



PLANNING COMMISSION STAFF REPORT

FOR THE PLANNING COMMISSION
MEETING OF MAY 19, 2014
AGENDA ITEM E1

LOCATION:	721-851 Hamilton Avenue (777 Hamilton Avenue)	APPLICANT:	Greenheart Land Company LLC
EXISTING USE:	Light Industrial and Vacant	OWNER:	Bayfront Investments LLC
PROPOSED USE:	Multi-Family Residential Apartment Complex with Associated Resident-Serving On-Site Amenities	APPLICATION:	Study Session for Compliance with the R-4-S Design Standards and Guidelines
ZONING:	R-4-S - High Density Residential, Special		

PROPOSAL

The applicant is requesting a study session as part of the R-4-S compliance review process for a 195-unit, multi-family residential development located at 721-851 Hamilton Avenue. The purpose of the study session is to review the proposed residential development relative to the development regulations and design standards of the R-4-S (High Density Residential, Special) zoning district.

The study session will provide the Planning Commission and members of the public an opportunity to provide feedback on the proposal's compliance with the R-4-S design standards, which are mandatory as well as the design guidelines, which serve to encourage features and principles of good design, but are more qualitative in nature and are not mandatory. The Planning Commission's review is advisory only and will be taken into consideration as part of the Community Development Director's determination of whether the proposal is in compliance with the R-4-S development regulations and design standards.

Following the study session, the applicant and staff will take into consideration the comments provided by the Planning Commission and members of the public, and the

plans may be adjusted to address comments. Unless there are substantial changes to the architectural design of the building, the plans would not return to the Planning Commission for additional review. The R-4-S compliance determination of the Community Development Director is final and not subject to appeal.

BACKGROUND

On May 21, 2013, the City Council adopted the Housing Element of the City's General Plan for the planning period between 2007-2014. To implement the Housing Element and create housing opportunities for all income levels, the City Council also adopted a new residential zoning district called R-4-S (High Density Residential – Special). The subject site, along with an adjacent .67-acre site owned by Mt. Olive Apostolic Church, and three other sites were rezoned with the new R-4-S zoning designation.

The R-4-S zoning district includes development regulations as well as design standards specific to the zoning district. Multiple family dwelling units are permitted uses and not subject to discretionary review if all of the development regulations and design standards are met. Instead, the project is reviewed for compliance and a determination is made by the Community Development Director. As indicated previously, the purpose of the May 19 study session is to provide the Planning Commission and members of the public a forum to provide input prior to the compliance determination.

ANALYSIS

Site Location

The subject site is located in the Belle Haven neighborhood and totals 6.5 acres. The subject site is surrounded by the rail corridor to the north with the Facebook West Campus (under construction) immediately adjacent on the other side of the railroad corridor, a commercial shopping center with the new Neighborhood Service Center to the east, single-family, R-1-U zoned residential properties across Hamilton Avenue to the south, and an apartment, a church, and small lot single-family residential, zoned R-4-S, R-3 and R-3-X, respectively, to the west.

As former M-1 (Light Industrial) zoned property, the subject site is comprised of light industrial uses, which are currently unoccupied, as well as 2.1 acres of vacant land that was purchased from the City's Community Development Agency (Redevelopment Agency) through a competitive bid process in 2012. Since being selected as the purchaser of the Community Development Agency land, the applicant has worked with multiple M-1 property owners to purchase their property in order to aggregate the parcels to create a cohesive development for the area. On May 12, 2014, the City approved a lot merger to combine 21 parcels into one legal lot. The applicant is proposing to address the site 777 Hamilton Avenue.

In addition to the lot merger, the applicant intends to abandon all of the existing public utility easements (PUE) on the property that are no longer necessary due to the proposed project, maintain the existing reciprocal access easement shared with Mt. Olive Church at

the western end of the site at the terminus of Windermere Avenue, and create a new easement for Pacific Gas & Electric’s high pressure gas line that bisects the middle of the property. The PUE abandonments would be reviewed through a three-step process, requiring 1) notification of intent to abandon the PUEs by the City Council, 2) review by the Planning Commission for General Plan consistency, and 3) the adoption of a resolution to abandon the PUEs by the City Council. The Planning Commission will be reviewing the proposed abandonments, and providing a recommendation on its General Plan consistency, at a separate meeting in the future. The lot merger and easement abandonments are required prior to issuance of building permits.

Project Description

The proposed project is comprised of a 195-unit, multi-family residential development, consisting of one-, two-, and three-bedroom apartments, approximately 4,500 square feet of resident amenity space and management offices, and a variety of common open spaces, including outdoor dining and lounge areas, a spa, and dog park. All of the proposed units on the subject property will be market rate housing. The plans are included as Attachment B. As part of the proposal, all of the existing buildings would be demolished and six heritage trees would be removed. Because the site is located within the flood zone, fill will be imported to raise the site approximately three feet to comply with FEMA (Federal Emergency Management Agency) requirements.

Below is a summary of the mix of unit types and the range of square footages.

Unit Type Mix Summary		
Number of Bedrooms	Number of Units	Square Footage Range
One Bedroom	117	703-782 sf
Two Bedroom	52	977-1,090 sf
Three Bedroom	26	1,375-1,569 sf

The data table on the next page compares the proposed project with the development regulations of the R-4-S zoning district. As proposed, all of the development regulations would be met and would not trigger additional use permit review for a modification to a development standard. In addition, the proposed development meets many of the design guidelines established in the R-4-S zoning district, including the use of varied colors and materials, the installation of attractive landscaping throughout the site, and the incorporation of distinctive entryways. The design guidelines are different than the design standards in that the guidelines suggest means for enhancing building design, attractiveness and neighborhood fit, as well as residential comfort and usefulness where the standards are objective and measurable rules required for new development.

		R-4-S Regulation¹	Proposed Project Development
Minimum Lot Area		20,000 sf	284,164 sf (6.5 acres)
Minimum Lot Width		100 ft.	Approx. 1,419 ft.
Minimum Lot Depth		100 ft.	Approx. 217 ft.
Density	minimum	20 du/ac	195 units (30 du/ac)
	maximum	30 du/ac	
Minimum Yards	Front	10 ft.	18 ft.
	Interior Side	10 ft., except may be reduced to 5 ft. abutting a private access easement	Left - 10 ft. (from edge of easement) Right – 73 ft.
	Corner Side	10 ft.	N/A
	Rear	10 ft.	53 ft.
Maximum Floor Area Ratio		Increase on an even gradient from 60% for 20 du/ac to 90% for 30 du/ac	73.6%
Maximum Building Coverage		40%	37.2%
Minimum Open Space (Landscaping)		25%	33%
Height	Maximum building height	40 ft.	34 ft., 6 in.
Building Profile		Starting at a height of 25 feet, a 45-degree building profile shall be set at the minimum setback line contiguous with a public right-of-way or single-family zoned property.	Complies
Parking	Vehicular	2 spaces for units w/ 2 or more bedrooms; 1.5 spaces for 1 bedroom unit; 1 space per studio. Spaces cannot be located in required front yard setbacks or in tandem (332 required).	335 spaces
	Electric Vehicle	A minimum of 3 percent of the required number of parking spaces shall provide dedicated electric vehicle/plug-in hybrid electric charging stations and a minimum of 2 percent of the required number of parking spaces shall be pre-wired for such equipment.	Dedicated charging stations – 10 spaces Pre-wired charging stations – 7 spaces
	Bicycle	Long term – 1 space per unit where a private garage (per unit) is not provided Short term (visitor) – 1 space per every 10 units (20 required)	Long term – 195 spaces/ 1 per unit Short term (visitor) – 30 spaces

¹A development regulation, except for floor area ratio and density, may be modified subject to a use permit established in Chapter 16.82.

