walls, under roadways, paving, structures, etc. prior to construction. In addition to the sleeves and conduits shown on the drawings, the Irrigation Contractor shall be responsible for the coordination and/or installation of sleeves and conduits of sufficient size under all paved areas.

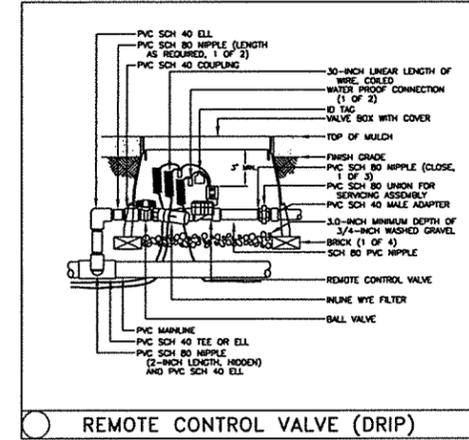
IRRIGATION SYSTEM: The irrigation system design is based on a minimum operating pressure (PSI) and a flow demand (GPM) as noted on plan. The Irrigation Contractor shall verify water pressure prior to construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the irrigation Point-of-Connection to the Landscape Architect. Failure to do so will result in the contractor being responsible for any necessary changes due to this difference.

GUARANTEE: All construction, parts and products by the Landscape Contractor and/or his subcontractors shall be guaranteed for one (1) full year after the beginning of the maintenance period. The contractor shall replace (at no expense to the Owner) any and all irrigation products that are in an unacceptable condition for the time of use. Replacement of any items shall match original description of item(s) on construction plans and shall be installed per specification. The Contractor shall not be held liable for loss of irrigation parts or products due to vandalism, accidental causes, or acts of neglect by others than the Contractor, his agents or employees.

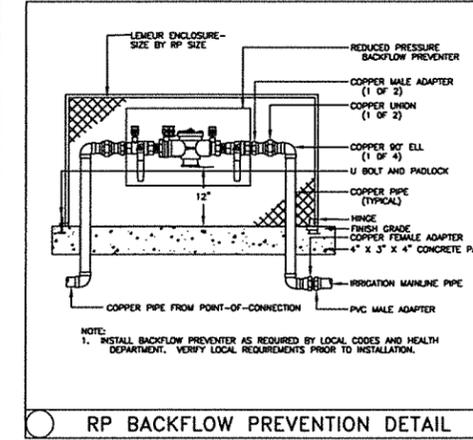
DO NOT BID, ORDER MATERIALS OR INSTALL ANY OR ALL OF SYSTEM BEFORE READING THE IRRIGATION NOTES IN THEIR ENTIRETY. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL CHANGES, REVISIONS AND OR ADDITIONS TO SYSTEM DUE TO FAILURE TO DO SO.



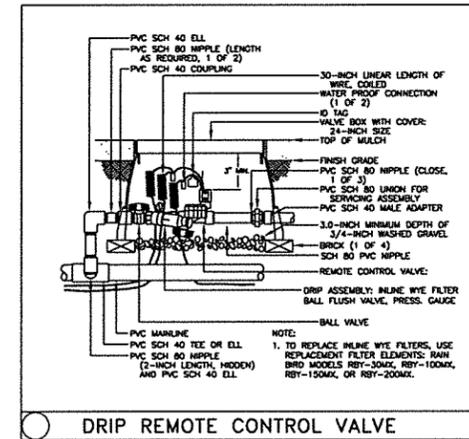
TREE BUBBLER DETAIL



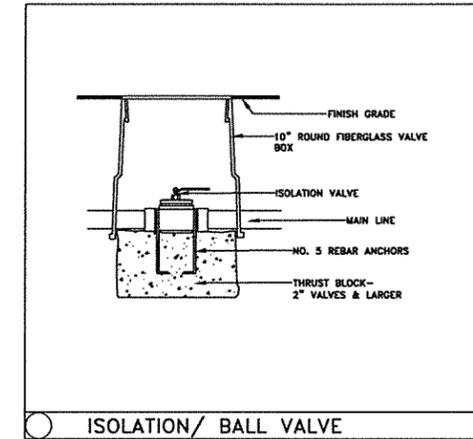
REMOTE CONTROL VALVE (DRIP)



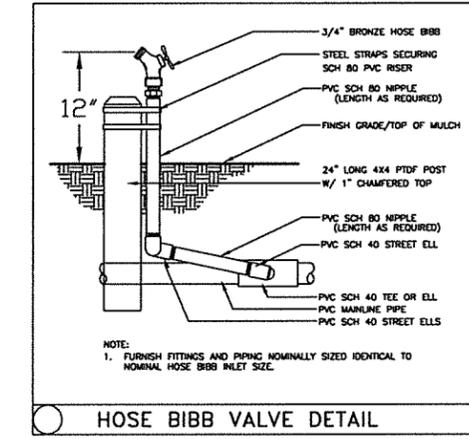
RP BACKFLOW PREVENTION DETAIL



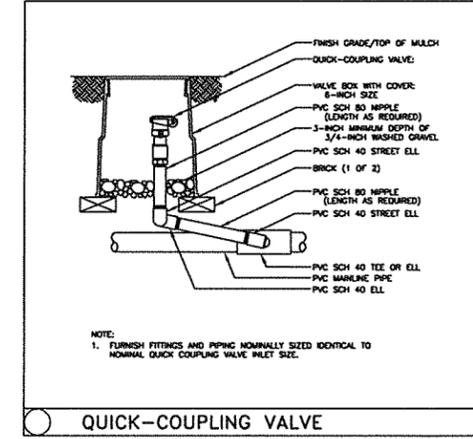
DRIP REMOTE CONTROL VALVE



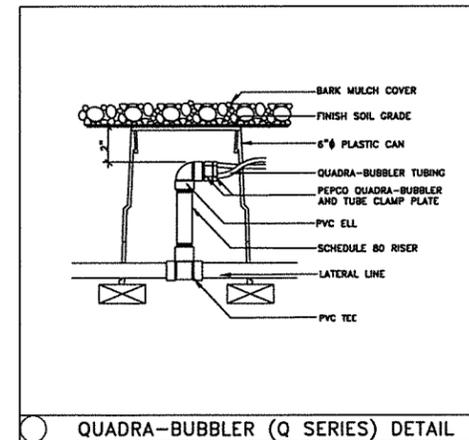
ISOLATION/ BALL VALVE



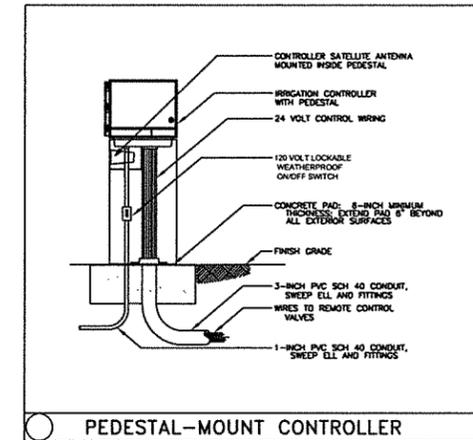
HOSE BIBB VALVE DETAIL



QUICK-COUPLING VALVE



QUADRA-BUBBLER (Q SERIES) DETAIL



PEDESTAL-MOUNT CONTROLLER

REVISIONS	
1	Rev. Chg. Rev. #1
2	Rev. Chg. Rev. #2
3	Rev. Chg. Rev. #3
4	Rev. Chg. Rev. #4
5	Rev. Chg. Rev. #5
6	Rev. Chg. Rev. #6
7	Rev. Chg. Rev. #7
8	Rev. Chg. Rev. #8
9	Rev. Chg. Rev. #9
10	Rev. Chg. Rev. #10

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RESIDENT ARCHITECT
MAY 2017
MAY 2017

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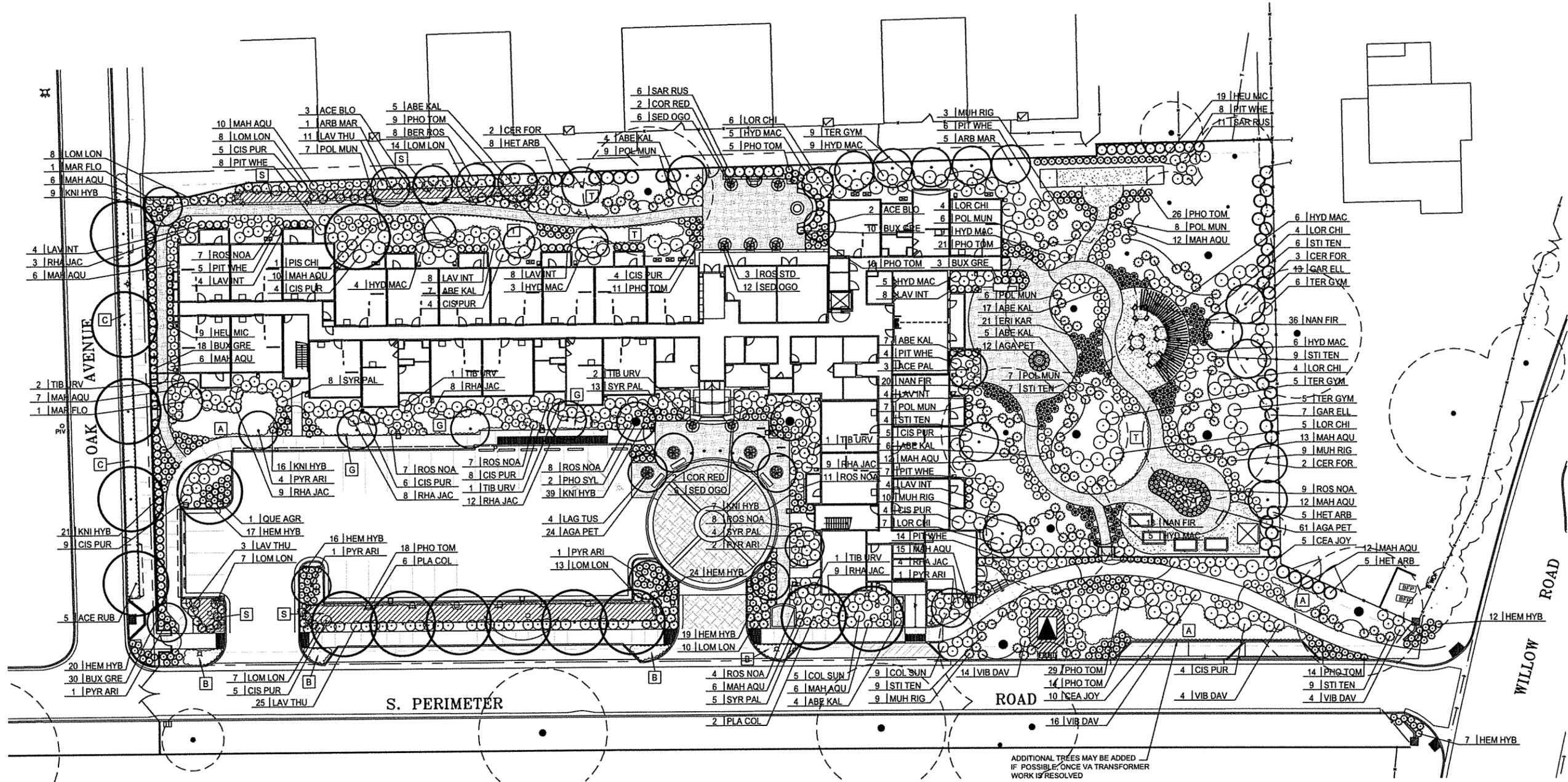
**IRRIGATION LEGEND
DETAILS AND NOTES**

DESIGNED:	RS	DRAWN:	RS
CHECKED:	RS	JOB NO.:	
DATE:		June 26th, 2014	
SCALE:			

SHEET

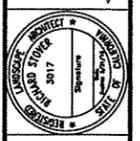
L-2.2

OF SHEETS



REVISIONS	
1	Plan 02, 03, 04, 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

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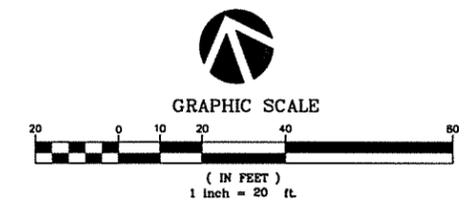


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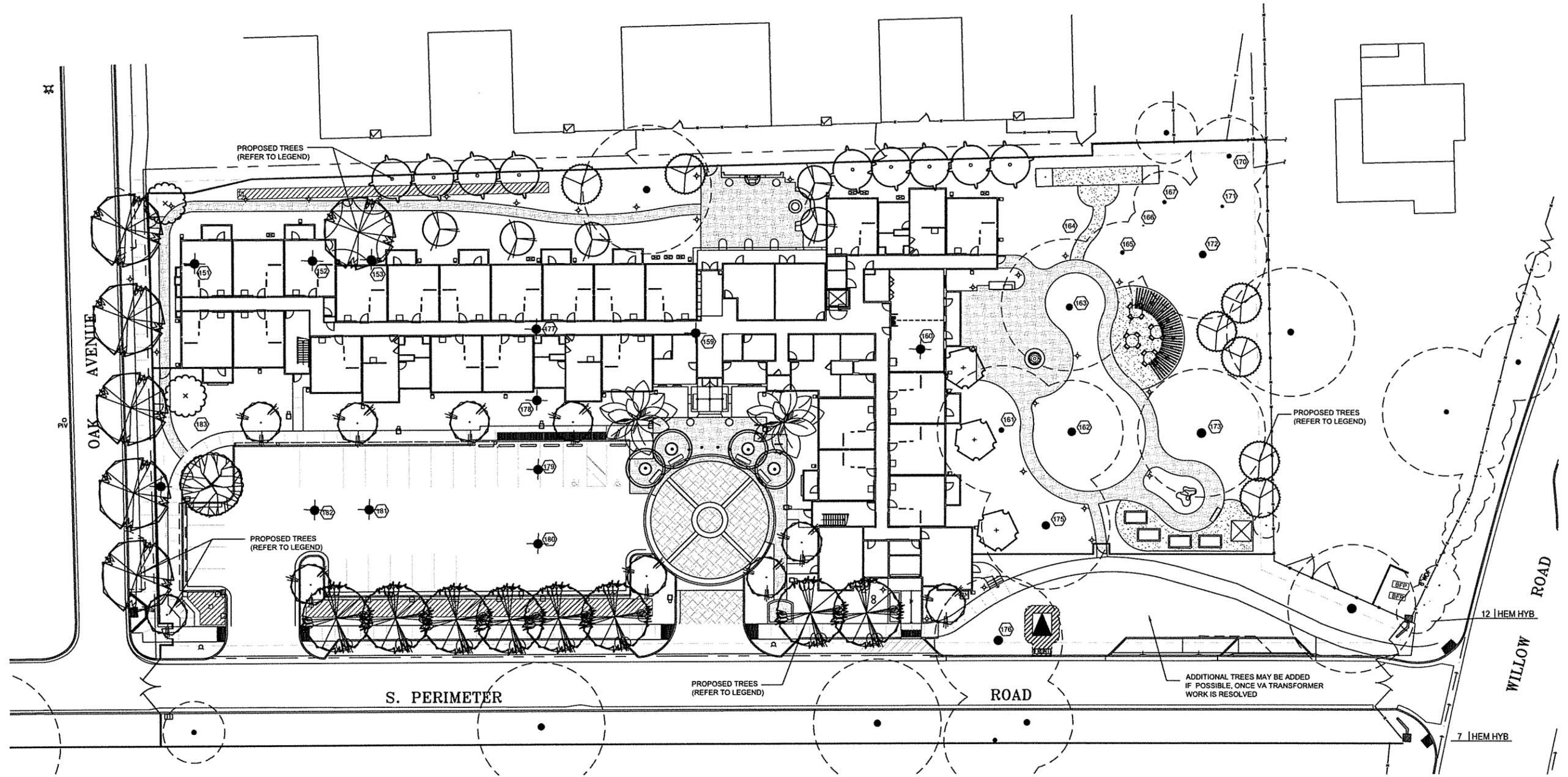
PLANTING PLAN

DESIGNED: RS	DRAWN: RS
CHECKED: []	JOB NO: []
DATE: June 26th, 2014	
SCALE: []	

SHEET
 L-3.1
 OF SHEETS



REFER TO SHEET L-3.2 FOR PLANT MATERIALS LIST, NOTES, AND DETAILS



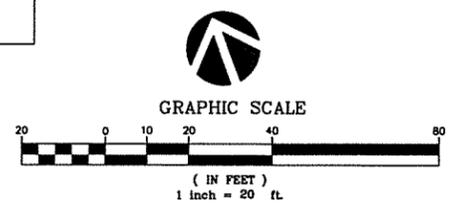
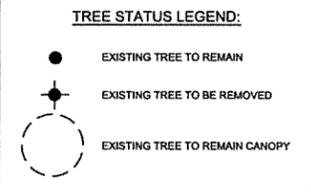
(*) SYMBOL REPRESENTS A TREE NOT DEFINED AS A HERITAGE TREE BY THE CITY OF MENLO PARK: (TREE #153, #166 & #181)

DEFINITION OF A HERITAGE TREE:

1. ANY OAK TREE THAT IS NATIVE TO CALIFORNIA, WITH AN OVERALL CIRCUMFERENCE OF 31.4 INCHES (DIAMETER OF 10") OR MORE, MEASURED AT 54 INCHES ABOVE NATURAL GRADE.
2. ALL TREES OTHER THAN OAKS WHICH HAVE A TRUNK WITH AN OVERALL CIRCUMFERENCE OF 47.1 INCHES (DIAMETER OF 15 INCHES) OR MORE, MEASURED 54 INCHES ABOVE NATURAL GRADE.

TREE INVENTORY TOTALS:

EXISTING TREES:	37
EXISTING NON-HERITAGE TREES TO BE REMOVED:	3
EXISTING HERITAGE TREES TO BE REMOVED:	13
TOTAL TREES TO BE REMOVED:	16
EXISTING TREES TO REMAIN:	21
REQUIRED NUMBER OF REPLACEMENT TREES:	26
ACTUAL PROPOSED ADDITIONAL TREES:	57

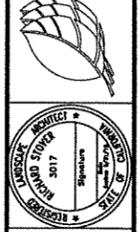


REFER TO SHEET L-3.4 FOR PROPOSED TREE LIST, AND ARBORIST TREE TABLE

REVISIONS

1	Plan Chg. Resp. J1
2	August 22, 2014
3	
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WILLOW HOUSING
MENLO PARK, CALIFORNIA
CORE AFFORDABLE

TREE REPLACEMENT PLAN

DESIGNED:	RS	DRAWN:	RS
CHECKED:	JOB NO.	DATE:	June 26th, 2014
SCALE:			

SHEET
L-3.3
OF SHEETS

ARBORIST EXISTING TREE TABLE:

NOTE: ASTERISK NEXT TO TREE NUMBER (BELOW) DESIGNATES THAT TREE IS NOT A HERITAGE TREE (ALL OTHERS IN MATRIX ARE HERITAGE TREES).

Tree	Number	In Lease Area (L) / In Proximity (P)	DBH	Height	Canopy Radius	Condition	Suitability	Influence	Recommendation	Remove or Retain
Sweetgum	151	L	18	40	25	Fair	Fair	High	Codominant stems	Remove
Sweetgum	152	L	18	35	15	Fair	Fair	High		Remove
Sweetgum	*153	L	9	25	10	Fair	Fair	High	Suppressed	Remove
Coast Live Oak	158	L	43	40	25	Good	Fair	Moderate		Retain
Coast Live Oak	159	L	14	25	15	Poor	Poor	High	Phytophthora	Remove
Coast Live Oak	160	L	28	45	25	Fair	Fair	High	Codominant stems, crown dieback	Remove
Coast Live Oak	161	L	31	45	25	Good	Fair	Moderate	3 codominant stems	Retain
Coast redwood	162	L	41	45	15	Fair	Fair	Moderate	New top	Retain
Coast Live Oak	163	L	32	45	25	Good	Fair	Moderate	3 codominant stems	Retain
Alder	164	L	22	45	15	Dead	Dead	High	Dead	Removed by VA
Alder	165	L	15	45	15	Good	Fair	Moderate		Retain
Alder	*166	L	9	35	10	Dead	Dead	High	Dead	Remove
Alder	167	L	22	45	15	Good	Fair	Moderate		Retain
Alder	168	P	27	45	20	Good	Fair	Moderate		Retain
Alder	169	P	37	45	20	Dead	Dead	High	Dead	Remove
Alder	170	L	30	55	20	Good	Fair	Moderate		Retain
Alder	171	L	18	55	20	Good	Fair	Moderate		Retain
Coast Live Oak	172	L	40	45	25	Good	Fair	Moderate	Codominant stems	Retain
Coast Live Oak	173	L	51	45	25	Good	Good	Moderate	Codominant stems with rib, dead 6 inch hanger, cobra cables, declining crown	Retain
Coast Live Oak	174	L	52	55	25	Good	Good	Moderate	Retain/outside fence along road	Retain
Coast Live Oak	175	L	46	45	25	Good	Good	Moderate	Codominant stems	Retain
Coast Live Oak	176	L	52	45	30	Good	Good	Moderate	Codominant stems	Retain
Coast redwood	177	L	22	40	20	Good	Good	High		Remove
Coast redwood	178	L	23	40	20	Good	Good	High		Remove
Coast redwood	179	L	25	40	20	Good	Good	High		Remove
Coast redwood	180	L	27	40	20	Good	Good	High		Remove
Box Elder	*181	L	10	25	10	Fair	Fair	High	Suppressed	Remove
Box Elder	182	L	29	35	20	Fair	Good	High		Remove
Coast redwood	183	L	39	55	20	Good	Good	High		Remove
Coast redwood	184	L	18	55	20	Good	Good	High		Remove
Coast Live Oak	210	P	39	45	30	Good	Good	Moderate	Retain/inside fence	Retain
Coast Live Oak	222	P	34	45	25	Good	Good	Moderate	Retain/inside fence	Retain
Coast Live Oak	1376	P	25	25	12	Good	Good	Low		Retain
Coast Live Oak	1378	P	25	45	25	Good	Good	Low		Retain
Coast Live Oak	1379	P	34	45	25	Good	Good	Low		Retain
Coast Live Oak	1380	P	22	35	20	Good	Good	Low		Retain
Coast Live Oak	1381	P	31	40	18	Good	Good	Low		Retain

TREE LIST AND KEY:

SYMBOL BOTANICAL NAME COMMON NAME SIZE SPACING WATER USE QUANTITY

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE	QUANTITY
	ACER PALMATUM 'BLOODGOOD'	JAPANESE MAPLE	15 GAL	VARIES	MED	5
	ACER PALMATUM 'SANGO KAKU'	JAPANESE MAPLE	15 GAL	VARIES	MED	3
	ACER RUBRUM	SCARLET MAPLE	15 GAL	34'	MED	5
	ARBUTUS 'MARINA'	ARBUTUS	15 GAL	16'	LOW	9
	CERCIS CANADENSIS 'FOREST PANSY'	REDBUD	15 GAL	14'	LOW	7
	LAGERSTROEMIA 'TUSCARORA' (STD)	CRAPE MYRTLE (LOW-BRANCH)	15 GAL	12'	LOW	4
	MALUS FLORIBUNDA	FLOWERING CRABAPPLE	15 GAL	32'	MED	2
	PISTACIA CHINENSIS	CHINESE PISTACHE	15 GAL	VARIES	LOW	1
	PLATANUS A. 'COLUMBIA'	LONDON PLANE	15 GAL	35'	LOW	8
	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	15 GAL	VARIES	MED	10
	QUERCUS AGRIFOLIA	COAST LIVE OAK	15 GAL	20'	LOW	1
	PALMS: PHOENIX SYLVESTRIS	SILVER DATE PALM	36" BOX	30'	LOW	2
PROPOSED TREE TOTAL:						57

REVISIONS

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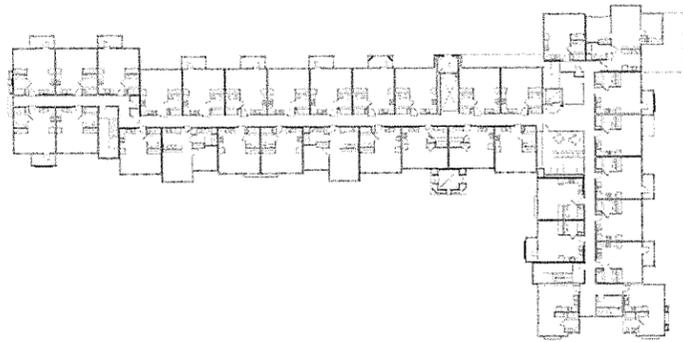


WILLOW HOUSING
MENLO PARK, CALIFORNIA
CORE AFFORDABLE

PLANT LIST
DETAILS AND NOTES

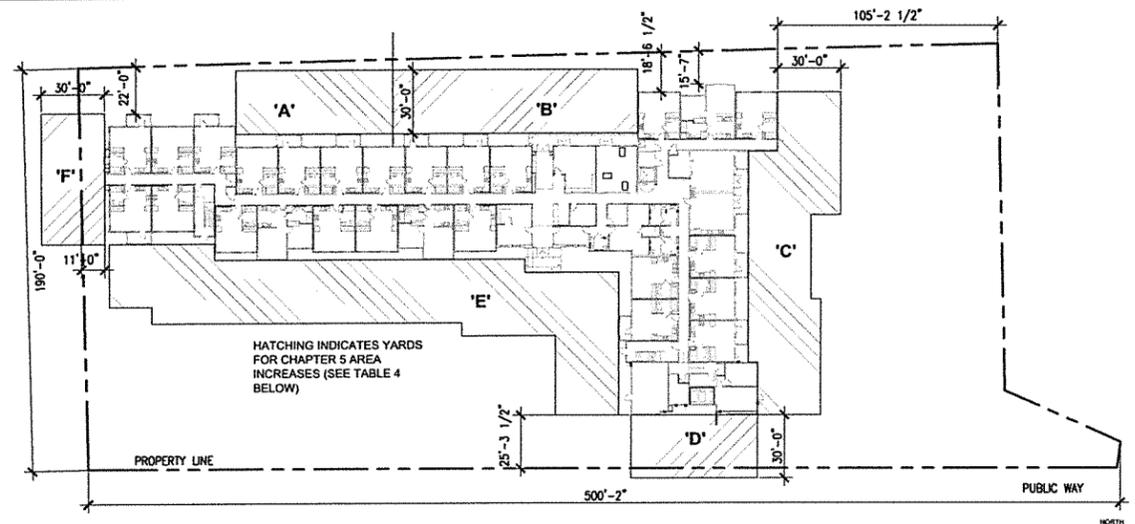
DESIGNED: RS	DRAWN: RS
CHECKED: RS	JOB NO:
DATE: June 26th, 2014	
SCALE:	

SHEET
L-3.4
OF SHEETS



SECOND FLOOR PLAN - CODE ANALYSIS

SCALE 1" = 40'-0" 2



FIRST FLOOR PLAN - CODE ANALYSIS

SCALE 1" = 40'-0" 1

CODE ANALYSIS NOTES

THE SITE IS APPROXIMATELY 2 ACRES (86,989 SF) AND IS LOCATED BETWEEN WILLOW RD. AND OAK AVE., NORTH OF S. PERIMETER RD. IN THE CITY OF MENLO PARK, CALIFORNIA. THE EXISTING USE INCLUDES PARKING AND LANDSCAPING.

IN GENERAL, WILLOW HOUSING IS A TWO STORY, WOOD FRAMED MULTIFAMILY RESIDENTIAL HOUSING PROJECT.

OCCUPANCY GROUPS & CONSTRUCTION:

- R-2 - LIVING UNIT FLATS
- S-2 - STORAGE/UTILITY
- A-3 - ASSEMBLY SPACES (WITH O.L.>50)
- B - OFFICE SPACES (WITH O.L.<50)

CONSTRUCTION IS TYPE V-B

FIRE PROTECTION:

ALL PORTIONS OF THE PROJECT WILL BE FULLY SPRINKLERED WITH A FULL NFPA 13 SYSTEM PER SEC 903.3.1.1.

PORTABLE FIRE EXTINGUISHERS ARE REQUIRED PER SEC. 906.1

ACTUAL AREA, HEIGHT, # STORIES:

R-2 TYPE V-B LIVING UNITS:
2 STORIES, 32' MAXIMUM

AREA:		
1ST FLOOR R-2:	18,498 SF	
A-3:	2,258 SF	
S-2:	616 SF	
1ST FLOOR TOTAL:	22,272 SF	
2ND FLOOR R-2:	21,494 SF	
TOTAL BUILDING AREA:	43,766 SF	

ALLOWABLE AREA, HEIGHT, # STORIES:

FROM TABLE 503, BASE CHARACTERISTICS FOR R-2, TYPE V-B ARE:
MAXIMUM ALLOWABLE AREA IS 7,000 SF;
MAXIMUM ALLOWABLE HEIGHT IS 2 STORIES AND 40 FEET;

SEE CALCULATIONS AT LEFT FOR CBC CHAPTER 5 ALLOWABLE AREA INCREASES AND MEANS OF COMPLIANCE

HIGHEST OCCUPIED FLOOR IS 12'-4" ABOVE GRADE PLANE

MIXED USE AND OCCUPANCY (CBC 508):

MIXED USE BUILDINGS SHALL COMPLY WITH THE APPLICABLE PROVISIONS OF SECTION 508.2 (ACCESSORY OCCUPANCIES), 508.3 (NONSEPARATED OCCUPANCIES), OR 508.4 (SEPARATED OCCUPANCIES), OR A COMBINATION OF THESE SECTIONS. (CBC 508.1)

AGGREGATE ACCESSORY OCCUPANCIES (508.2) ARE LIMITED TO 10% OF THE BUILDING AREA OF THE STORY IN WHICH THEY ARE LOCATED AND SHALL NOT EXCEED TABLE 503 AREA LIMITS (NO INCREASES ALLOWED FOR ACCESSORY USE). NO SEPARATION IS REQUIRED BETWEEN ACCESSORY OCCUPANCIES AND THE MAIN OCCUPANCY.

ACCESSORY AREAS FIRST FLOOR - CHECK FOR CODE COMPLIANCE

- B - 2,258 SF/22,272 SF = 10 %
- A-3 - 900 SF/22,272 SF = 4 %
- S-2 - 616 SF/22,272 SF = 3 %
- TOTAL 1ST FLR ACCESSORY AREA = 17 % > 10 %;

ACCESSORY OCCUPANCIES NOT USED ON FIRST FLOOR, USE SEPARATED OCCUPANCIES INSTEAD

ACCESSORY AREAS SECOND FLOOR - COMPLIES WITH CODE

- A-3 - 288 SF/21,494 SF = 1 %
- S-2 - 630 SF/21,494 SF = 3 %
- TOTAL 2ND FLR ACCESSORY AREA = 4 % < 10 %; OK

ACCESSORY OCCUPANCIES ALLOWED ON SECOND FLOOR

SEPARATED OCCUPANCIES (508.4): EACH SEPARATED SPACE SHALL COMPLY WITH THE CBC BASED ON THE OCCUPANCY CLASSIFICATION OF THAT PORTION OF THE BUILDING. IN EACH STORY, THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH SEPARATED OCCUPANCY DIVIDED BY THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY SHALL NOT EXCEED 1.00. INDIVIDUAL OCCUPANCIES SHALL BE SEPARATED FROM ADJACENT OCCUPANCIES IN ACCORDANCE WITH TABLE 508.4.

SEE BUILDING AREA CALCULATIONS TO LEFT FOR BUILDING AREA RATIOS FOR THE FIRST FLOOR.

TABLE 508.4: REQUIRED SEPARATION OF OCCUPANCIES (SPRINKLED)

- R-2 TO S-2 SEPARATION REQUIRED: 1 HOUR
- R-2 TO A-3 SEPARATION REQUIRED: 1 HOUR
- R-2 TO B SEPARATION REQUIRED: 1 HOUR
- A-3 TO B SEPARATION REQUIRED: 1 HOUR
- A-3 TO S-2 SEPARATION REQUIRED: NO SEPARATION REQUIRED
- B TO S-2 SEPARATION REQUIRED: 1 HOUR

INCIDENTAL USES (TABLE 509):

PROVIDE 1 HOUR PROTECTION AT THE FOLLOWING INCIDENTAL USES:

- ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER;
- LAUNDRY ROOMS OVER 100 SF;
- TRASH COLLECTION ROOMS OVER 100 SF;

ACCESSIBLE CONSTRUCTION:

DUE TO FUNDING SOURCES, THIS PROJECT SHALL COMPLY WITH HUD SECTION 504 REQUIREMENTS. PER SECTION 504, AT LEAST 5% OF THE DWELLING UNITS (1 UNIT MINIMUM) SHALL MEET UFAS STANDARDS FOR MOBILITY DISABILITIES, AND AT LEAST 2% OF THE DWELLING UNITS (1 UNIT MINIMUM) SHALL BE ACCESSIBLE FOR PERSONS WITH HEARING OR VISUAL DISABILITIES.

ACCESSIBLE CONSTRUCTION SHALL COMPLY WITH CBC CHAPTER 11B AND THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS), ADAPTABLE CONSTRUCTION SHALL COMPLY WITH CBC CHAPTER 11A AND FAIR HOUSING ACT (FHA).

SITE AND EXTERIOR FACILITIES: PROJECT SITE AND EXTERIOR FACILITIES SHALL MEET THE REQUIREMENTS OF UFAS 4.1.1 AND CBC CHAPTER 11B.