Site Layout and Design

The development includes seven residential buildings (numbered 1-7 on the plans), four of which are situated along Hamilton Avenue. The buildings are organized along a central pedestrian spine that extends in the east-west direction. The remaining three buildings are staggered in between the buildings fronting Hamilton Avenue and are located on the opposite of this internal “main street”. Entrances to the building are located along the main street. The separation of the dwelling units into multiple buildings helps break up the massing of the overall site and allows greater light and air through the buildings and visibility into the site. The buildings are shown numbered on Sheet L-1. Buildings 1, 3 and 4 contain the same floor plan and, likewise, buildings 5, 6 and 7 contain the same floor plan. Building 2 is differentiated from the rest of the buildings since the building provides the main entrance to the leasing office and amenity space, which is a focal point architecturally and intended to operate as the hub and gathering space for the residents. The amenity area will provide both indoor and outdoor experiences and include a number of features, including a fitness room, cyber café, dog wash area, and outdoor dining and lounge area. A separate dog park and open space with turf is located separately at the western edge of the site. The amenities are available to residents and their guests only. If the applicant desires, members of the general public could be permitted to use the amenities through approval of a use permit for ancillary neighborhood serving uses as part of a mixed-use development by the Planning Commission at a future point in time.

Architecturally, the building includes contemporary, mid-century modern elements, which reflects the design of many of the homes in the Belle Haven neighborhood. Each of the buildings is three-stories in height, but building modulation and accent features help break the massing of the buildings. The maximum height of the buildings is approximately 35 feet, as measured from average natural grade (average of highest and lowest point of grade prior to the fill) to the top of the roof. Each of the buildings has a parapet ranging in height, which could increase the overall height of the building to a maximum of 41 feet, two inches. Design standard 4 (a)(1) allows vertical projections such as parapets to extend up to four feet beyond the maximum height, so long as it is architecturally integrated into the design of the building. The proposed parapets are integrated into the design of the elements to help provide varying rooflines.

All of the buildings would be clad in stucco with smooth fiber cement lap siding as accent walls, which provides visual breaks and interest to the building design. Metal railings for the balconies and metal canopies over select doorways, ground floor patios and the storefront windows of the main Building 2 would be incorporated into the material palette. Vinyl windows, with a two-inch recess from the face of external finishes per design standard 5 (a)(4) would be included in the development. The color scheme includes neutral tones of grey, cream and tan.

Facade Modulation

Design standard 2(a)(2) requires a major building modulation at a minimum of every 75 feet of façade length. The modulation shall be a minimum of six feet in depth for a length of 20 feet or a minimum setback of six feet from the primary façade of the building for the

full height of the building. Sheets A6.0a and A6.0b provide the modulation diagrams for the buildings that face the public right-of-way. Building 2 (Sheet A6.0b) contains a prominent entry feature, which serves as a major modulation. Although the southwest corner of Building 2 is greater than the required six foot depth offset from the primary façade, the building is angled from the primary facade, and therefore, does not provide a continuous depth of six feet of articulation. As designed, the angled feature/major modulation provides visual cues to denote access into the building, a sense of place, interest to the architectural design of the building. Staff believes that the applicant has designed the buildings to meet the intent of the facade modulation requirement, but would welcome the Planning Commission's input on the corner entry feature of Building 2.

Parking and Site Circulation

The project layout contains one primary vehicular access point along Hamilton Avenue, which is aligned with Sevier Avenue. New pedestrian curb ramps and realignment of the crosswalks across Hamilton Avenue would be required as part of the project scope. A second vehicular entrance/exit would be located at the western edge of the site along the shared access easement with the apartment complex at the intersection of Hamilton and Windermere Avenues. Both access points would be secured by automatic gates, with the latter intended for resident use only. The main vehicular entry gate would be setback approximately 80 feet from the front property line, and would be accented by planter walls to frame the entrance. The planter walls would be clad in siding to echo the materials of the buildings. A greenwall with decorative plantings set in modules would extend from the gates to connect to the two nearest buildings on opposite ends of the gate. The design not only signifies the main entrance to the development, but also complements the architectural style. The vehicular gate off of the access easement would be located approximately 170 feet from the Hamilton Avenue and would generally not be visible from the right-of-way.

The R-4-S zoning district has established required parking based on the number of bedrooms per unit. The project contains 335 parking spaces where 332 are required, and includes a mix of covered parking, individual tuck-under garages, as well as uncovered parking spaces throughout the site. The proposed project will also meet the requirements for electric vehicle parking, providing 10 electric vehicle charging stations and another 7 spaces pre-wired for chargers. In addition, the R-4-S zoning district establishes short term and long term bicycle requirements. Each dwelling unit provides a bicycle storage closet and short term bicycle parking is scattered throughout the site. A total of 30 spaces provided in three bicycle rack areas would be provided for short term and/or guest bicycle parking.

Open Space, Outdoor Common Areas, and Landscaping

The proposed plan includes the removal of six heritage trees, including one camphor, one blackwood acacia, one coast redwood, and three Hollywood junipers. The first three trees are in fair condition, and the junipers are in good condition. The City Arborist is tentatively recommending approval of the removal of these trees. The proposed project consists of a well-developed landscape plan that incorporates a generous planting palette, including approximately 200 new trees with a minimum size of 15 gallons. The trees

would serve as screening along the property perimeter as well as be planted within the parking lot and the common open space areas such as the “main street”, open turf area and dog park at the eastern edge of the site. The landscaping plan includes two pedestrian courtyard portals, which function as the main pedestrian entrances into the site from Hamilton Avenue. From the sidewalk, a pedestrian is drawn to the buildings through a dedicated pathway flanked by California fan palm trees. Similar to the main vehicular entrance, the pedestrian portals would also be gated and framed by planter walls. These entrances are setback approximately 30 feet from the front property line along Hamilton Avenue, and therefore, would not be imposing or appear uninviting. Once through the pedestrian gate, the pedestrian’s experience with the tree lined walkway continues to the central pedestrian spine of the development.

The landscaping plan also includes a variety of outdoor amenities areas in two main locations on the site. The proposed project meets both the landscaping requirement as well as common open space requirements without any modifications to the development regulations and design standards. Of the 195 units, 158 units meet the private open space requirement, which requires a minimum of 80 square feet and minimum dimensions of six feet by six feet per design standard 7(a)(1). For the remaining units, the open space requirement is met by substituting private open space with a greater ratio of common open space.

Correspondence

Staff has not received any correspondence regarding the proposed project.

Compliance Review and Next Steps

Based on staff’s initial review of the plans, the proposed development complies with the R-4-S requirements. Attachment C contains a checklist of all of the R-4-S development regulations and design standards and summarizes the project’s compliance with each requirement. Following the Planning Commission’s study session on the proposed development, the Community Development Director and the applicant will take the comments into consideration and make changes, if appropriate. If no changes are made, it is the intent of the Community Development Director to issue the compliance review letter within two weeks. The decision of the Community Development Director is final.

As mentioned earlier, the applicant will need to complete the easement abandonment process before any building permit can be issued for construction of the buildings. Building permits, however, can be submitted, and be reviewed concurrently with the abandonment process. During the building permit stage, minor design and/or material changes are often requested to accommodate building code requirements, changes in market demand, availability of materials, and/or preference. Unless the changes comprehensively modify the scale or look of the proposal, the changes would be reviewed at a staff level only and not return to the Planning Commission.

The purpose of the study session is to receive input on the proposal’s compliance relative to the R-4-S design standards and guidelines. At the meeting, no formal action will be taken by the Planning Commission. The Planning Commission's review is advisory only

and will be taken into consideration as part of the Community Development Director's compliance determination.

ENVIRONMENTAL REVIEW

The proposed project was analyzed in the Housing Element Update, General Plan Consistency Update, and Zoning Ordinance Amendments Environmental Assessment, certified by the City Council on May 21, 2013. Because the compliance review process is a non-discretionary process, ministerial items, such as the R-4-S compliance review, are exempt from the requirements of the Environmental Quality Act (CEQA).

RECOMMENDED MEETING PROCEDURE

Staff recommends that the meeting be conducted as follows:

1. Project Presentation by Applicant
2. Commission Questions on Project Proposal
3. Public Comment on Project Proposal
4. Commission Comments on Project Proposal

Report prepared by:

Deanna Chow
Senior Planner

Report reviewed by:

Justin Murphy
Development Services Manager

PUBLIC NOTICE

Public notification consisted of publishing a courtesy notice in the local newspaper and notification by mail of owners and occupants within a 300-foot radius of the subject property. No action will be taken at the meeting. The Community Development Director shall make the determination on the Compliance Review and the determination is final.