ACCESSIBLE BUILDINGS: ACCESSIBLE BUILDINGS AND FACILITIES SHALL MEET THE REQUIREMENTS OF UFAS 4.1.2 AND CBC CHAPTER 11B.

ACCESSIBLE HOUSING: ACCESSIBLE HOUSING SHALL COMPLY WITH THE REQUIREMENTS OF UFAS 4.1.3 AND 4.34, AND CBC 11B-233.2.

ATTIC DRAFTSTOPPING NOT REQUIRED SINCE BUILDING HAS FULL AUTOMATIC FIRE SPRINKLER SYSTEM (CBC 718.4.2, EXCEPTIONS 2 OR 4)

TABLE 1: ALLOWABLE BUILDING AREA SUMMARY

SECTION	OCCUPANCY GROUP	ACTUAL AREA	ALLOWABLE AREA FOR TYPE V-B (CBC T-503)	WITH CBC 506 AREA INCREASES (A FROM TABLE 2 BELOW)	RATIO OF ACTUAL TO ALLOWABLE AREA PER CBC 508.4.2
RESIDENTIAL W/ COMMON AREAS & COVERED DECKS/PORCHES	R-2	18,498 SF	7,000 SF	25,282 SF	0.73
OFFICES	B	2,258 SF	9,000 SF	32,505 SF	0.07
ASSEMBLY SPACE	A-3	900 SF	6,000 SF	21,670 SF	0.04
STORAGE	S-2	616 SF	13,500 SF	48,758 SF	0.01
FIRST FLOOR BUILDING AREA (PER CBC)		22,272 SF 1ST FLOOR			0.86 x 1.00 OK AT FIRST FLOOR SEPARATED MULTI-USE OCCUPANCIES (CBC 508.4), W/ ACCESSORY USE UTILITY & TRASH SPACES
RESIDENTIAL W/ COMMON AREAS & COVERED DECKS/PORCHES	R-2	21,494 SF 2ND FLOOR	7,000 SF	25,282 SF	OK AT 2ND FLOOR ACCESSORY SPACES TOTAL 909 SF (4%) PER CODE ANALYSIS NOTES FOR CBC SECTION 508.2.1 - OK FOR ACCESSORY USE PER CBC 508.2

TABLE 2: CBC 506 AREA INCREASES

CODE REFERENCE	OCCUPANCY GROUP	CONSTRUCTION TYPE	TABULAR BLDG. AREA (A)	FRONTAGE INCREASE (I) FROM TABLE 3 BELOW	AFSS INCREASE (I _s)	TOTAL ALLOWABLE AREA PER STORY (SF)
RESIDENTIAL	R-2	V-B	7,000	0.61	2.00	A ₀ = (A) + (A x I) + (A x I _s) 25,282 - PER STORY
A 1 TIMES INCREASE FACTOR:			7,000	4,282	14,000	50,564 - TOTAL FOR BUILDING, PER CBC 506.4.1
OFFICE	B	V-B	9,000	0.61	2.00	A ₀ = (A) + (A x I) + (A x I _s) 32,505 - PER STORY
A 1 TIMES INCREASE FACTOR:			9,000	5,505	18,000	65,011 - TOTAL FOR BUILDING, PER CBC 506.4.1
ASSEMBLY	A-3	V-B	6,000	0.61	2.00	A ₀ = (A) + (A x I) + (A x I _s) 21,670 - PER STORY
A 1 TIMES INCREASE FACTOR:			6,000	3,670	12,000	43,341 - TOTAL FOR BUILDING, PER CBC 506.4.1
STORAGE	S-2	V-B	13,500	0.61	2.00	A ₀ = (A) + (A x I) + (A x I _s) 48,758 - PER STORY
A 1 TIMES INCREASE FACTOR:			13,500	8,258	27,000	97,516 - TOTAL FOR BUILDING, PER CBC 506.4.1

TABLE 3: CBC 506.2 FRONTAGE INCREASE (I)

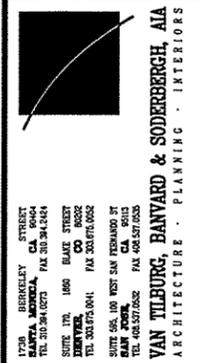
CODE REFERENCE	BUILDING	AREA INCREASE DUE TO FRONTAGE	BLDG. PERIMETER FRONTING ON PUBLIC WAY OR OPEN SPACE W/ MIN. 20 FT WIDTH	PERIMETER OF ENTIRE BUILDING (FEET)	WIDTH OF PUBLIC WAY OR OPEN SPACE (FEET) PER 506.2.1
1	CBC 506.2, EQUATION 5-2	I	F	P	W (FROM TABLE 4 BELOW)
		0.61	1027.00	1189.00	29.90

TABLE 4: WEIGHTED YARD CALCULATIONS (W)

YARD MARK	PERIMETER	YARD DEPTH	WEIGHTED AREA	WIDTH OF PUBLIC WAY OR OPEN SPACE (FEET) PER 506.2.1
A	108.50	29.06	3,153.01	
B	165.33	30.00	4,959.90	
C	219.75	30.00	6,592.50	
D	70.50	30.00	2,115.00	
E	409.25	30.00	12,277.50	
F	53.67	30.00	1,610.10	
TOTAL	1,027.00		30,708.01	W = WEIGHTED AREA / PERIMETER = 29.90 (WEIGHTED AVERAGE WIDTH)

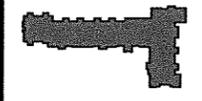
FIRE RATED AND ACOUSTICAL WALL/FLOOR ASSEMBLIES

BUILDING FEATURE	FIRE RATING (CBC T-601) TYP. FOR ALL OCCUPANCIES, CONSTRUCTION TYPE VB, FULLY FIRE SPRINKLED PER NFPA 13;	OPENING PROTECTION (CBC T-705.6, U.O.N.)	ACOUSTICAL CODE REQUIREMENTS (CBC 1207) (INSTALLED ASSEMBLIES MAY EXCEED CODE)
STRUCTURAL FRAME (PRIMARY & SECONDARY)	NON-RATED	--	
EXTERIOR BEARING WALLS	NON-RATED	LIMITED TO % OF WALL AREA AND DISTANCE FROM PROPERTY LINE: OPENINGS ARE FIRE SPRINK. & UNPROTECTED.	
EXTERIOR NON-BEARING WALLS & PARTITIONS	NON-RATED > 10' FROM PROPERTY LINE (CBC T-602)	a) 0'-3': NOT PERMITTED b) 3'-5': 15% OF WALL c) 5'-10': 25% d) 10'-15': 45% e) 15'-20': 75% f) 20'+: UNLIMITED	
INTERIOR BEARING WALLS	NON-RATED	--	
INTERIOR NON-BEARING WALLS & PARTITIONS	NON-RATED	--	
FLOOR CONSTRUCTION, INCLUDING SUPPORTING BEAMS & JOISTS	NON-RATED	--	
ROOF CONSTRUCTION, INCLUDING SUPPORTING BEAMS & JOISTS	NON-RATED	--	
DWELLING UNIT SEPARATION: FIRE PARTITIONS (CBC 420.2)	1 HOUR (CBC 708.1)	3/4 HOUR (CBC T-716.5)	STC 50 MIN. AT D.U. ADJACENCY (CBC 1207.2)
DWELLING UNIT SEPARATION: FLOOR/CEILING (CBC 420.3)	1 HOUR (CBC 711.3)	NO OPENINGS	IIC 50 MIN. AT D.U. ADJACENCY (CBC 1207.3)
CORRIDOR WALLS	1 HOUR (CBC 708.1, T-1018.1)	1/3 HOUR (CBC T-716.5)	STC 50 MIN. AT D.U. ADJACENCY (CBC 1207.2)
CORRIDOR FLOOR/CEILING ASSEMBLY	1 HOUR (CBC 711, T-1018.1)	--	
STAIRS	ANY MATERIAL 1 HOUR PROTECTED	--	
STAIR, CHUTE, ELEVATOR, VENTILATION SHAFTS CONNECTING TYPE V-B.	1 HOUR (CBC 1022.1)	1 HOUR (CBC T-716.5)	STC 50 MIN. AT D.U. ADJACENCY (CBC 1207.2)
TRASH CHUTE	TRASH ROOM COMPARTMENTS ON EACH FLOOR SHALL BE ENCLOSED BY 1 HOUR FIRE BARRIERS (CBC 713.13.3)	DOORS INTO COMPARTMENTS SHALL BE MIN. 1 HOUR RATED (CBC 708.13.4). OPENINGS INTO CHUTES SHALL NOT BE DIRECTLY FROM CORRIDORS	
ELEVATOR LOBBY SEPARATION	1 HOUR (CBC 708.1)	1/3 HOUR IF DOOR IS PROVIDED AT HOISTWAY OPENING (CBC 713.14.1 EXCEPTION 3, AND CBC 716.5.3.1)	
EXTERIOR WALL PROJECTIONS (BALCONIES)	MAY NOT EXTEND BEYOND 1/2 THE DISTANCE FROM THE EXTERIOR WALL TO THE PROPERTY LINE (CBC 705.2, METHOD 2)	IF OPENINGS IN EXTERIOR WALLS ARE REQUIRED TO BE PROTECTED, THEN THE BALCONIES MUST BE MIN. 1 HOUR FIRE RATED CONSTRUCTION (CBC 705.2.3)	



WILLOW HOUSING
605 WILLOW ROAD
MENLO PARK, CALIFORNIA

WILLOW HOUSING, L.P.
470 SOUTH MARKET STREET
SAN JOSE, CALIFORNIA 95113



KEY PLAN

ISSUE	DATE	DESCRIPTION
1	06-28-14	1ST PLAN CHECK SUBMITTAL
2	08-22-14	PLAN CHECK RESPONSE #1

CODE ANALYSIS

A0.11

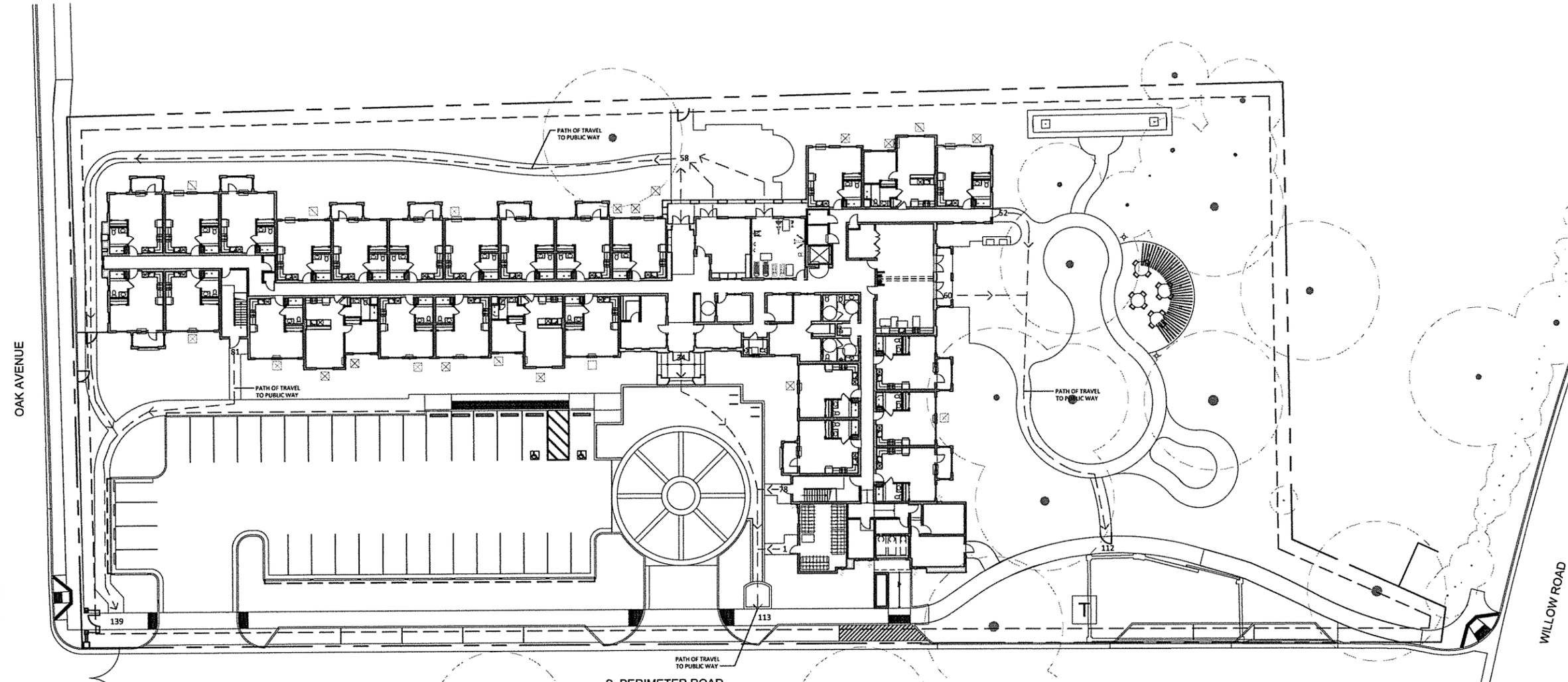
OCCUPANT LOAD/ EXITING NOTES:

1. ALL ROOMS OR EXIT PATHS WITH OCCUPANT LOADS UNDER 165 OCCUPANTS SHALL HAVE 3'-0" DOORS (33" CLR) MIN.
2. THE EXIT PATH AND DISTANCES SHOWN ON THE PLAN DEPICT THE LONGEST POSSIBLE RUNS BUT NOT ALL POSSIBLE PATHS ARE SHOWN. PER CBC TABLE 1016.2 EXIT ACCESS TRAVEL DISTANCE IS 250 FEET FOR A AND R-OCCUPANCIES, 300 FEET FOR B-OCCUPANCIES, AND 400 FEET FOR S-OCCUPANCIES (GARAGE) AS THESE BUILDINGS ARE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS.
3. SEE NOTES ON PLANS FOR NON-SEPARATED ACCESSORY OCCUPANCIES
4. EXIT PATHS FROM INSIDE THE BUILDING, REQUIRED TO TRANSVERSE EXTERIOR SPACE, SHALL BE PROVIDED, FREE AND CLEAR, THROUGH THE PATIOS, WALKWAYS AND BALCONIES. FURNISHINGS OR ANY OTHER MOVEABLE OR PERMANENT ELEMENTS/OBSTRUCTIONS SHALL NOT BE LOCATED WITHIN EXIT PATHS. REQUIRED WIDTHS SHOWN SHALL CONTINUE THROUGH THE EXTERIOR SPACE.
5. DOOR ENCROACHMENT. DOORS, WHEN FULLY OPENED, AND HANDRAILS SHALL NOT REDUCE THE REQUIRED MEANS OF EGRESS WIDTH BY MORE THAN 7 INCHES (178 MM). DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF. OTHER NONSTRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES SHALL BE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH A MAXIMUM OF 1 1/2 INCHES (38 MM) ON EACH SIDE.

PH PANIC HARDWARE

TACTILE EXIT SIGNAGE:
TACTILE EXIT SIGNAGE PER CBC SECS. 1011.4 & 11B-703 TO BE LOCATED AT: EACH GRADE-LEVEL EXTERIOR EXIT DOOR; EACH EXTERIOR EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP; EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY; EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN; EACH EXIT DOOR THROUGH A HORIZONTAL EXIT. SEE SIGNAGE CONSULTANT PACKAGE FOR DETAILS. REFER TO FLOORPLANS AND SYMBOLS BELOW FOR LOCATION AND TYPE OF SIGN. SIGNS SHALL COMPLY WITH CBC SECTION 11B-703.

- EXIT TACTILE SIGN WITH THE WORD "EXIT" REQUIRED AT THIS LOCATION
- EXIT ROUTE TACTILE SIGN WITH THE WORDS "EXIT ROUTE" REQUIRED AT THIS LOCATION
- EXIT STAIR DOWN TACTILE SIGN WITH THE WORDS "EXIT STAIR DOWN" REQUIRED AT THIS LOCATION



1700 BRENDAWAY STREET
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KEY PLAN

ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

SITE EGRESS

A0.12

SITE EGRESS SCALE 3/32" = 1'-0"

OCCUPANT LOAD/ EXITING NOTES:

1. ALL ROOMS OR EXIT PATHS WITH OCCUPANT LOADS UNDER 165 OCCUPANTS SHALL HAVE 3'-0" DOORS (33" CLR) MIN.
2. THE EXIT PATH AND DISTANCES SHOWN ON THE PLAN DEPICT THE LONGEST POSSIBLE RUNS BUT NOT ALL POSSIBLE PATHS ARE SHOWN. PER CBC TABLE 1016.2 EXIT ACCESS TRAVEL DISTANCE IS 250 FEET FOR A AND R-OCCUPANCIES, 300 FEET FOR B-OCCUPANCIES, AND 400 FEET FOR S-OCCUPANCIES (GARAGE) AS THESE BUILDINGS ARE EQUIPPED WITH AUTOMATIC FIRE SPRINKLERS.
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5. DOOR ENCROACHMENT. DOORS, WHEN FULLY OPENED, AND HANDRAILS SHALL NOT REDUCE THE REQUIRED MEANS OF EGRESS WIDTH BY MORE THAN 7 INCHES (178 MM). DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF. OTHER NONSTRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES SHALL BE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH A MAXIMUM OF 1 1/2 INCHES (38 MM) ON EACH SIDE.

PH PANIC HARDWARE

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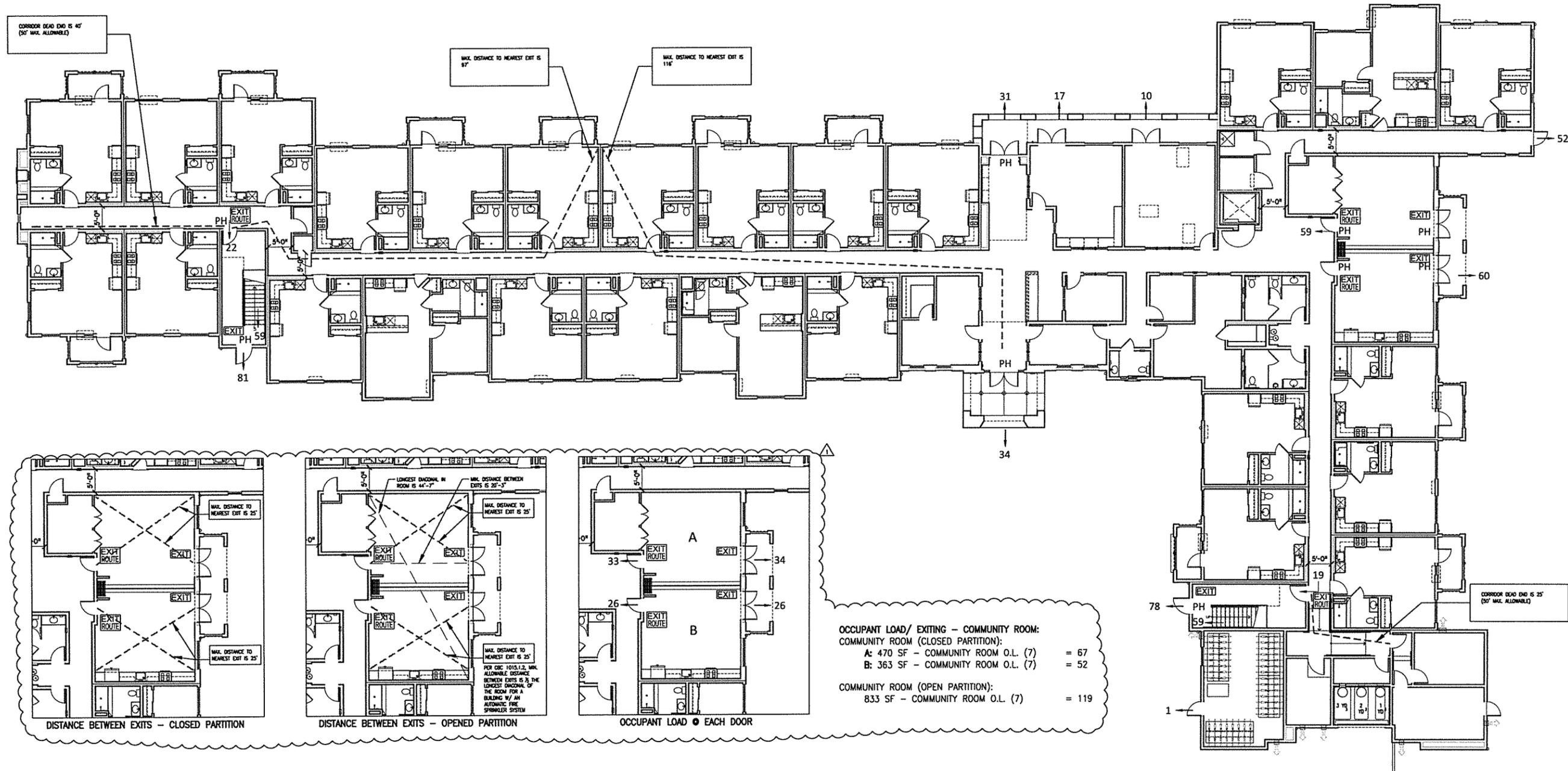
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OCCUPANT LOAD/ EXITING - RESIDENTIAL FLOOR 1:

RESIDENTIAL LEVEL 1:

15,574	SF (W/O BALC.)	- RESIDENTIAL O.L. (200)	= 78
452	SF	- GYM O.L. (50)	= 10
833	SF	- COMMUNITY ROOM O.L. (7)	= 119
255	SF	- TELE./COMP. ROOM O.L. (15)	= 17
1,463	SF	- UTILITY/ACCESSORY O.L. (300)	= 5
1,673	SF	- OFFICE SPACE O.L. (100)	= 17
TOTAL O.L.			= 246

PER CBC T-1015.1, 2 EXITS ARE REQUIRED. EXIT THROUGH STAIRS #1 & #2. PER CBC T-1016.1, MAX. ALLOWABLE EXIT ACCESS TRAVEL DISTANCE IS 250 FEET (W/ SPRINKLER SYSTEM). MAX. DISTANCE (PER PLANS) IS 116'.



OCCUPANT LOAD/ EXITING - COMMUNITY ROOM:

COMMUNITY ROOM (CLOSED PARTITION):

- A: 470 SF - COMMUNITY ROOM O.L. (7) = 67
- B: 363 SF - COMMUNITY ROOM O.L. (7) = 52

COMMUNITY ROOM (OPEN PARTITION):

- 833 SF - COMMUNITY ROOM O.L. (7) = 119

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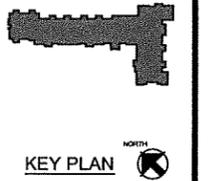
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ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

OVERALL
 FIRST FLOOR
 EXITING PLAN

OCCUPANT LOAD/ EXITING NOTES:

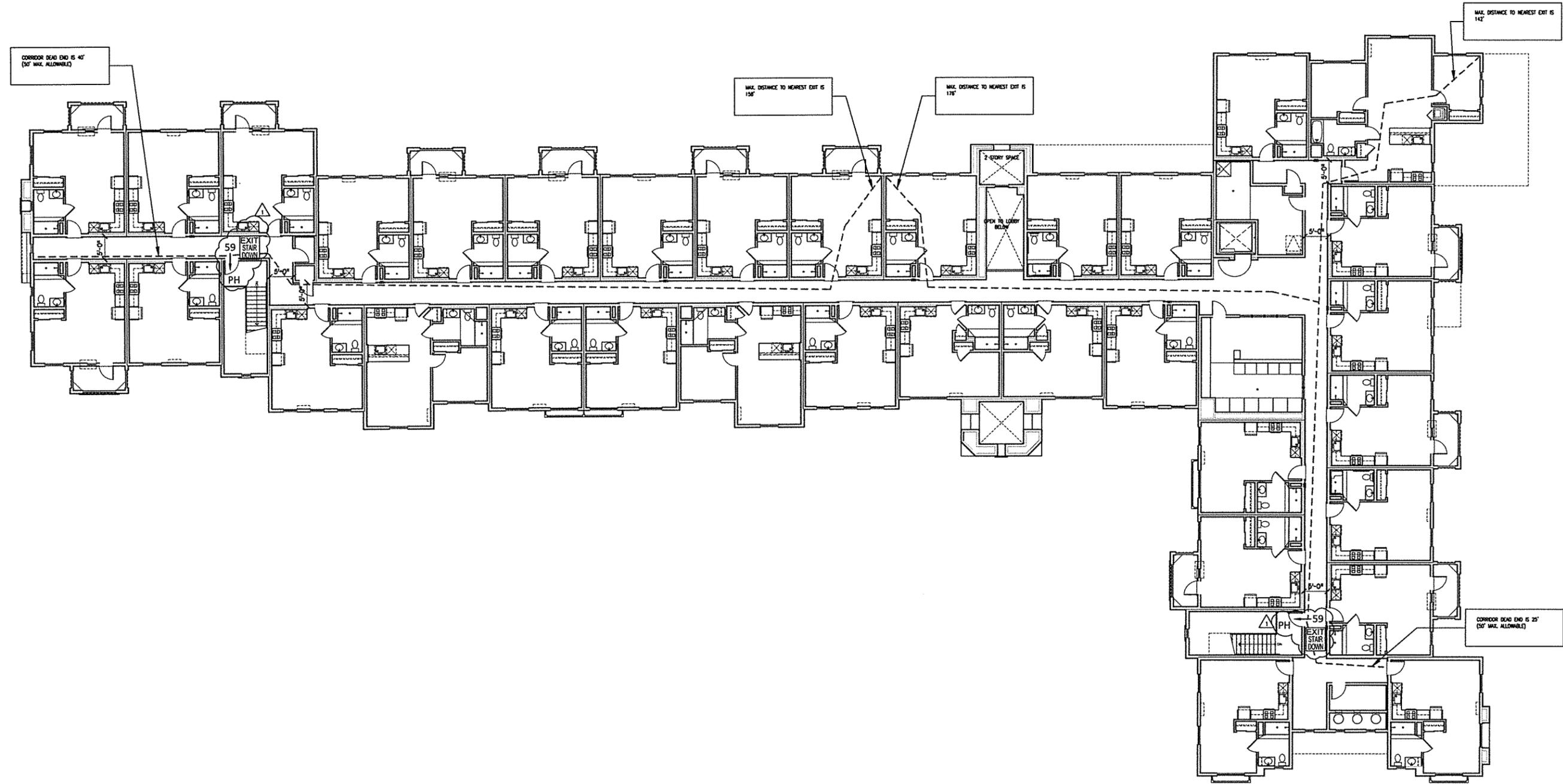
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- EXIT STAIR DOWN TACTILE SIGN WITH THE WORDS "EXIT STAIR DOWN" REQUIRED AT THIS LOCATION

OCCUPANT LOAD/ EXITING - RESIDENTIAL FLOOR 2:
RESIDENTIAL LEVEL 2:
18,745 SF (W/O BALC.) - RESIDENTIAL O.L. (200) = 94
306 SF - LAUNDRY O.L. (15) = 21
603 SF - UTILITY/ACCESSORY O.L. (300) = 3
TOTAL O.L. = 118
PER CBC T-1015.1, 2 EXITS ARE REQUIRED. EXIT THROUGH STAIRS #1 & #2. PER CBC T-1016.1, MAX. ALLOWABLE EXIT ACCESS TRAVEL DISTANCE IS 250 FEET (W/ SPRINKLER SYSTEM). MAX. DISTANCE (PER PLANS) IS 142'.



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SUITE 17A, 1660 BLAKE STREET
BOSTON, MASSACHUSETTS 02116
TEL: 617-552-0041 FAX: 617-552-0042
SUITE 500, 100 WEST SAN FERNANDO ST
LOS ANGELES, CALIFORNIA 90015
TEL: 408-272-2222 FAX: 408-272-2223
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WILLOW HOUSING
605 WILLOW ROAD
MENLO PARK, CALIFORNIA
WILLOW HOUSING, L.P.
470 SOUTH MARKET STREET
SAN JOSE, CALIFORNIA 95113



KEY PLAN

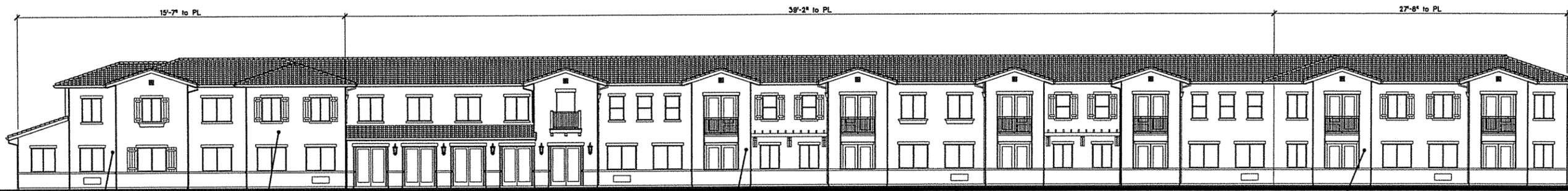
ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079
OVERALL SECOND FLOOR EXITING PLAN



1708 BERKELEY STREET
 BERKELEY, CALIFORNIA 94704
 TEL: 510.841.0270 FAX: 510.841.2524
 SUITE 170, 1860 BLAKE STREET
 BERKELEY, CALIFORNIA 94702
 TEL: 510.841.0411 FAX: 510.841.0402
 SUITE 500, 100 WEST SAN FERNANDO ST
 SAN JOSE, CALIFORNIA 95113
 TEL: 415.435.7300 FAX: 415.435.7310

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LEVEL 1:
 WALL: 642 sf
 OPENING: 170 sf
 ALLOWED: 75%
 ACTUAL: 26% OK

LEVEL 2:
 WALL: 672 sf
 OPENING: 110 sf
 ALLOWED: 75%
 ACTUAL: 16% OK

LEVEL 1 & 2:
 FIRE SEPARATION
 DISTANCE = 33'-2" MIN.
 ALLOWABLE OPENINGS =
 UNLIMITED

LEVEL 1 & 2:
 FIRE SEPARATION
 DISTANCE = 27'-8" MIN.
 ALLOWABLE OPENINGS =
 UNLIMITED

NORTH ELEVATION SCALE 3/32" = 1'-0" 1

FIRE SEPARATION DISTANCE: MIN. 40'-0" TO STREET CENTER LINE



LEVEL 1 & 2:
 FIRE SEPARATION
 DISTANCE = 40'-0" MIN.
 ALLOWABLE OPENINGS =
 UNLIMITED

SOUTH ELEVATION SCALE 3/32" = 1'-0" 2

105'-0" MIN. TO SIDE R



LEVEL 1 & 2:
 FIRE SEPARATION
 DISTANCE = 105'-0" MIN.
 ALLOWABLE OPENINGS =
 UNLIMITED

EAST ELEVATION SCALE 3/32" = 1'-0" 4

FIRE SEPARATION DISTANCE: MIN. 30'-0" TO STREET CENTER LINE



LEVEL 1 & 2:
 FIRE SEPARATION
 DISTANCE = 30'-0" MIN.
 ALLOWABLE OPENINGS =
 UNLIMITED

WEST ELEVATION SCALE 3/32" = 1'-0" 3

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 MENLO PARK, CALIFORNIA

WILLOW HOUSING, L.P.
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KEY PLAN NORTH

ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITTAL
2	08-21-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

EXTERIOR WALL
 OPENING CODE
 COMPLIANCE

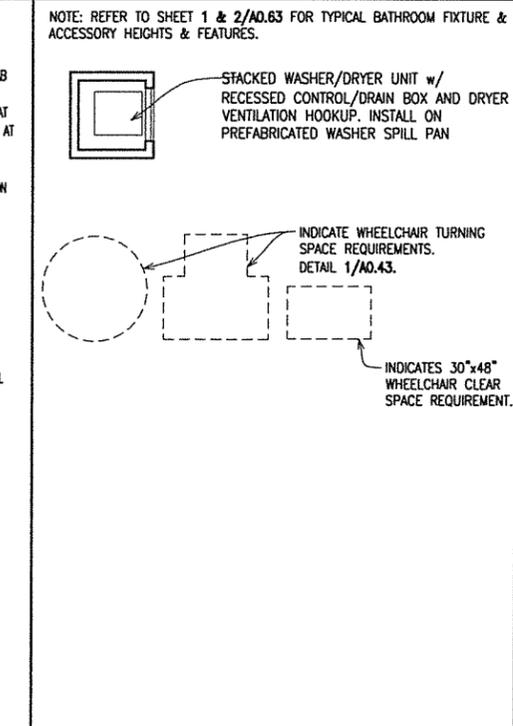
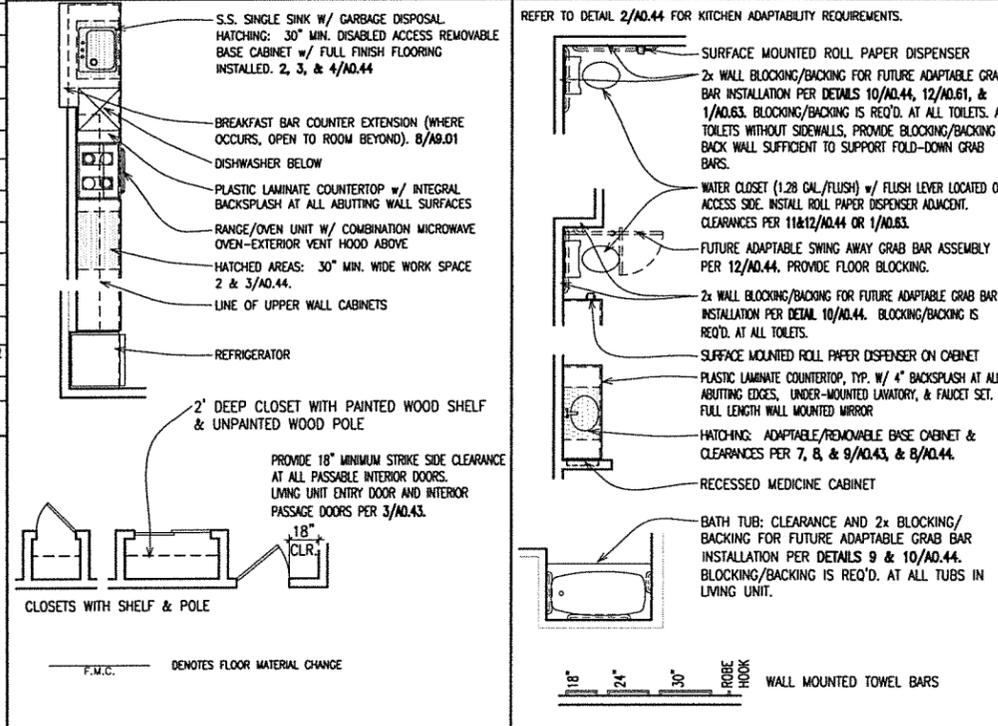
A0.15