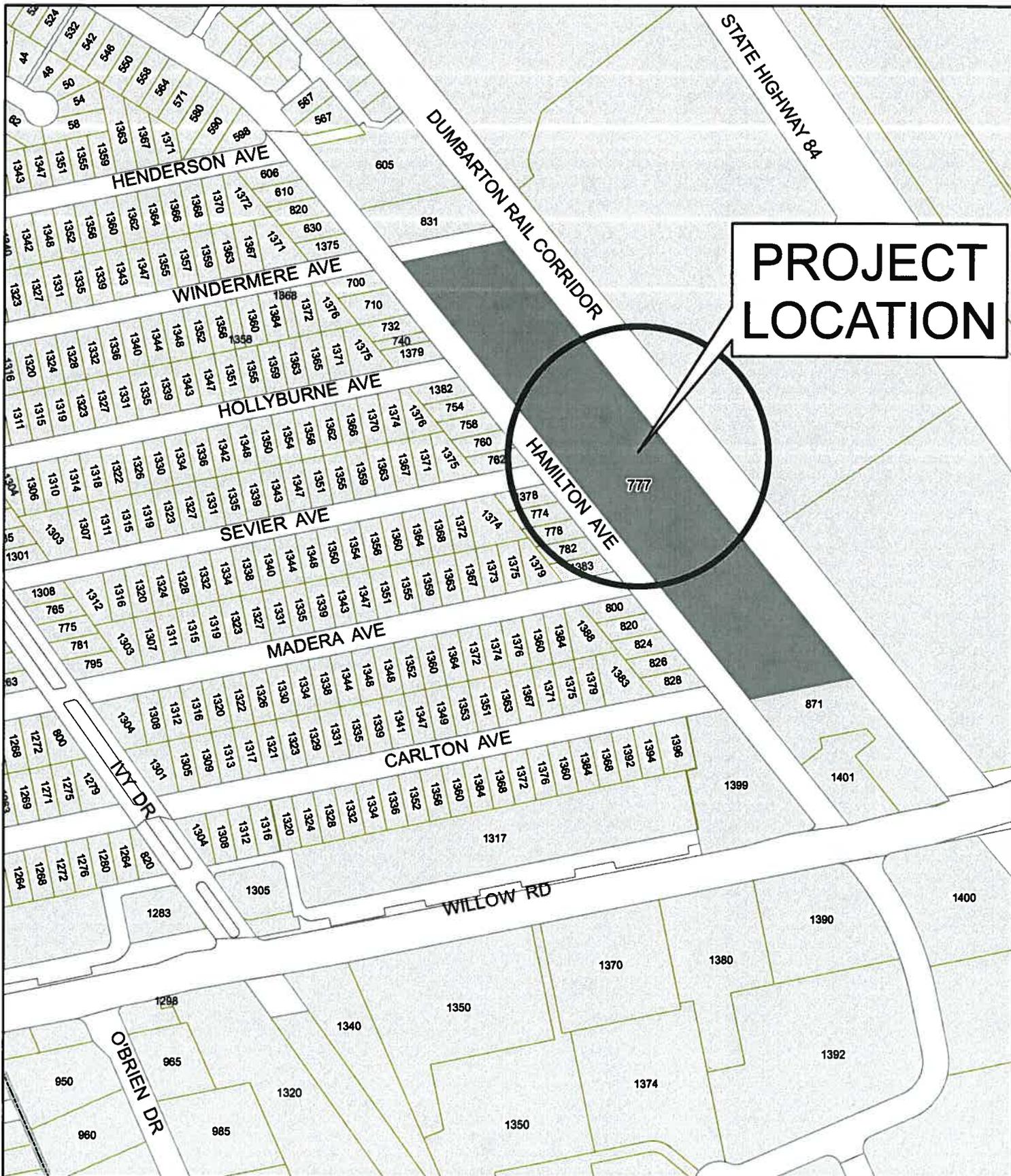
ATTACHMENTS

- A. Location Map
- B. Project Plans
- C. R-4-S Checklist

Note: Attached are reduced versions of maps and diagrams submitted by the applicants. The accuracy of the information in these drawings is the responsibility of the applicants, and verification of the accuracy by City Staff is not always possible. The original full-scale maps, drawings and exhibits are available for public viewing at the Community Development Department.

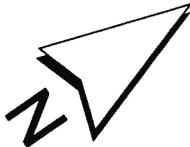
EXHIBITS TO BE PROVIDED AT MEETING

Colors and Materials Board



**PROJECT
LOCATION**

CITY OF MENLO PARK
 LOCATION MAP
 777 HAMILTON AVE





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HAMILTON APARTMENTS



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RECEIVED

MAY 13 2014

CITY OF MENLO PARK

MENLO PARK, CA

KTGF # 2013-0254

05.13.2014 Planning Submittal #1

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HAMILTON APARTMENTS



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SHEET INDEX

MENLO PARK, CA

03/07 # 2013-0254

05.13.2014 Planning Submittal #3

TI.0

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2013 CBC Code Analysis:

1. Use / Occupancy Classification:

Hamilton Apartments is a multifamily residential use project. Some of the buildings have tuck-under garage parking for automobiles associated with the residential use. One of the buildings has an amenity space and a leasing lobby within the residential building. The residential building is classed as an R-2 occupancy, the tuck-under garage is classed as a U occupancy, and the amenity space and leasing lobby are classed as A-3 occupancy.

2. Fire Sprinkler System:

All buildings are proposed to be fully sprinklered with automatic fire sprinklers meeting NFPA 13 standards per CBC Section 903.3.1.1. Automatic fire protection of the R-2 occupancy is required per CBC Section 903.2.8.

3. Construction Type:

Residential building and tuck-under parking garage construction shall be of **Type VB** construction. Basic height and area limitations per occupancy and construction type per CBC Table 503 are as follows:

R-2/VB = 40 feet and 2 stories*, 7,000 SF per story / 14,000 SF per building

U/VB = 40 feet and 1 story, 5,500 SF per story / 5,500 SF per building

A-3/VB = 40 feet and 1 story, 6,000 SF per story / 12,000 SF per building

*Fire sprinklers are provided to allow story increase modification per CBC Section 504.2.

4. Actual Heights And Areas:

All buildings are three stories in height.

Areas are measured to the exterior face of framing of exterior walls, including exterior areas within the horizontal projections of floors and roofs above. The following is a list of total height and areas for all three building types:

	Height	Story	Area
Building #1, 3, and 4: R-2/VB	30'-6"	3	39,650 SF total 39,650 SF
Building #2: R-2/VB A-3/VB	30'-6"	3	37,540 SF 32,696 SF 4,844 SF
Building #5, 6, and 7: R-2/VB U/VB	30'-6"	3	24,588 SF 21,061 SF 3,527 SF

All buildings exceed the basic allowable stories per CBC Table 503. Story modifications per CBC Section 504.2 are utilized.

All buildings exceed the basic allowable area per CBC Table 503. Buildings will be separated by firewalls per CBC Section 706.

5. Fire Resistance Rating Requirements for Building Elements:

Per Table 601, the fire-resistance rating requirements for Type VB construction are as follows:

Primary structural frame	0 hour
Exterior bearing wall	0 hour
Interior bearing wall	0 hour
Non bearing exterior walls and partitions	0 hour
Non bearing interior walls and partitions	0 hour
Floor construction & associated secondary members	0 hour
Roof construction & associated secondary members	0 hour

6. Fire-Resistance Rating of Fire Partitions

Per CBC Section 708.3 Exception 2, dwelling unit and sleeping unit separations in building of Type VB construction shall have fire-resistance ratings of not less than 1/2 hour in buildings equipped through with an automatic sprinkler system in accordance with Section 903.3.1.1.

7. Fire-Resistance Rating of Horizontal Assemblies

Per CBC Section 711.3 Exception, dwelling unit and sleeping unit separations in building of Type VB construction shall have fire-resistance ratings of not less than 1/2 hour in buildings equipped through with an automatic sprinkler system in accordance with Section 903.3.1.1.

8. Interior Exit Stairways

Per CBC Section 1022.2, Interior exit stairways shall have a fire-resistance rating of not less than 1 hour where connecting less than four stories.

9. Required Separation of Occupancies

R-2 & A-3 occupancies and R-2 & U occupancies separated per requirements on CBC Table 508.4.

10. Single Exits

Per CBC Section 1021.2, R-2 occupancies on the first, second, or third stories above grade plan are permitted to have a single exit or access to a single exit, provided the maximum number of dwelling units and the maximum exit access travel distance do not exceed the values in Table 1021.2(1).

HAMILTON APARTMENTS



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CODE ANALYSIS

MENLO PARK, CA

1517 # 2013-0254

04.09.2014 Planning Submittal #2



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Gross Floor Area Summary												
	Level 1		Level 2		Level 3		Total		Exclusions*			
Building 1	12,593	sf	12,506	sf	12,446	sf	37,546	sf	100	sf		
Building 2	12,878	sf	10,617	sf	12,446	sf	35,942	sf	190	sf		
Building 3	12,593	sf	12,506	sf	12,446	sf	37,546	sf	100	sf		
Building 4	12,593	sf	12,506	sf	12,446	sf	37,546	sf	100	sf		
Building 5	4,421	sf	7,869	sf	7,869	sf	20,158	sf	0	sf		
Building 6	4,421	sf	7,869	sf	7,869	sf	20,158	sf	0	sf		
Building 7	4,421	sf	7,869	sf	7,869	sf	20,158	sf	0	sf		
Total							206,055	sf	491	sf		
Site Area										284,164	sf	
Floor Area Ratio										74%		
*Exclusions Limited to 3% of Maximum Allowed Gross Floor Area per Zoning Ordinance 16.04.325(C)(1)												
Total Exclusions per 16.04.325(C)(1)										491	sf	
Maximum Allowed Gross Floor Area										0.9 x 284,164 =	255,748	sf
										491 / 284,164 sf =	0.3%	of Max. Allowed DFA

Plan Summary										
	Net Area (SF)	Deck Area (SF)	Bike Storage Area (SF)	Level 1	Level 2	Level 3	D.U.	Mix		
1 BR										
1A	743	81	28	8	8	3	15			
1A-2	722	85	16	8	8	6	24			
1B	703	47	20	8	8	3	9			
1C	707	91	26	8	8	0	8			
1C 2FL	707	41	26	8	8	0	8			
1C 3FL	707	58	26	8	8	0	8			
1D	791	132	24	7	8	8	23			
1E	751	147	17	7	7	8	22			
Total							117		69.0%	
2 BR										
2A	977	94	13	8	8	8	12			
2B	1039	139	18	8	8	0	8			
2B ABV	1039	98	18	8	8	8	12			
2C	1090	90	18	7	7	8	22			
Total							82		26.7%	
3 BR										
3A	1375	187	30	7	8	0	7			
3A ABV	1375	90	30	8	7	8	15			
3B	1448	128	49	8	0	3	3			
3C	1599	147	17	8	1	0	1			
Total							26		13.3%	
D.U. Total								195		
*Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.										

Site Analysis		
	Proposed Project	Development Regulations
Lot Area:	284,164 sf	6.52 ac
Floor Area Ratio:	74%	209,055 sf / 284,164 sf
Total Dwelling Units:	195 du	195 du @ 30 du/ac
Density:	30 du/ac	Minimum 20 du/ac
Building 1-7 Coverage:	80,840 sf	Maximum 30 du/ac
Trash Enclosure Coverage:	1,858 sf	-
Carport Coverage:	23,040 sf	-
Additional Site Coverage*:	362 sf	-
Total Site Coverage:	105,900 sf	37%
Total Pavement Area**:	84,289 sf	30%
Total Landscaped Area:	83,996 sf	33%
Total Parking Spaces:	335 sp	332 sp per city ratio - see Parking Summary

*Additional Site Coverage includes trails and pool equipment enclosure areas.
 **This Total Pavement Area number excludes carport area, since this has been accounted for in the Total Site Coverage. The Total Pavement Area including carports is: 187,288 sf.

Parking Summary			
Parking Required:	# of Units	Spaces / D.U.	Required
1 BR	117	1.5	176
2 BR	52	2	104
3 BR	26	2	52
Total	195		332
Parking Provided:	Garage	Carport	Uncovered
	41	154	140
Total			335
Stalls with EV charging stations 10 (3% of required)			
Stalls pre-wired for EV charging stations: 7 (2% of required)			
Guest Bicycle Parking:	# of Units	Spaces / D.U.	Required
Required	195	0.1	20
Total Provided			30
Long Term Bicycle Parking:	# of Units	Spaces / D.U.	Required
Required	195	1	195
Total Provided			195

*One Long Term Bicycle Parking Space is provided in each unit in an interior or exterior bike storage closet.

OPEN SPACE CALCULATION:

158 d.u. have complying private open space.
 37 d.u. do not have complying private open space. The decks on Unit Plan Types 1B, 1C 2FL, 1C 3FL, & 2B ABV do not meet the 80 sf minimum area requirement and/or the 6' x 6' minimum dimensions requirement.

Per R-4-S Zoning Ordinance Section 7a.1, "In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 sf for each 1 sf of private open space that is not provided."
 37 d.u. x 80 sf/d.u. = 2,960 sf of private open space will be substituted with common open space
 2,960 sf x 1.25 = 3,700 sf of common open space to be provided.

In addition to the 3,700 sf of common open space, a minimum of one space, 40 feet minimum dimension (1,600 sf minimum) is required.

3,700 sf + 1,600 sf = 5,300 sf of total common open space required
 93,996 sf of common open space ("Total Landscaped Area" in Site Analysis Matrix) provided; 40'x40' minimum dimension provided in Outdoor Amenity Area, see A1.1

HAMILTON APARTMENTS

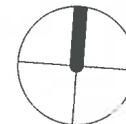


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PROJECT DATA

MENLO PARK, CA
 EIR # 2013-0214

05.13.2014 Planning Submitted #3

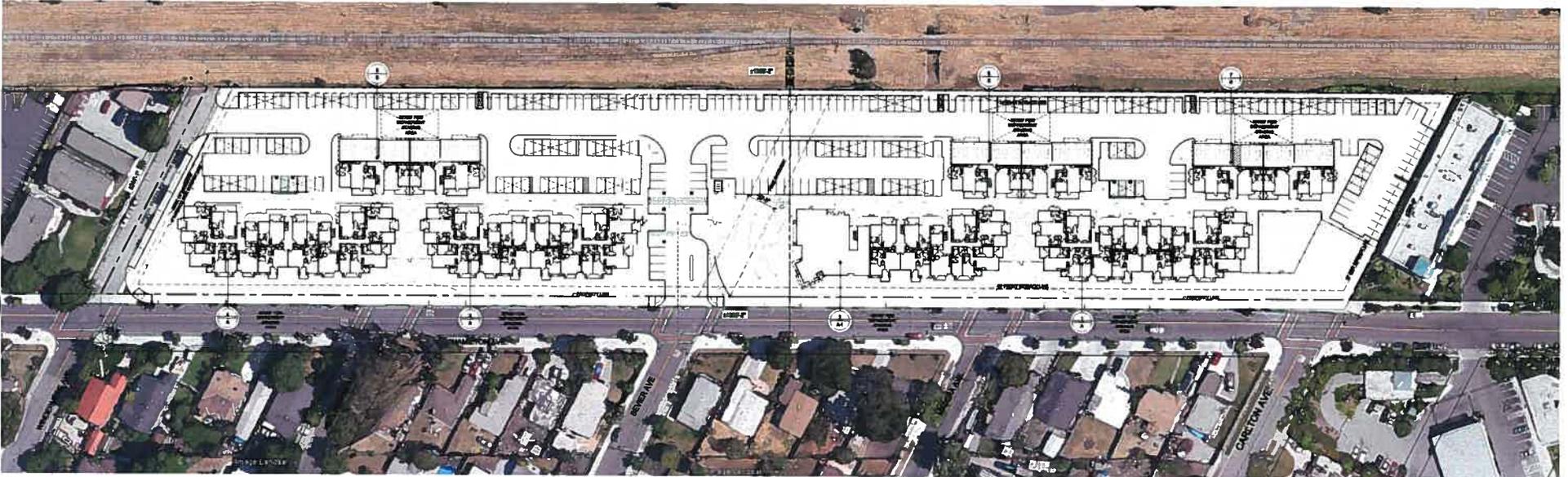


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 510.272.2910
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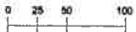
T1.2

B5



Note: Please see enlarged site plan (A1.1. & A1.2) for dimensions and other notes.