BUILDING PLAN SYMBOLS

SYMBOL	DESCRIPTION (ALL ARE WOOD FRAMED, U.O.N.)	DETAIL
	NON RATED EXTERIOR WALL	2/17.01
	NON RATED EXTERIOR WALL, ECP FINISH BOTH SIDES	5/17.01
	1 HR FIRE RATED CORRIDOR WALL, STAGGERED STUDS	8/17.01
	1 HR FIRE RATED CORRIDOR WALL, STAGGERED STUDS, W/ PLUMBING WALL	11/17.01
	1 HR FIRE RATED WALL, LOAD BEARING	2/17.02
	1 HR FIRE RATED WALL, LOAD BEARING	5/17.02
	1 HR FIRE RATED PARTY WALL, IMPROVED ACOUSTIC SEPARATION	2/17.03
	1 HR FIRE RATED PARTY WALL	5/17.03
	1 HR FIRE RATED PARTY WALL, IMPROVED ACOUSTIC SEPARATION	5/17.03
	1 HR FIRE RATED INTERIOR WALL, LOAD BEARING	8/17.02
	NON RATED INTERIOR WALL, LOAD BEARING	11/17.02
	FIRE EXTINGUISHER IN SEMI-RECESSED WALL CABINET	6/10.63, 3/17.02
	MANUAL WET CLASS I STANDPIPE SYSTEM OUTLET	
	FIRE DEPARTMENT CONNECTION-COORDINATE W/ FIRE DEPARTMENT AND DESIGN/ BUILD FIRE PROTECTION SYSTEM	

1/4" ENLARGED PLAN SYMBOLS

DRAWING SYMBOLS DEFINED IN THIS TABLE ARE APPLICABLE TO 1/4" SCALE LIVING UNIT PLANS.



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 MENLO PARK, CA 94025
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 SAN JOSE, CA 95133
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ABBREVIATIONS

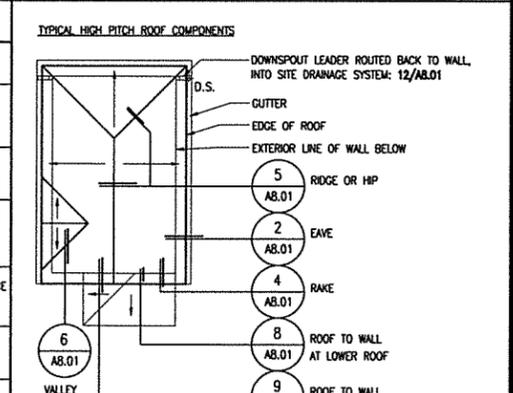
AC. ASPHALTIC CONCRETE	F.O.M. FACE OF MASONRY	P.T. POST TENSIONED,
A.D., AD AREA DRAIN	F.O.S. FACE OF STUD/WALL FRAMING	P.T.D.F., PTDF PRESSURE TREATED DOUGLAS FIR
A.F.F., AFF ABOVE FINISH FLOOR	FRMG. FRAMING	R. RISER(S)
A.F.R.T.W., AFRTW APPROVED FIRE RETARDANT TREATED WOOD	FT. FEET, FOOT	RAD. RADIUS
ALT. ALTERNATE	FTG. FOOTING	R.D.W. REDWOOD
ALUM. ALUMINUM	GA. GAUGE	REBAR(S) STEEL REINFORCING BARS
ASW AREA SEPARATION WALL	GALV. GALVANIZED	REF. REFRIGERATOR
BD. BOARD	G.I. GALVANIZED IRON	REINF. REINFORCEMENT, REINFORCING REQUIREMENTS
BLDG. BUILDING	G.S.M., GSM GALVANIZED SHEET METAL	R.Q.T.S., REQTS.
BLK., BLKG. BLOCK, BLOCKING	G.W.B., GWB GYPSUM WALL BOARD	S.A.M. SELF ADHERED MEMBRANE
BOT. BOTTOM	H. HIGH	S.A.S.F., SASF SELF-ADHERING SHEET FLASHING (GRACE ICE & WATER SHIELD OR EQ.)
C.A. CONTRACT ADMINISTRATION	H.B., HB HOSE BIB	SCHED. SCHEDULE
CAB. CABINET	H.D.W.R. HARDWARE	SHT. SHEET
C.D. CONTRACT DOCUMENTS	HORIZ. HORIZONTAL	SHTG. SHEATING
CEM. CEMENT	H.R. HOUR(S)	SIM. SIMILAR
C.I.P., CIP CAST IN PLACE CONCRETE	H.T. HEIGHT	SPEC. SPECIFICATIONS
C.I.P.C., CIPC CAST IN PLACE CONCRETE CONTROL JOINT	H.T. HEAVY TIMBER	SQ.FT., SF SQUARE FEET
C.J., CJ CONTROL JOINT	I.D. INSIDE DIAMETER	S.S., SS STAINLESS STEEL
CLR. CLEAR, CLEARANCE	IN. INCH(ES)	S.S., STD. STANDARD
CLG. CEILING	INSUL. INSULATION	STRUC. STRUCTURAL
C.L. CENTER LINE	INT. INTERIOR	SUSP. SUSPENDED
CLO. CLOSET	JT., JNT. JOINT	T. TREAD
C.M.U., CMU CONCRETE MASONRY UNIT	LAV. LAVATORY	T.O.C., TOC TOP OF CONCRETE
COL. COLUMN	LIN. LINEN	TEL TELEPHONE/DATA
COORD. COORDINATE	LT. LIGHT	TEMP. GL TEMPERED GLASS
CONC. CONCRETE	LT. WT. LIGHT WEIGHT	T&B TOP AND BOTTOM
CONSTR. CONSTRUCTION	MATL. MATERIAL	T&G TONGUE AND GROOVE
CONT. CONTINUOUS	MAX. MAXIMUM	TH. THICK
DBL. DOUBLE	M.B. MACHINE BOLT	T.O.P. TOP OF PLATE
DEG. DEGREE(S)	M.C. MEDICINE CABINET	T.O.PLY. TOP OF PLYWOOD
DET. DETAIL	MECH. MECHANICAL	T.O.S. TOP OF SLAB
D.F. DOUGLAS FIR	MFR. MANUFACTURER	TRNF. TRANSFORMER
DIAG. DIAGONAL	MGR. MANAGER	TV TELEVISION/DATA
DIA. DIAMETER	MIN. MINIMUM	T.O.W. TOP OF WALL
DIM. DIMENSION	MTL. METAL	TYP. TYPICAL
DN. DOWN	(N) NEW	U.N.O., UNO UNLESS NOTED OTHERWISE
D.S., DS DOWN SPOUT	N.C., NC NONCOMBUSTIBLE	U.O.N., UON UNLESS OTHERWISE NOTED
D.S.L., DSL DOWN SPOUT LEADER	N.I.C., NIC NOT IN CONTRACT NUMBER	V.C.T., VCT VINYL COMPOSITION TILE
DW DRAIN	N.O., NO NOT TO SCALE	VENT. VENTILATING
DWG. DRAWING	O./, o/ ON, OVER	VERT. VERTICAL
(E), EX, EXIST. EXISTING	O.C., OC, oc ON CENTER	V.F. VERIFY
EA. EACH	OCC. SEP. OCCUPANCY SEPARATION	V.I.F., VIF VERIFY IN FIELD
E.J., EJ EXPANSION JOINT	OFC. OFFICE	V.I.R., VTR VENT TO ROOF
ELEC. ELECTRICAL	O.D., OD OUTSIDE DIAMETER	WD. WOOD
ELEV. ELEVATION, ELEVATOR	OPNG. OPENING	W.H. WATER HEATER
EQ. EQUAL	O.P.H. OPPOSITE HAND	W.I. WROUGHT IRON
EQUIP. EQUIPMENT	PARA. PARALLEL	W.I.C. WATERPROOFING
EXT. EXTERIOR	P.C.P., PCP PORTLAND CEMENT PLASTER	W.R. WATER RESISTANT
F. FIXED	PERP. PERPENDICULAR	W.R.B., WRB WATER-RESISTIVE BARRIER WITH
F.D. FIRE DRAIN, FIRE DAMPER	PL. PLATE	W/W. W/
F.D.C. FIRE DEPARTMENT CONNECTION	P.L. PROPERTY LINE	
F.E. FIRE EXTINGUISHER	P.LAM PLASTIC LAMINATE	
F.F. FINISH FLOOR	PLYWD., PLY. PLYWOOD	
F.H. FIRE HYDRANT	P.O.T., POT PATH OF TRAVEL	
FIN. FINISH	PREFAB. PREFABRICATED	
FLR. FLOOR		
FLASH. FLASHING		
F.M.C., FMC FLOOR MATERIAL CHANGE		
F.O.C. FACE OF CONCRETE		
F.O.F. FACE OF FINISH		

DRAWING SYMBOL LEGEND

SYMBOL(ACAD)	DESCRIPTION	SYMBOL(ACAD)	DESCRIPTION
	EXTERIOR ELEVATION KEY SYMBOL		STRUCTURAL GRID SYMBOL
	CROSS SECTION KEY SYMBOL		UNIT TYPE OR BUILDING PART NAME -R INDICATES "REVERSE" PLAN
	DETAIL SECTION KEY SYMBOL		UNIT NUMBER / ADDRESS
	SECTION DETAIL KEY SYMBOL		UNIT OR BUILDING PART DESIGNATION SYMBOL AAA AAAA ROOM NAME [A] 8'-0" CEILING HEIGHT FINISH CODE
	BLOWUP DETAIL OR ENLARGED PARTIAL PLAN KEY SYMBOL		ROOM DESIGNATION SYMBOL
	INTERIOR ELEVATION KEY SYMBOL		WINDOW REFERENCE SYMBOL
	CENTERLINE DIMENSION LEADER		STOREFRONT WINDOW REFERENCE SYMBOL
			GENERAL NOTE REFERENCE SYMBOL - SEE MASTER LIST FOR EXPLANATION
			KEYNOTE REFERENCE SYMBOL - SEE MASTER LIST FOR EXPLANATION

ROOF PLAN SYMBOLS

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
	LOW PITCH ROOF SLOPE TO DRAIN. 3% SLOPE MIN. CLASS "A" BUILT UP ROOF SYSTEM (LOW PITCH ARROW SYMBOL INDICATES EXTENT OF MAIN LOW PITCH CLASS "A" BUILT UP ROOF SURFACE. SEE PLANS)	TYP. DETAILS AB.03-AB.05		3/4" RUBBER ROOF SURFACE WALK PADS. DUAL PAD BY W.R. GRACE OR APPROVED EQUAL (COORDINATE W/ ROOF EQUIP. LAYOUT ON MECH. DRAWINGS)	
	HIGH PITCH ROOF SLOPE DOWN. CONCRETE "S" ROOF TILE @ 4:12 SLOPE (U.O.N.) EAGLE CAPISTRANO SERIES, BROWN RANGE #3689 (ESR-1900)	7/AB.01		22" W. x 30" H. HINGED LOUVER FOR ATTIC ACCESS.	3/AB.02
	LOW PITCH ROOF CRICKET & TRANSITION SURFACES SLOPED 2% MINIMUM.			HATCHED CLOAKED VENT TILE #504501001 (PRIMED) W/ 0.67 SQ. FT. FREE VENT AREA (ES-9650A) PAINT TO MATCH SURROUNDING CONCRETE TILE. 1/4" CORROSION RESISTANT METAL MESH ON ATTIC SIDE OF VENT.	6/AB.02
	ROOF DRAIN & OVERFLOW DRAIN W/ BUILT UP ROOF SYSTEM. DRAIN LINES ROUTED PER PLUMBING DRAWINGS.	4/AB.02		ATTIC SYMBOL. REFER TO ATTIC VENTILATION TABLE FOR CODE COMPLIANCE VENT AREA.	
	36" x 36" CLR. OPERABLE ROOF HATCH	3/AB.06		LOUVERED ATTIC VENT W/ INSECT SCREEN (SEE A2.04 FOR VENTILATION CALCULATIONS)	3/AB.02
	SPOT ELEVATION IN INCHES: RELATIVE TO ROOF DRAIN (AT 0.0).			ROOF JACK VENT	4/AB.06



ISSUE	DATE	DESCRIPTION
1	08-28-14	1ST PLAN CHECK SUBMITAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

TYPICAL SYMBOLS AND ABBREVIATIONS

A0.21

TYPICAL NOTES - SITE PLAN

1. ALL BUILDINGS ARE PROPOSED NEW CONSTRUCTION WITHIN THE BOUNDARIES OF THIS SITE.
2. PROPERTY LINES, EASEMENTS, AND BUILDING LOCATIONS SHOWN ON THIS SITE PLAN ARE BASED ON SURVEY, CIVIL, AND LANDSCAPE DRAWINGS.
3. FOR UTILITY, HORIZONTAL CONTROL, PARKING STRIPING AND GRADING INFORMATION SEE THE CIVIL DRAWINGS.
4. FOR EXACT HARDSCAPE, FENCING, PLANTING AND IRRIGATION INFORMATION SEE LANDSCAPE DRAWINGS.
5. PRIOR TO POURING ANY FOUNDATION, THE CONTRACTOR SHALL VERIFY ANY LOCATION OF UNDER SLAB PIPING, SLEEVES, OR CONDUITS REQUIRED BY ANY CONSULTANT OR VENDOR, INCLUDING BUT NOT LIMITED TO CIVIL, PLUMBING, MECHANICAL, ELECTRICAL, LANDSCAPE, ELEVATOR, ALARM SYSTEMS, CABLE T.V., SECURITY AND OTHER LOW VOLTAGE/ COMMUNICATIONS SYSTEMS, ETC.
6. SEE LANDSCAPE AND CIVIL DRAWINGS FOR DETAILED SITE ACCESSIBILITY INFORMATION (SLOPES, PAVING TEXTURES, CURB RAMP DETAILING, HANDRAIL CONFIGURATIONS, GATES, ETC.).