1 BUILDING NUMBER
A BUILDING PLAN TYPE
SEE SHEET AS SERIES



HAMILTON APARTMENTS



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MASTER SITE PLAN

MENLO PARK, CA
02/17/14 2013-02/14

05.13.2014 Planning Submittal #1

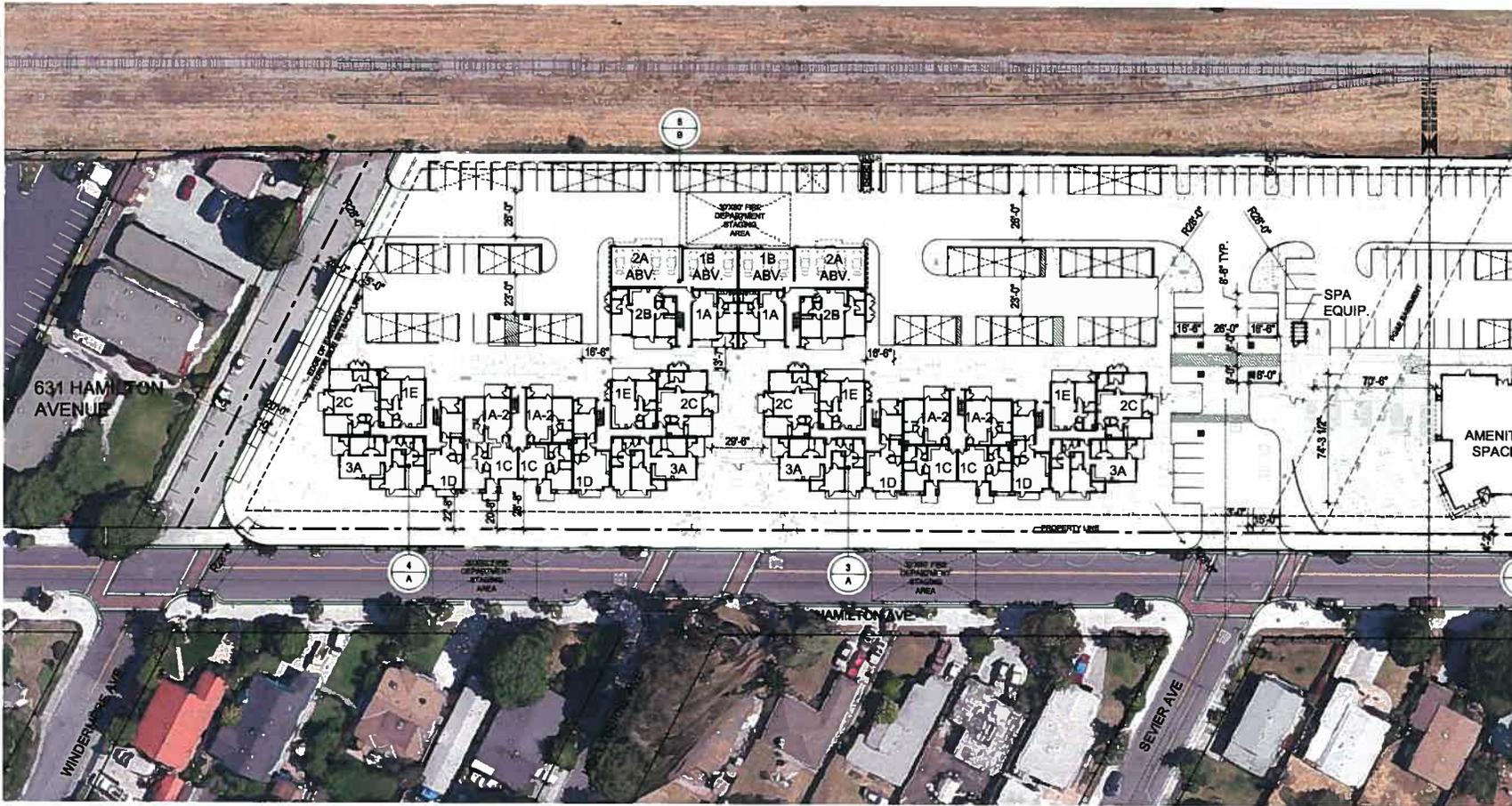


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AI.0

B6



1	BUILDING NUMBER
A	BUILDING PLAN TYPE SEE SHEET A3 SERIES

HAMILTON APARTMENTS



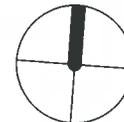
Greenheart Land Company
 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

ENLARGED SITE PLAN: WEST

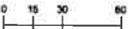
MENLO PARK, CA

07/17/14 # 2013-0254

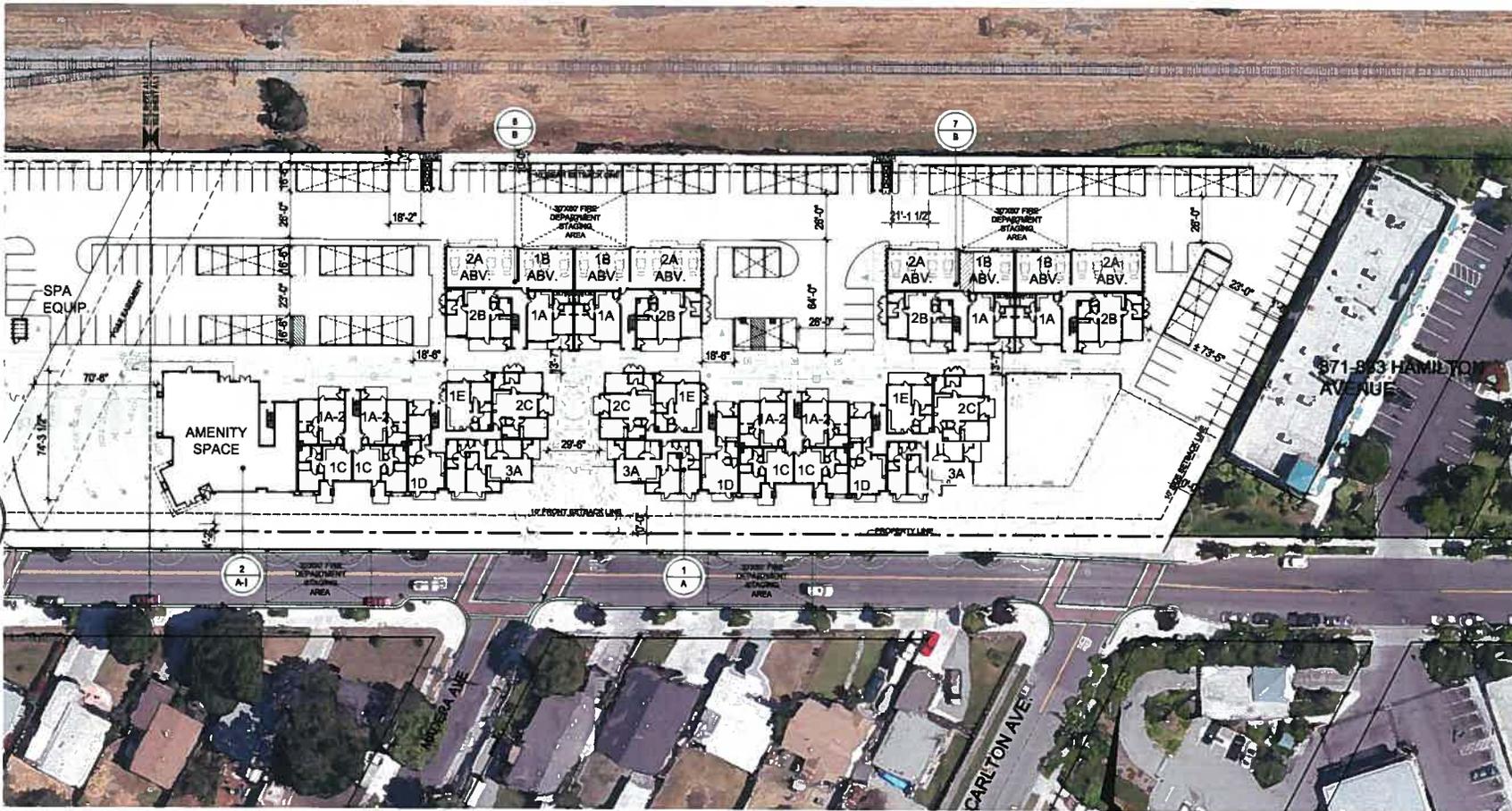
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AI.I



B7

1 BUILDING NUMBER
 A BUILDING PLAN TYPE
 SEE SHEET A3 SERIES

HAMILTON APARTMENTS

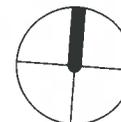


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ENLARGED SITE PLAN: EAST

MENLO PARK, CA
 03/07 @ 2013-0214

05.12.2014 Planning Submittal #1

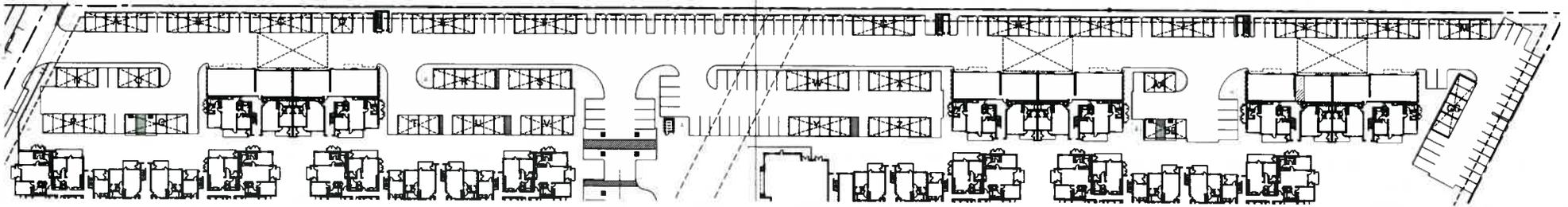


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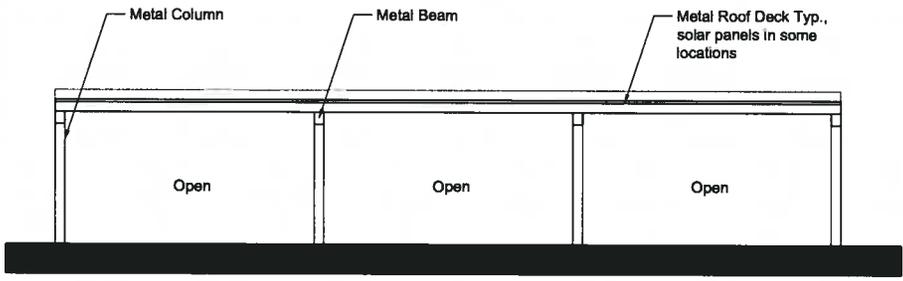


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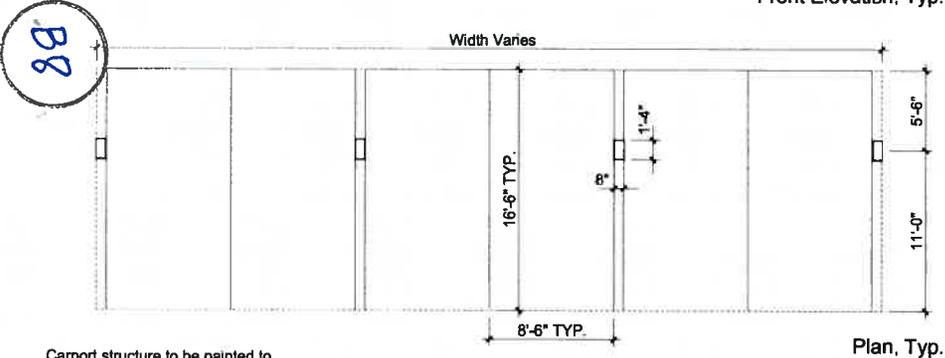
A1.2



Keymap



Front Elevation, Typ.



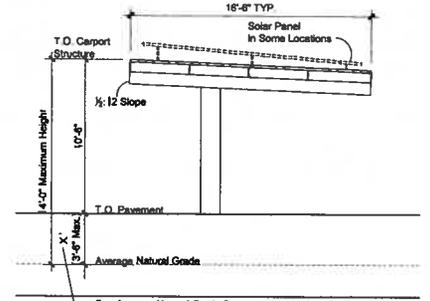
Plan, Typ.

Carport structure to be painted to match Body 3 dark gray color. Please see materials board.

Carport Average Natural Grade Summary:

*Please see keymap above for carport designations

	Avg. Nat. Grade	T.O. Pavement	X Dimension: refer to section on this sheet (T.O. Pavement - Avg. Nat. Grade)
A:	+6.5	+8.6	2.1'
B:	+6.9	+9.5	2.6'
C:	+7.2	+9.5	2.3'
D:	+6.9	+9.5	2.6'
E:	+6.8	+8.8	2.0'
F:	+7.1	+9.7	2.6'
G:	+7.23	+9.7	2.47'
H:	+6.6	+9.5	2.9'
I:	+7.5	+9.5	2.0'
J:	+7.6	+9.5	1.9'
K:	+8.74	+9.5	0.76'
L:	+7.3	+9.5	2.2'
M:	+6.4	+8.9	2.5'
N:	+7.3	+9.6	2.3'
O:	+7.3	+9.6	2.3'
P:	+7.3	+9.5	2.2'
Q:	+7.3	+9.5	2.2'
R:	+8.9	+9.6	0.7'
S:	+7.6	+9.6	2.0'
T:	+6.9	+9.5	2.6'
U:	+7.6	+9.5	1.9'
V:	+7.0	+9.5	2.5'
W:	+6.95	+10.2	3.25'
X:	+7.79	+10.1	2.31'
Y:	+6.74	+9.6	2.86'
Z:	+7.37	+9.5	2.13'
AA:	+7.39	+10.3	2.91'
BB:	+8.3	+10.1	1.8'
CC:	+6.7	+8.8	2.1'



See Average Natural Grade Summary on this sheet for X dimension. The X dimension (difference between T.O. Pavement elevation and Average Natural Grade) is less than 3'-6" at all carports to comply with the 14'-0" maximum height requirement.