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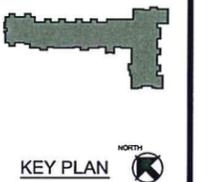
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 1086
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SUITE 400
 1015 WEST SAN JUAN AVENUE
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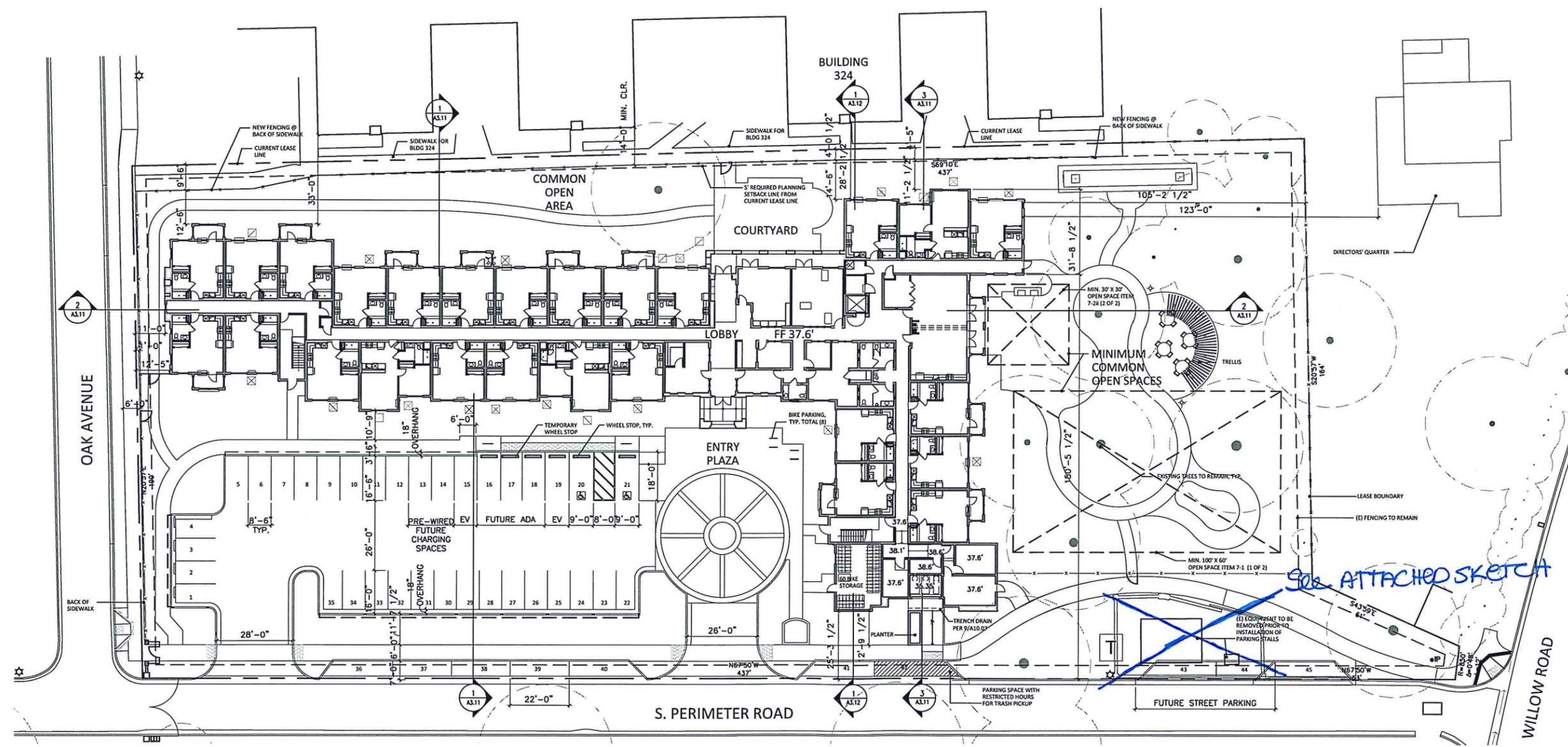


ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITTAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

SITE PLAN

A1.01



NOTE:
 1. REFER TO CIVIL FOR ADJACENT BUILDINGS.
 2. REFER TO COVER SHEET FOR PARKING SUMMARY

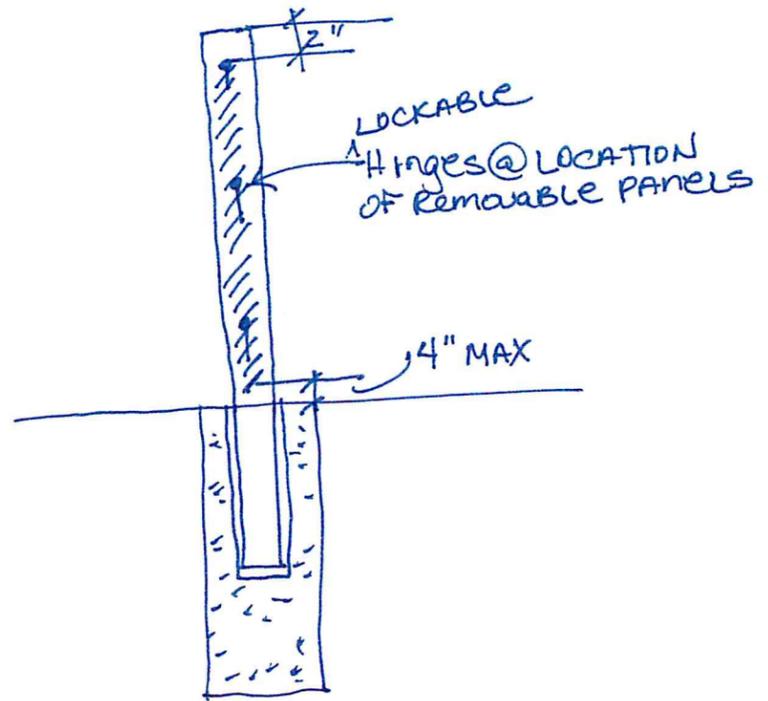
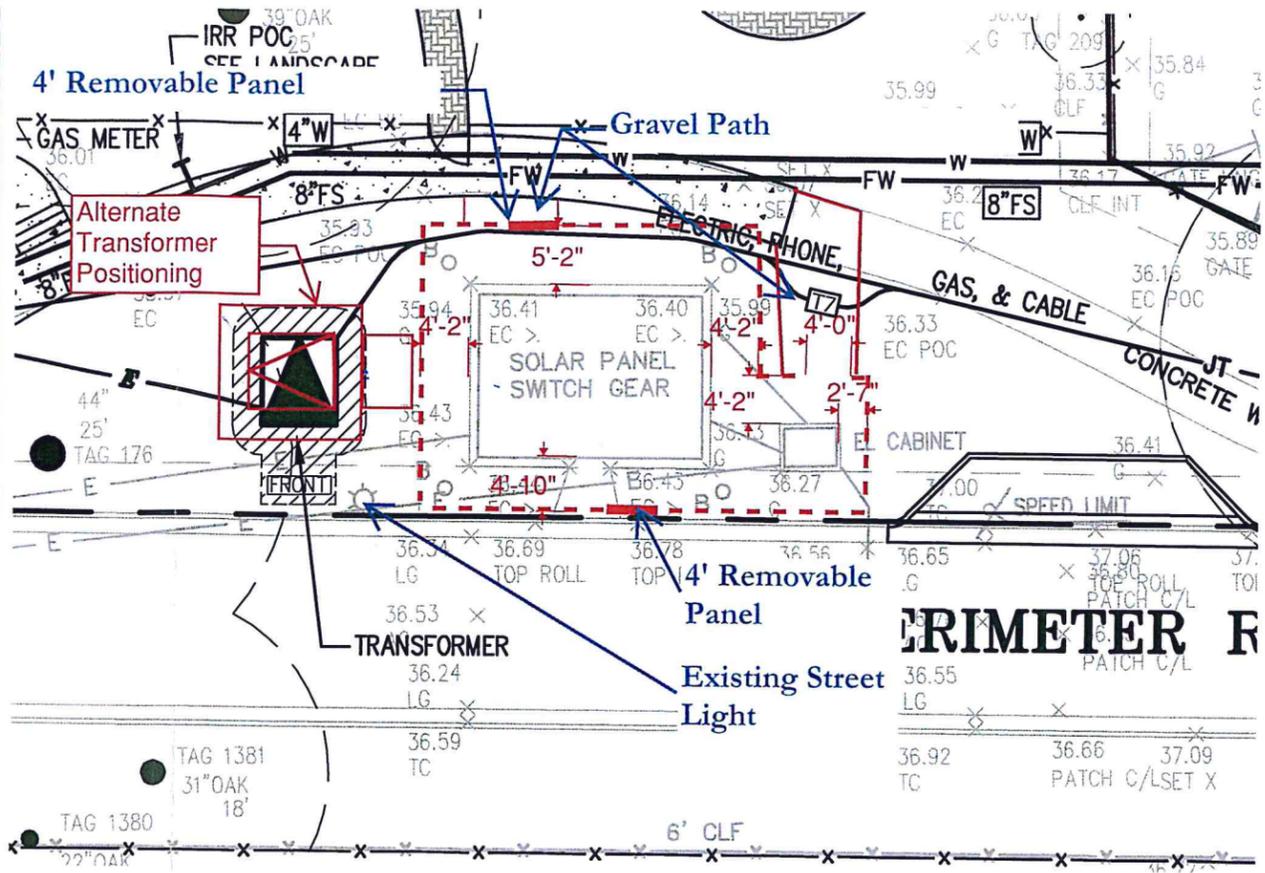
COMMON AREA (SEE L-1.1):	25,711 SF
REQUIRED COMMON OPEN SPACE (1 OF 2):	6,000 SF
REQUIRED COMMON OPEN SPACE (2 OF 2):	900 SF

PROJECT NORTH

SITE PLAN SCALE
 1" = 20'-0"



- 8' high black steel louvered fence (90% visibility) with 4" steel posts @ 4' spacing
- 4' wide removable panels on front and back with gravel walk or drive access
- Reuse existing bollards per current configuration
- 4' gate at rear with concrete walk
- 46" min. clearance around switchgear
- Location of interior lighting TBD



TYPICAL NOTES - FLOOR PLANS

- VERIFY ALL BUILT-IN EQUIPMENT SIZES AND REQUIREMENTS PRIOR TO LAYOUT AND CONSTRUCTION. BUILT-IN EQUIPMENT SHALL FIT TIGHTLY AS POSSIBLE WITHIN MANUFACTURER'S REQUIREMENTS TO FINISH OPENING.
- WHERE A PLYWOOD SHEATHED SHEAR PANEL IS REQUIRED IN ONLY A PORTION OF GIVEN STUD WALL, THE REMAINDER OF THE STUD WALL SHALL BE EITHER STRIPPED WITH FURRING EQUIVALENT TO THE SHEAR PANEL SHEATHING OR SHALL BE ENTIRELY SHEATHED WITH PLYWOOD EQUIVALENT TO THE SHEAR PANEL SHEATHING FOR A FLUSH, SMOOTH, UNINTERRUPTED FINISH.
- WHERE DIFFERENT WALL OR CEILING THICKNESS OCCUR WITHIN A GIVEN SURFACE DUE TO SHEATHING, ASSEMBLY AND/OR FINISH REQUIREMENTS, PROVIDE ADDITIONAL GYPSUM WALL BOARD, PLYWOOD STRIPPING EQUIVALENT TO ADJACENT SHEAR PANEL, AND OTHER SHIMMING AS REQUIRED FOR A FLUSH, UNINTERRUPTED SURFACE FINISH FROM CORNER TO CORNER.
- WHERE DOORS ARE LOCATED NEXT TO A WALL, THERE SHALL BE 4" MINIMUM CLEARANCE BETWEEN WALL FINISH SURFACE AND FACE OF DOOR IN 90 DEGREE OPEN POSITION, UNLESS DETAILED OR DIMENSIONED OTHERWISE. (5" MINIMUM AT ALL CORRIDOR DOORS)
- WINDOW TYPES AND DOORS SHOWN ON THE DOOR SCHEDULE SHALL TAKE PRECEDENCE OVER THE OPENING SIZES SHOWN ON THE PLAN.
- FREE-STANDING WALLS/PLANTERS AND WALL CAPS THAT ARE FINISHED W/ CEMENT PLASTER SHALL MATCH THE ADJACENT BUILDING FINISHES UNLESS OTHERWISE NOTED. SEE TYPICAL NOTES- EXTERIOR ELEVATIONS FOR MORE INFORMATION.
- JANITOR'S CLOSETS SHALL HAVE ONE FLOOR MOUNTED MOP SINK AND PREFABRICATED MOP RACK. JANITOR'S CLOSET SHALL BE ACCESSIBLE.
- FILL ALL UNSPRINKLERED WOOD FRAMED CONCEALED SPACES IN WALLS AND FLOOR/JATTIC SPACES WITH BATT INSULATION UNLESS INTERIOR OF SPACE AT ALL WOOD FRAMING IS CLAD IN FIRE RATED GYP. BD. (TYPE "X" OR "C" PER AN APPROVED ASSEMBLY). INSULATION USED TO FILL CONCEALED SPACES (TO AVOID SPRINKLER PROTECTION) SHALL BE NON-COMBUSTIBLE.
- FINAL ACCESS PANEL LOCATIONS, SIZES AND MATERIALS MUST BE APPROVED BY THE ARCHITECT. AT PREFABRICATED TUBS/SHOWER UNITS, ALLOW FOR CLEARANCES REQUIRED FOR INSTALLATION OF CONTINUOUS TYPE "X" GLASS MAT GYPSUM WALL BOARD OR APPROVED EQUAL AT WALLS BEHIND THE UNIT TO MAINTAIN FIRE RATING AND ACOUSTICAL CHARACTERISTICS. USE ADDITIONAL LAYERS OF GYPSUM BOARD THE ENTIRE LENGTH OF WALL WHERE NEEDED TO PROVIDE A TIGHT FIT AND A CONTINUOUS FINISH IN THE ROOM.
- ADJUSTMENTS TO SOFFITS MUST BE APPROVED BY THE ARCHITECT.
- REFER TO SHEETS A0.41 THROUGH A0.43 FOR ADDITIONAL INFORMATION, DIMENSIONS, AND CLEARANCES WITH REGARD TO DISABLED ACCESS REQUIREMENTS. DIMENSIONS ON THESE SHEETS SHALL BE

- CONSIDERED AS IF SHOWN HERE.
- SEE DETAIL 3/A9.01 FOR FLOOR TRANSITION BETWEEN CARPET AND VINYL COMPOSITION TILE OR SHEET FLOORING.
- CENTER DIFFUSERS OVER DOORS, OVER WINDOWS, IN SOFFITS, IN WALLS FROM CORNER TO CORNER, ETC.
- LOCATE DOORS AND WINDOWS SO THAT THE OPERABLE PORTION IS AWAY FROM ANY EXHAUST VENT, DRYER VENT, ETC. LOCATE THE FIXED PORTION CLOSEST TO THE VENT. THE OPERABLE SIDE SHALL NEVER BE WITHIN 3'-0" OF THE EXHAUST DIFFUSER.
- RECESSED ELEMENTS 16 SQ. IN. OR GREATER (MEDICINE CABINETS, ELECTRICAL SUBPANELS, ICE MAKER BIBS, ETC.) OCCURRING IN ONE HOUR RATED INTERIOR PARTITIONS (NOT INCLUDING CORRIDOR WALLS, PARTY WALLS, AREA SEPARATIONS WALLS, SHAFT WALLS, ETC.) WILL BE INSTALLED PER THE RECESSED WALL PANEL DETAIL 3/A7.02.
- ALL EXTERIOR WALLS AND CORRIDOR WALLS ARE TO BE OF 2x6 WOOD STUD FRAMING UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE 2x4 WOOD STUD FRAMING UNLESS NOTED OTHERWISE. SEE PLANS FOR LOCATIONS OF 2x6 INTERIOR WOOD STUD WALLS.
- ALL TOILET ROOM COUNTERS TO HAVE 1/4" EASED EDGE AT TOP AND BOTTOM OF COUNTER AND EXPOSED SIDES AND ENDS. OUTSIDE CORNERS TO BE RADIUS WITH AN EASED EDGE.
- WINDOWS ARE TYPICALLY RECESSED UNLESS NOTED OTHERWISE.
- WHERE EXTERIOR WALL BASE MEETS PAVING THAT IS LESS THAN 4" TO CONCRETE SLAB, SEE DETAIL 6/A8.07.
- FINISH FLOORING MATERIALS AT DWELLING UNITS THAT STACK ATOP UNITS OF DIFFERENT TENANCY WILL BE CUSHIONED VINYL, CARPET, OR A PRODUCT THAT MEETS CBC, I.L.C. AND S.T.C. REQUIREMENTS OF 50 AND THE ASSEMBLY SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
- SEE CEILING NOTES ON SHEETS A2.11 AND A2.12 FOR MORE INFO.
- BASE BOARDS AND DOOR CASINGS ARE TO BE PROVIDED THROUGHOUT UNITS.
- ANY ROOM THAT IS USED FOR AN ASSEMBLY PURPOSE WHERE FIXED SEATS ARE NOT INSTALLED SHALL HAVE THE CAPACITY OF THE ROOM POSTED IN A CONSPICUOUS PLACE ON AN APPROVED SIGN NEAR THE MAIN EXIT OR EXIT-ACCESS DOORWAY FROM THE ROOM.
- CONTRACTOR TO COORDINATE LOW WALLS WITH REQUIREMENTS FOR MECHANICAL SPACES.
- FOR INTERIOR BUILDING AND UNIT FINISH NOTES, SEE SHEET A10.01.
- MAINTAIN MIN. 8'-2" CLEARANCE ABOVE FLOOR AT ALL DRIVEWAY AISLES LEADING TO ADA PARKING SPACES AS WELL AS AT ADA PARKING SPACES.