Section Diagram

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CARPORT EXHIBIT

MENLO PARK, CA

022 # 2013-0234 05.13.2014 Planning Submittal #3

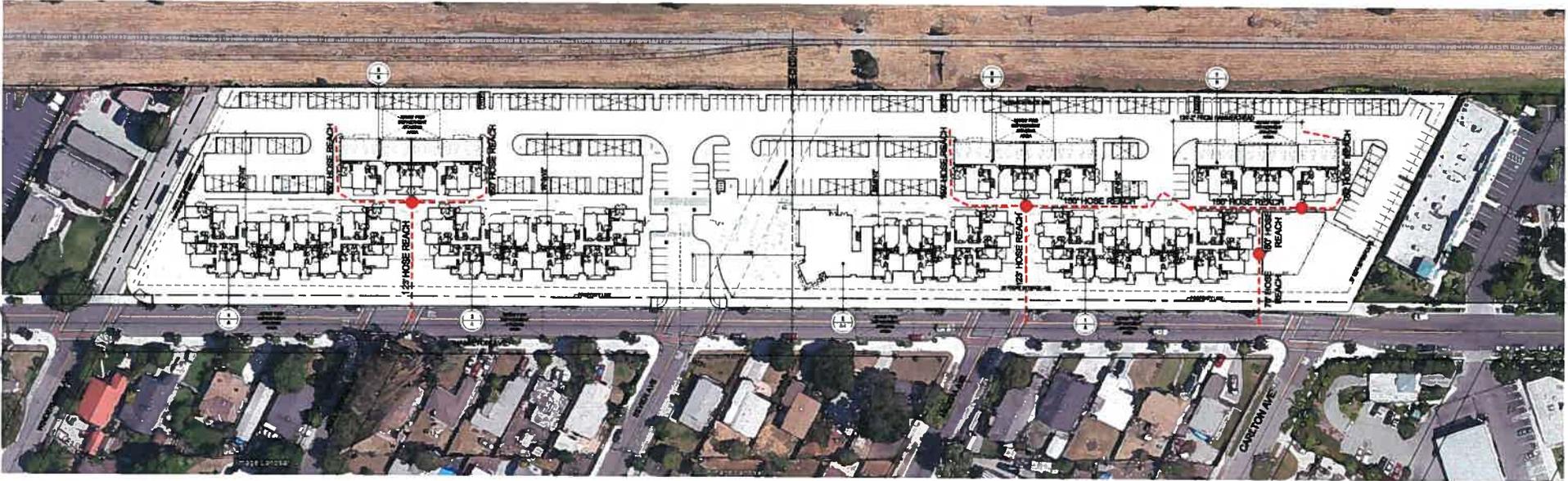


A1.3

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B9



Legend:
 ---●--- 150' Max. Hose Reach

1 BUILDING NUMBER
 A BUILDING PLAN TYPE,
 SEE SHEET A3 SERIES

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HOSE REACH DIAGRAM

MENLO PARK, CA
 07/18/2014

05.13.2014 Planning Submittal #1

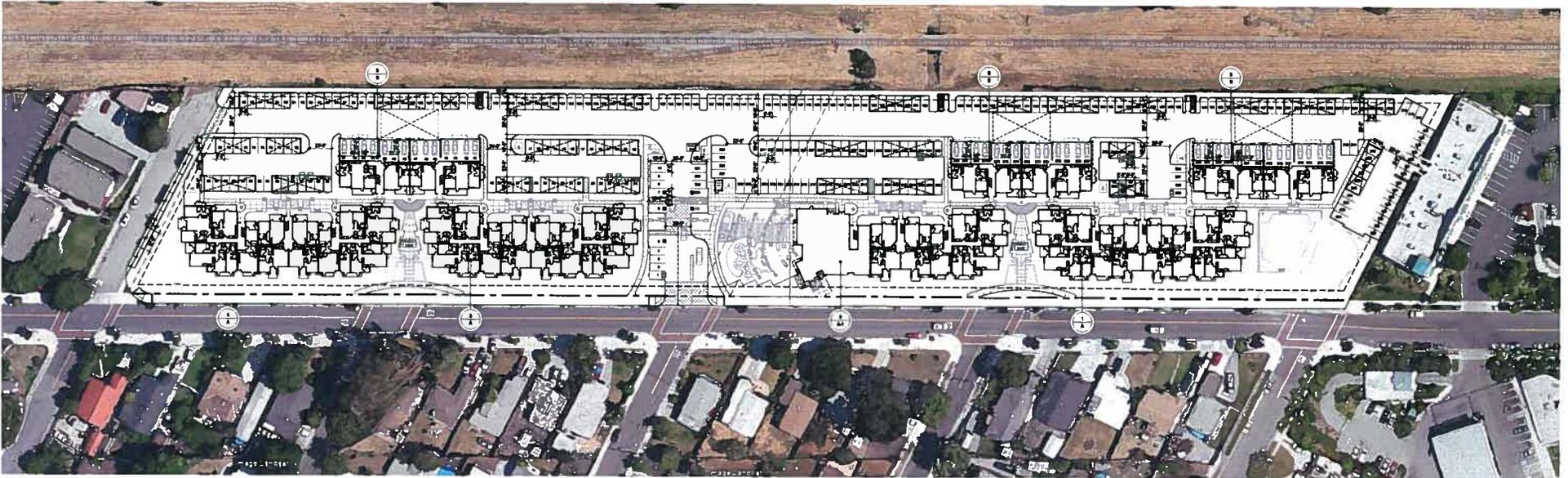


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0 25 50 100

AI.4



810

Parking Summary			
Parking Required:	# of Units	Spaces / D.U.	Required
1 BR	117	1.5	176
2 BR	52	2	104
3 BR	26	2	52
Total	195		332
Parking Provided:	Garage	Carport	Uncovered
	41	154	140
Total			335
Stalls with EV charging stations: 10 (3% of required)			
Stalls pre-wired for EV charging stations: 7 (2% of required)			
Guest Bicycle Parking:	# of Units	Spaces / D.U.	Required
Required	195	0.1	20
Total Provided			30
Long Term Bicycle Parking**:	# of Units	Spaces / D.U.	Required
Required	195	1	195
Total Provided			195

*One Long Term Bike Parking Space is provided in each unit in an interior or exterior bike storage closet.

1 BUILDING NUMBER
A BUILDING PLAN TYPE, SEE SHEET A3 SERIES

Legend:

-  Stalls with EV charging stations
-  Stalls pre-wired for EV charging stations
-  Carport
-  Guest bike rack

0 25 50 100

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PARKING PLAN

MENLO PARK, CA

05/13/2014 # 2013-0214

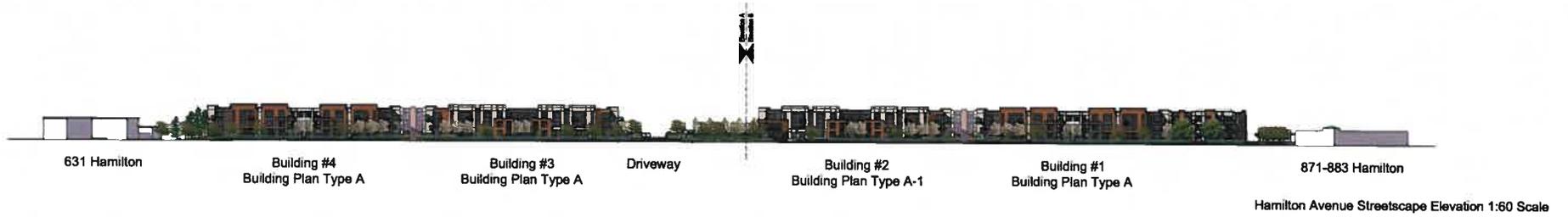
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A1.5



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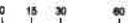
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STREETSCAPE ELEVATION

MENLO PARK, CA

0107 # 2013-0154

05.13.2014 Planning Submitted #3



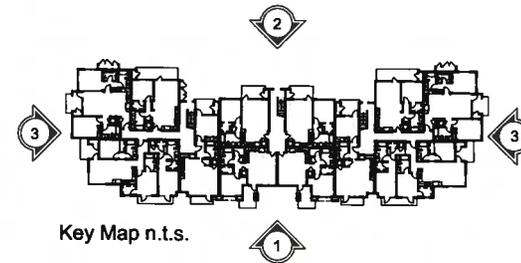
A2.0

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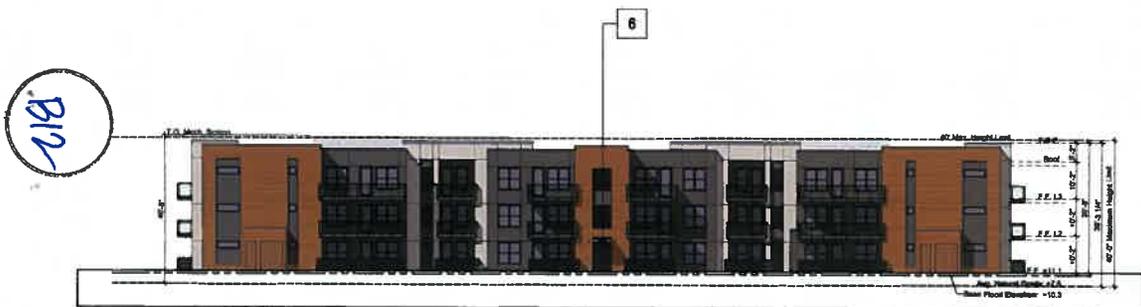
1. Front Elevation



Key Map n.t.s.