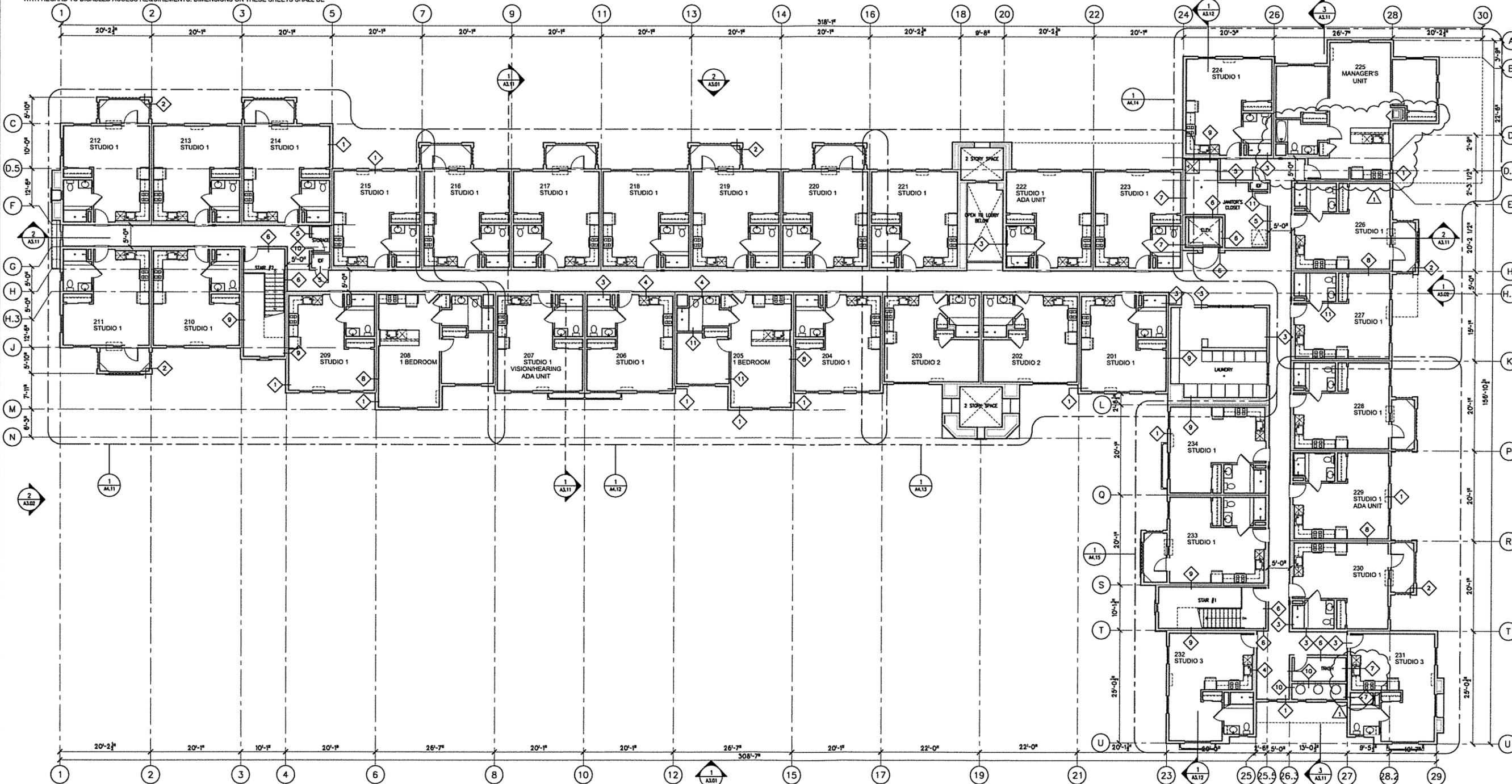
TACTILE EXIT SIGNAGE:
TACTILE EXIT SIGNAGE PER CBC SECS. 11B-702.3 & 11B-702.4. TO BE LOCATED AT: EACH GRADE-LEVEL EXTERIOR EXIT DOOR; EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP; EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY; EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN; EACH EXIT DOOR THROUGH A HORIZONTAL EXIT. SEE SIGNAGE CONSULTANT PACKAGE FOR DETAILS. REFER TO FLOORPLANS AND SYMBOLS BELOW FOR LOCATION AND TYPE OF SIGN. SIGNS SHALL COMPLY WITH CBC SECTION 11B-703.

EXIT TACTILE SIGN WITH THE WORD "EXIT" REQUIRED AT THIS LOCATION

EXIT ROUTE TACTILE SIGN WITH THE WORDS "EXIT ROUTE" REQUIRED AT THIS LOCATION

EXIT STAIR DOWN TACTILE SIGN WITH THE WORDS "EXIT STAIR DOWN" REQUIRED AT THIS LOCATION

BUILDING PLAN SYMBOLS		
SYMBOL	DESCRIPTION (ALL ARE WOOD FRAMED, U.O.N.)	DETAIL
	NON RATED EXTERIOR WALL	2/07.01
	NON RATED EXTERIOR WALL, ECP FINISH BOTH SIDES	5/07.01
	1 HR FIRE RATED CORRIDOR WALL, STAGGERED STUDS	8/07.01
	1 HR FIRE RATED CORRIDOR WALL, STAGGERED STUDS, W/ PLUMBING WALL	11/07.01
	1 HR FIRE RATED WALL, LOAD BEARING	2/07.02
	1 HR FIRE RATED WALL, LOAD BEARING	5/07.02
	1 HR FIRE RATED PARTY WALL, IMPROVED ACOUSTIC SEPARATION	2/07.03
	1 HR FIRE RATED PARTY WALL	5/07.03
	1 HR FIRE RATED PARTY WALL, IMPROVED ACOUSTIC SEPARATION	5/07.03
	1 HR FIRE RATED INTERIOR WALL, LOAD BEARING	8/07.02
	NON RATED INTERIOR WALL, LOAD BEARING	11/07.02
	FIRE EXTINGUISHER IN SEMI-RECESSED WALL CABINET.	6/06.03, 3/07.02
	MANUAL WET CLASS 1 STANDPIPE SYSTEM OUTLET	
	FIRE DEPARTMENT CONNECTION-COORDINATE W/ FIRE DEPARTMENT AND DESIGN/ BUILD FIRE PROTECTION SYSTEM	



OVERALL - SECOND FLOOR BUILDING PLAN SCALE 3/32" = 1'-0"

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KEY PLAN

NORTH

ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

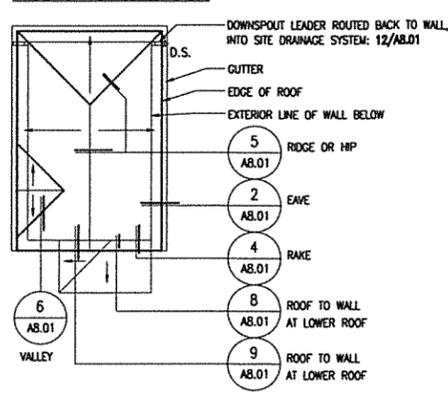
OVERALL SECOND FLOOR BUILDING PLAN

A2.02

ROOF PLAN SYMBOLS

SYMBOL	DESCRIPTION	DETAIL	SYMBOL	DESCRIPTION	DETAIL
	LOW PITCH ROOF SLOPE TO DRAIN. 3% SLOPE MIN. CLASS "A" BUILT UP ROOF SYSTEM (LOW PITCH ARROW SYMBOL INDICATES EXTENT OF MAIN LOW PITCH CLASS "A" BUILT UP ROOF SURFACE. SEE PLANS)	TYP. DETAILS AB.03-AB.05		3/4" RUBBER ROOF SURFACE WALK PADS: DUO PAD BY W.R. GRACE OR APPROVED EQUAL (COORDINATE W/ ROOF EQUIP. LAYOUT ON MECH. DRAWINGS)	
	HIGH PITCH ROOF SLOPE DOWN. CONCRETE "S" ROOF TILE @ 4:12 SLOPE (U.O.N.) EAGLE CAPISTRANO SERIES, BROWN RANGE #3689 (ESR-1900)	7/AB.01		22" W. x 30" H. HINGED LOUVER FOR ATTIC ACCESS.	3/AB.02
	LOW PITCH ROOF CRICKET & TRANSITION SURFACES SLOPED 2% MINIMUM.			0" HX 6" DIA. VENT TILE #504501001 (PRIMED) W/ 0.67 SQ. FT. FREE VENT AREA (ES-9650A) PAINT TO MATCH SURROUNDING CONCRETE TILE. 1/4" CORROSION RESISTANT METAL MESH ON ATTIC SIDE OF VENT.	6/AB.02
	ROOF DRAIN & OVERFLOW DRAIN w/ BUILT UP ROOF SYSTEM. DRAIN LINES ROUTED PER PLUMBING DRAWINGS.	4/AB.02		ATTIC SYMBOL. REFER TO ATTIC VENTILATION TABLE FOR CODE COMPLIANCE VENT AREA.	
	36" X 36" CLR. OPENABLE ROOF HATCH	3/AB.06		LOUVERED ATTIC VENT W/ INSECT SCREEN (SEE A2.04 FOR VENTILATION CALCULATIONS)	3/AB.02
	SPOT ELEVATION IN INCHES: RELATIVE TO ROOF DRAIN (AT 0.0).			ROOF JACK VENT	4/AB.06

TYPICAL HIGH PITCH ROOF COMPONENTS

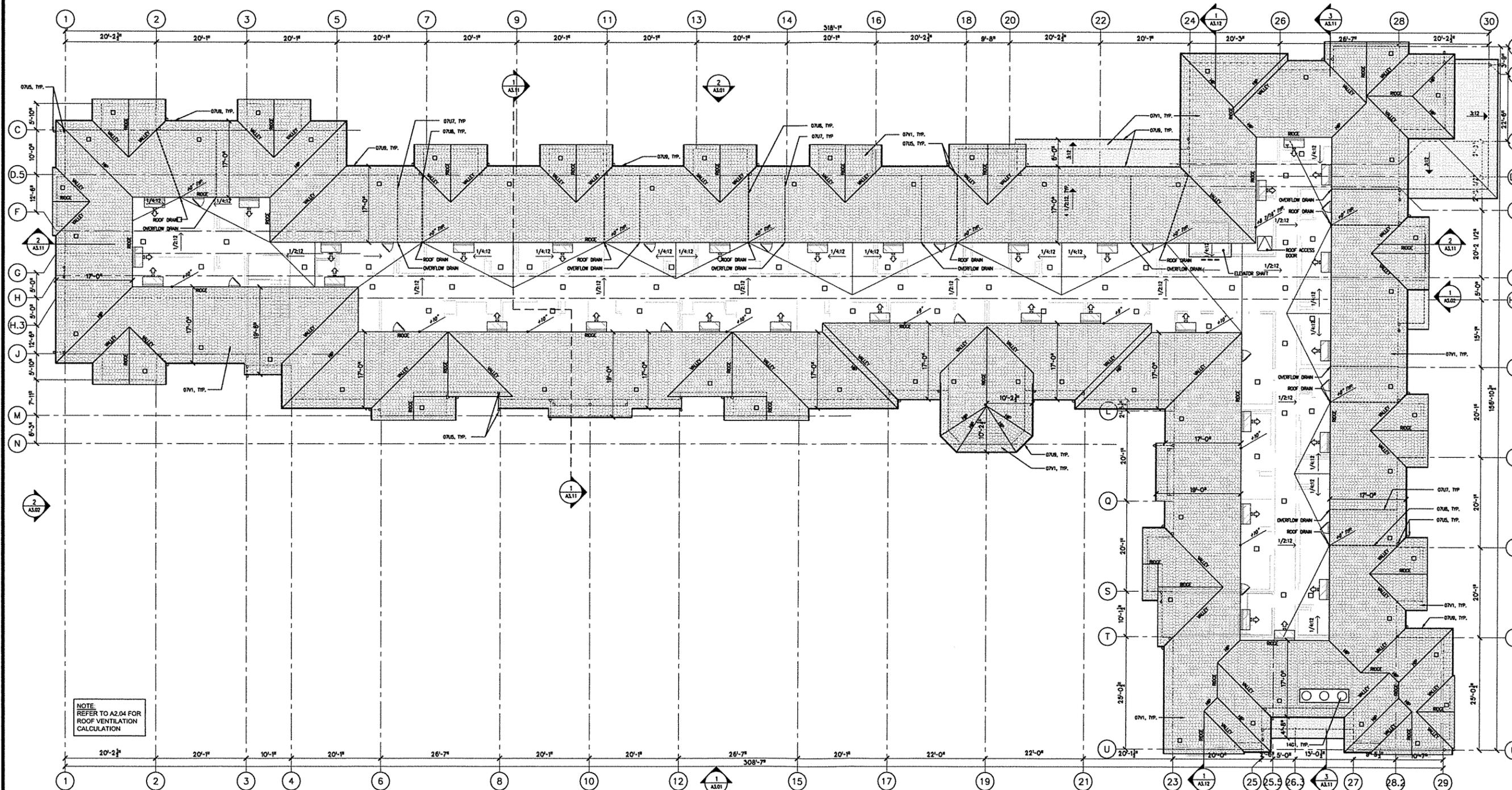


ROOF PLAN GENERAL NOTES:

- CRICKETS TO BE PROVIDED AT ALL ROOF TOP EQUIPMENT PLATFORMS FOR POSITIVE DRAINAGE.
- COORDINATE ALL ROOF PENETRATION REQUIREMENTS FOR MECHANICAL, PLUMBING, ELECTRICAL, AND SECURITY SYSTEM REQUIREMENTS.
- COORDINATE ALL ROOF MOUNTED EQUIPMENT REQUIREMENTS FOR MECHANICAL, PLUMBING, ELECTRICAL, AND SECURITY SYSTEM REQUIREMENTS.
- PROVIDE 22"x30" HINGED LOUVER / ACCESS DOOR IN ATTIC PARAPET WALL WHEN CONCEALED SPACE EXCEEDS 30" HEIGHT TO BOTTOM OF STRUCTURAL CLEAR.
- TILED ROOF SLOPES ARE 4-1/2:12 U.O.N. MEMBRANE ROOF SLOPES ARE 4% SLOPE MIN. PAINT ALL ELEMENTS NOT PROVIDED WITH A FACTORY FINISH TO PROTECT FROM THE ELEMENTS. ALL STEEL SHALL BE GALVANIZED. SEE WATERPROOFING NOTES ON EXTERIOR DETAIL SHEETS.
- PROVIDE 2 LAYERS OF 30# FELT UNDERLAYMENT AT ALL TILE ROOFS TYPICAL.
- REFER TO FLOOR PLAN SYMBOL LEGEND ON FLOOR PLAN SHEETS FOR SYMBOLS NOT SHOWN ON ROOF PLAN SYMBOL LEGEND.

ROOF PLAN KEYNOTES:

- (SEE MASTER KEYNOTES ON SHEET A0.22 FOR EXPANDED DESCRIPTIONS)
- 07U5 DOWNSPOUT/LEADER. SEE 12/AB.01
 - 07U8 RAIN WATER LEADER FROM ROOF DRAIN THROUGH EAVE TO CONDUCTOR. SEE DETAIL 1/AB.06
 - 07U7 RAIN WATER LEADER FROM ROOF OVERFLOW DRAIN THROUGH EAVE. SEE DETAIL 2/AB.06
 - 07U9 GUTTER
 - 07V1 CONCRETE "S" TILE ROOFING
 - 14G1 TRASH CHUTE, SEE 9/AB.02



NOTE: REFER TO A2.04 FOR ROOF VENTILATION CALCULATION

OVERALL - ROOF PLAN SCALE 3/32" = 1'-0"

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KEY PLAN

ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITTAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

OVERALL ROOF PLAN

A2.03

EXTERIOR COLOR KEYNOTES

- ① MAIN BODY
(PORTLAND CEMENT PLASTER LIGHT SAND FINISH)
PORCELAIN BASIN KM456J-1 BY KELLY MOORE
- ② ACCENT-1
(PORTLAND CEMENT PLASTER LIGHT SAND FINISH)
QUICK SAND KM455B-3 BY KELLY MOORE
- ③ ACCENT-2, TRIM, CORBEL & GUTTER
NEWSPRINT KM4917-3 BY KELLY MOORE
- ④ RAILING, OWNING & CATE
(WROUGHT IRON)
DESERT SHADOW KM4911-5 BY KELLY MOORE
- ⑤ BASE BODY
(PORTLAND CEMENT PLASTER STEEL TROWEL FINISH)
COW GIRL BOOTS KM453Z-3 BY KELLY MOORE
- ⑥ BASE ACCENT
(PORTLAND CEMENT PLASTER STEEL TROWEL FINISH)
BASE FOAM TRIM
COLOR TO MATCH PRECAST CONCRETE PANEL

EXTERIOR ELEVATION KEYNOTES
(SEE MASTER KEYNOTES ON SHEET A0.22 FOR EXPANDED DESCRIPTIONS)

- 03A1 CIPC SLAB ON GRADE
- 05K3 ORNAMENTAL METAL GRILLE, SEE WINDOW SCHEDULE
- 05L4 EXTERIOR METAL GUARDRAIL, SEE DETAIL 4/A8.09
- 06F3 SHUTTER, SEE DETAIL 5/A8.08 FOR PROFILE
- 06K1 WOOD ARBOR, SEE DETAILS 7-9/A8.06
- 06K3 WOOD 'JULIET' BALCONY, SEE DETAILS 1-9/A8.10
- 07G7 AESTHETIC ALUMINUM REVEAL, SEE DETAIL 8/A8.05
- 07U5 DOWNSPOUT LEADER, SEE DETAIL 4/A8.02
- 07U6 DOWNSPOUT/RWL CONDUCTOR HEAD/COLLECTOR BOX, SEE DETAIL 11/A8.01
- 07V1 CONCRETE 'S' TILE ROOFING
- 08L1 LOUVER, SEE FLOOR PLANS
- 08N1 STOREFRONT SYSTEM
- 08N2 STOREFRONT ENTRANCE SYSTEM
- 09A1 PORTLAND CEMENT PLASTER (P.C.P.) ASSEMBLY
- 09A5 CONTROL JOINT, SEE DETAIL 8/A8.05
- 09A11 P.C.P. OVER EPS TRIM, SEE DETAIL 12/A8.07 FOR PROFILE
- 10G1 ADDRESS SIGNAGE
- 10K3 METAL AWNING O/ DOOR, SEE DETAIL 10/A8.06
- 14G1 TRASH CHUTE, SEE DETAIL 9/A8.02
- 23L8 RECTANGULAR VENT CAP AT EXTERIOR WALL, SEE DETAIL 2/A8.04
- 23L9 FLUSH ROUND VENT CAP AT EXTERIOR WALL, SEE DETAIL 3/A8.04
- 26E3 EXTERIOR LIGHTING: WALL SURFACE MOUNTED, SEE ELECTRICAL DRAWINGS
- 26E4 EXTERIOR LIGHTING: WALL RECESS MOUNTED, SEE ELECTRICAL DRAWINGS
- 26E9 EXTERIOR LIGHTING: ILLUMINATED ADDRESS SIGNAGE
- 09A1 PORTLAND CEMENT PLASTER (P.C.P.) ASSEMBLY
- 09A11 P.C.P. OVER EPS TRIM, SEE DETAIL 12/A8.07 FOR PROFILE A,B,C,D,E,&F



- ELEVATION NOTES**
- 1. PORTLAND CEMENT PLASTER - LIGHT SAND FINISH
 - 2. PORTLAND CEMENT PLASTER - ACCENT (P.C.P.) ASSEMBLY
 - 3. PAINTED RAFTER TAIL
 - 4. PAINTED WOOD FASCIA/METAL GUTTER
 - 5. GABLE END BLOCK DETAIL
 - 6. PAINTED METAL RAILING
 - 7. PAINTED METAL ACCENT
 - 8. PLASTER FINISHED TRIM
 - 9. PLASTER FINISHED EXTENDED SILL
 - 10. PAINTED WOOD POST
 - 11. PAINTED WOOD TEXTURE RAILING
 - 12. PAINTED WOOD CORBEL
 - 13. PAINTED WOOD TEXTURE TRELIS
 - 14. FIXED WOOD TEXTURE SHUTTER
 - 15. METAL BERMUUDA SHUTTER
 - 16. EXTERIOR LIGHT FIXTURE
 - 17. VINYL WINDOW/DOOR

SOUTH ELEVATION SCALE 3/32" = 1'-0" 1



NORTH ELEVATION SCALE 3/32" = 1'-0" 2

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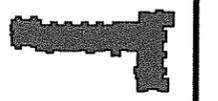
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KEY PLAN

ISSUE	DATE	DESCRIPTION
1	06-28-14	1ST PLAN CHECK SUBMITAL
2	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

EXTERIOR ELEVATIONS

A3.01

SECTION KEYNOTES
(SEE MASTER KEYNOTES ON SHEET A0.22 FOR EXPANDED DESCRIPTIONS)

- 03A1 CIPC SLAB ON GRADE, SEE DETAIL 2/A7.03
- 03A6 CIPC STRUCTURAL SLAB, SEE DETAIL 4/A7.03
- 06A1 WOOD STUD WALL FRAMING
- 06A8 WOOD FRAMED STAIR
- 07F2 ROOF/CEILING INSULATION
- 07Q2 BUILT-UP ROOF SYSTEM - MINERAL SURFACE CAP SHEET
- 07T1 TRAFFIC BEARING ROOF DECK SURFACING
- 08N1 STOREFRONT SYSTEM
- 09A1 PORTLAND CEMENT PLASTER (P.C.P.) ASSEMBLY
- 09A11 P.C.P. OVER EXPANDED POLYSTYRENE TRIM
- 09G2 ACOUSTICAL PANEL CEILING,
SEE DETAILS 1-4/A9.02
- 10L2 INDOOR NEIGHBORHOOD MAILBOX UNIT, SEE DETAIL 2/A9.01
- 14B1 ELEVATOR
- 14G1 TRASH CHUTE
- 32P4 STACKED BICYCLE RACK

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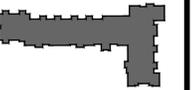
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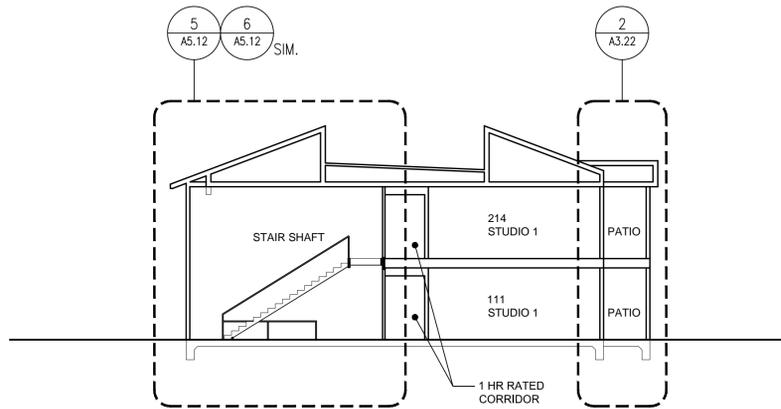
KEY PLAN

ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITTAL
1	08-22-14	PLAN CHECK RESPONSE #1

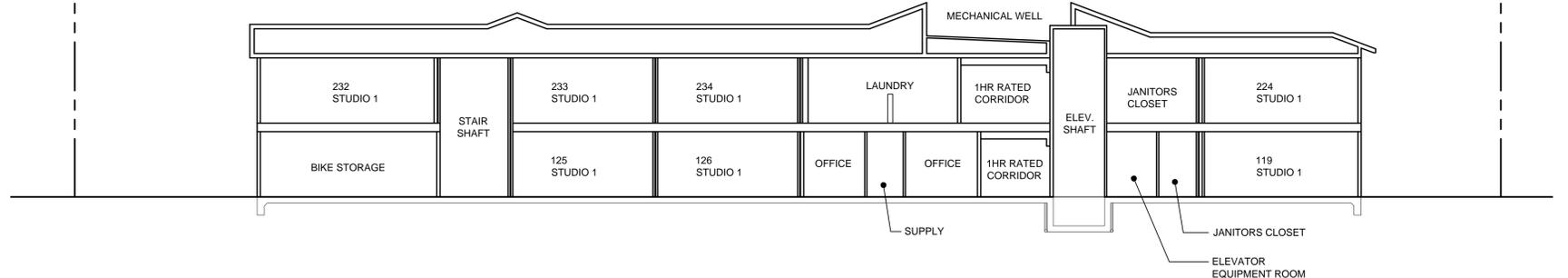
PROJECT: 12079

BUILDING SECTIONS

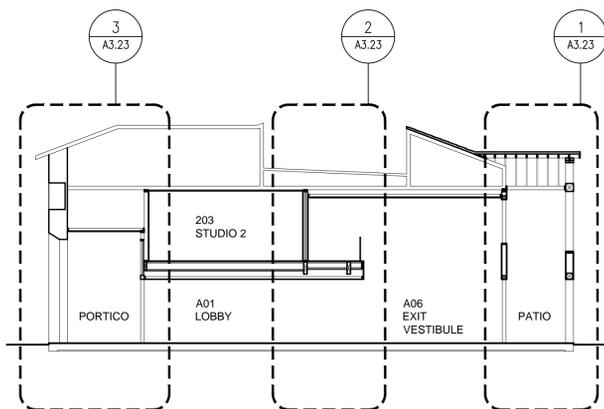
A3.12



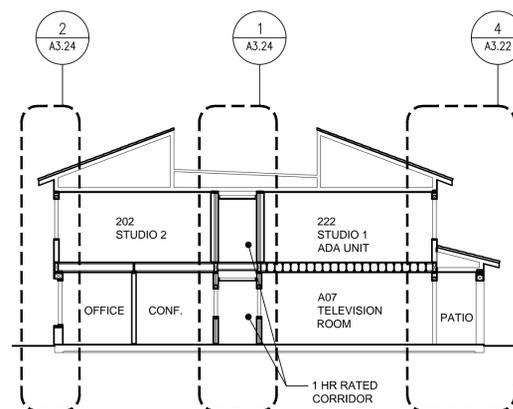
BUILDING SECTION SCALE 3/32" = 1'-0" 4



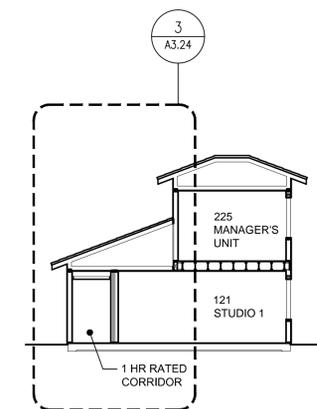
BUILDING SECTION SCALE 3/32" = 1'-0" 1



BUILDING SECTION SCALE 3/32" = 1'-0" 5



BUILDING SECTION SCALE 3/32" = 1'-0" 3



BUILDING SECTION SCALE 3/32" = 1'-0" 2

SECTION KEYNOTES
(SEE MASTER KEYNOTES ON SHEET A0.22 FOR EXPANDED DESCRIPTIONS)

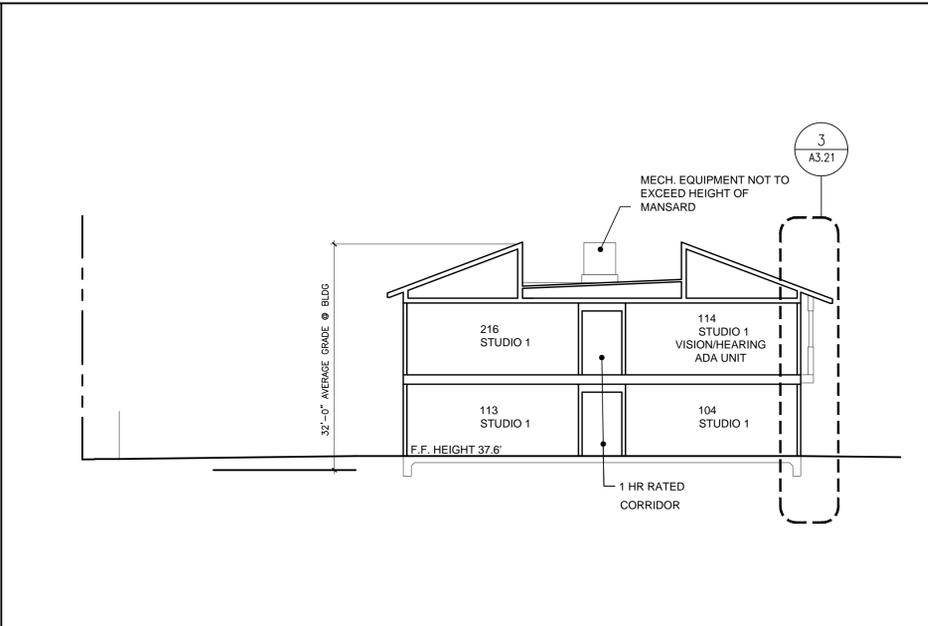
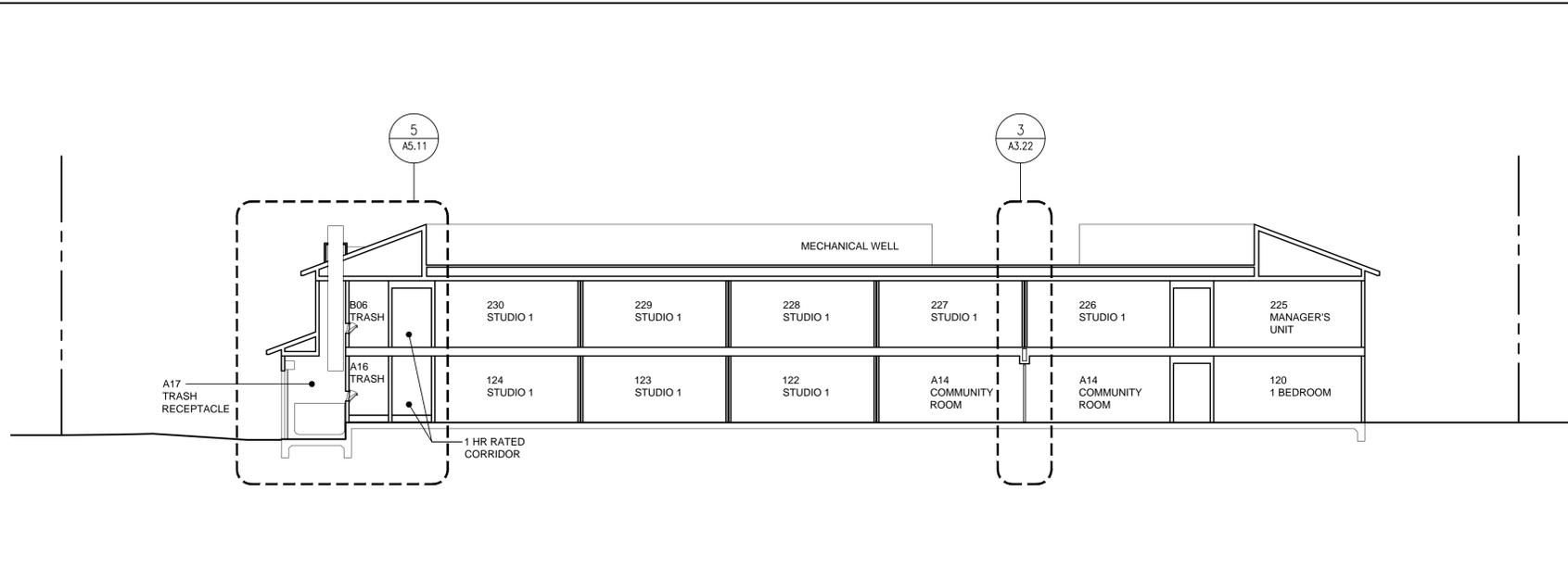
- 03A1 CIPC SLAB ON GRADE, SEE DETAIL 2/A7.03
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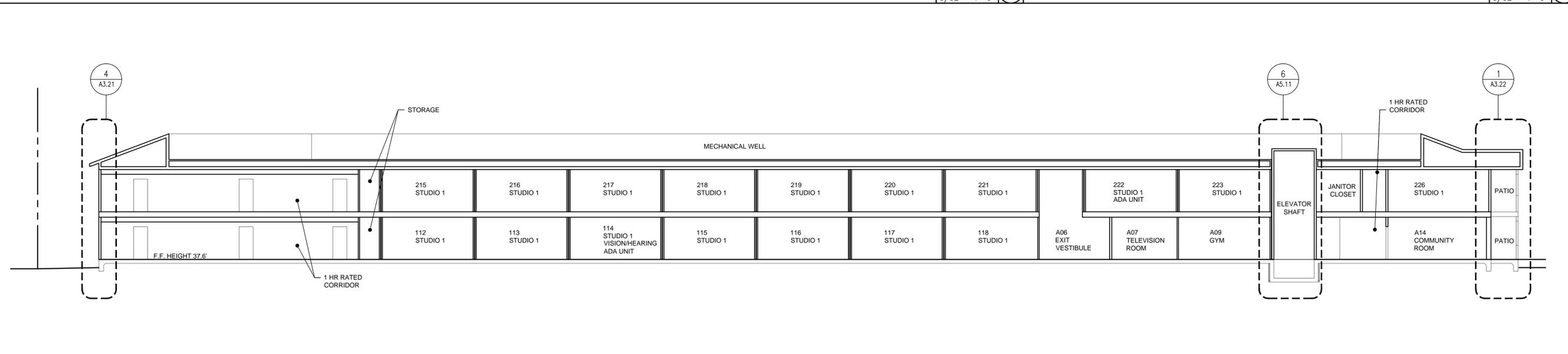
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BUILDING SECTION SCALE 3/32" = 1'-0" 3

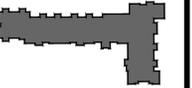
BUILDING SECTION SCALE 3/32" = 1'-0" 1



BUILDING SECTION SCALE 3/32" = 1'-0" 2

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KEY PLAN NORTH

ISSUE	DATE	DESCRIPTION
1	06-26-14	1ST PLAN CHECK SUBMITTAL
1	08-22-14	PLAN CHECK RESPONSE #1

PROJECT: 12079

BUILDING SECTIONS

A3.11