Material Legend

- 1. Fiber Cement Lap Siding
- 2. 20/30 Stucco
- 3. Vinyl Window in 2" Recess
- 4. Metal Railing
- 5. Trim
- 6. Metal Canopy
- 7. Metal Mechanical Screening, Color to Match Accent 1



2. Rear Elevation



3. Side Elevation

HAMILTON APARTMENTS



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BUILDING #1 ELEVATIONS

MENLO PARK, CA

02/21/2014-02/24/2014

05.11.2014 Planning Submittal #1



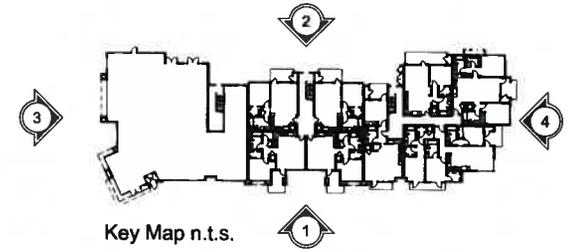
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A2.1



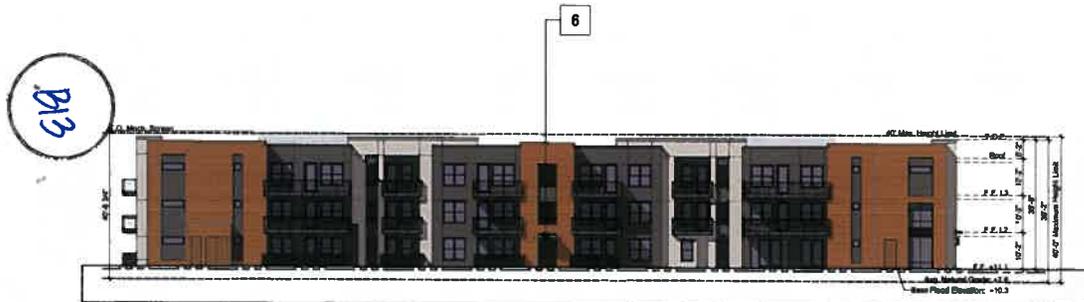
1. Front Elevation



Key Map n.t.s.

Material Legend

1. Fiber Cement Lap Siding
2. 20/30 Stucco
3. Vinyl Window in 2" Recess
4. Metal Railing
5. Trim
6. Metal Canopy
7. Storefront
8. Metal Mechanical Screening, Color to Match Accent 1
9. Sectional Metal Overhead Door



2. Rear Elevation



3. Side Elevation



4. Side Elevation

HAMILTON APARTMENTS



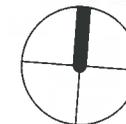
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BUILDING #2 ELEVATIONS

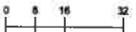
MENLO PARK, CA

05/17/14 2913-0254

05.11.2014 Planning Submittal #1



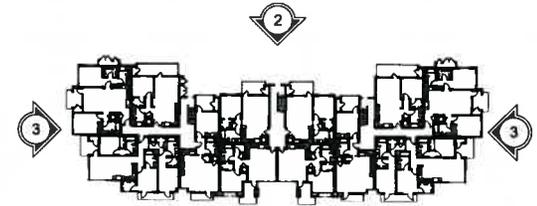
KTGY Group, Inc.
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A2.2



1. Front Elevation

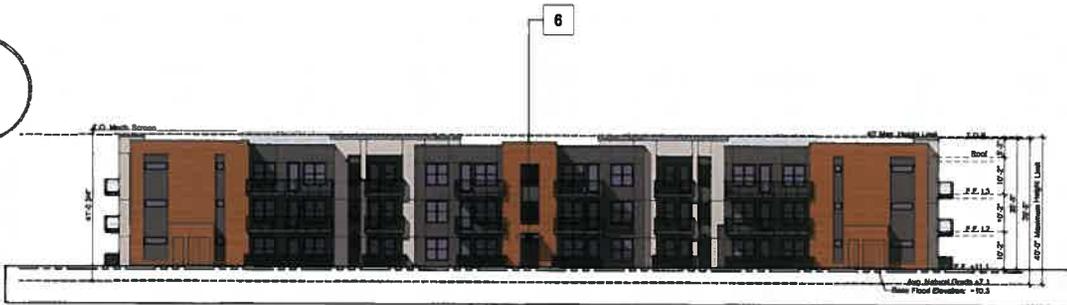


Key Map n.t.s.

Material Legend

1. Fiber Cement Lap Siding
2. 20/30 Stucco
3. Vinyl Window in 2" Recess
4. Metal Railing
5. Trim
6. Metal Canopy
7. Metal Mechanical Screening, Color to Match Accent 1

B1A



2. Rear Elevation



3. Side Elevation

HAMILTON APARTMENTS

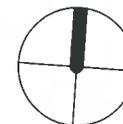


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BUILDING #3 ELEVATIONS

MENLO PARK, CA
02/07/2013-02/04

05.19.2014 Planning Submittal #1



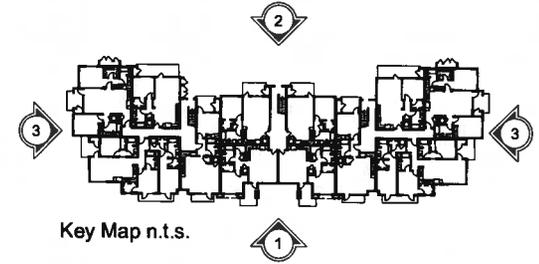
KTGY Group, Inc.
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A2.3



1. Front Elevation

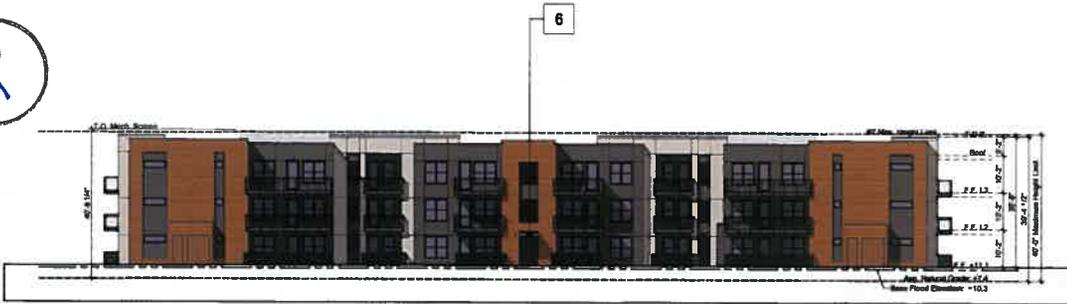


Key Map n.t.s.

Material Legend

- 1. Fiber Cement Lap Siding
- 2. 20/30 Stucco
- 3. Vinyl Window in 2" Recess
- 4. Metal Railing
- 5. Trim
- 6. Metal Canopy
- 7. Metal Mechanical Screening, Color to Match Accent 1

519



2. Rear Elevation



3. Side Elevation

HAMILTON APARTMENTS

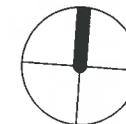


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BUILDING #4 ELEVATIONS

MENLO PARK, CA
1767 # 2013-0154

05.13.2014 Planning Submittal #1



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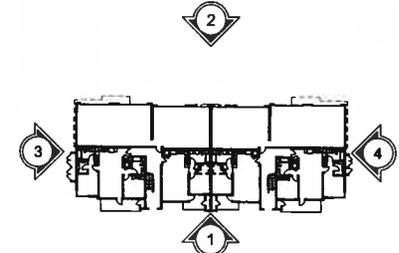


0 8 16 32

A2.4



1. Front Elevation



Key Map n.t.s.

Material Legend

1. Fiber Cement Lap Siding
2. 20/30 Stucco
3. Vinyl Window in 2" Recess
4. Metal Railing
5. Trim
6. Metal Canopy
7. Garage Door
8. Metal Mechanical Screening, Color to Match Accent 1

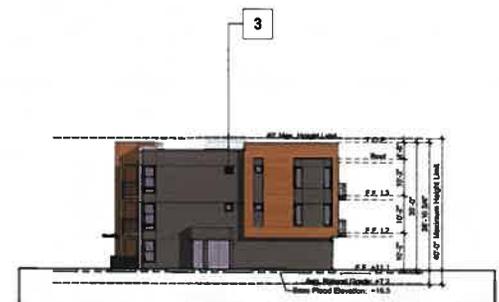
B17



2. Rear Elevation



3. Side Elevation (West)



4. Side Elevation (East)

HAMILTON APARTMENTS



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BUILDING #6 ELEVATIONS

MENLO PARK, CA

05/11/2014-02/14

05.13.2014 Planning Submittal #11

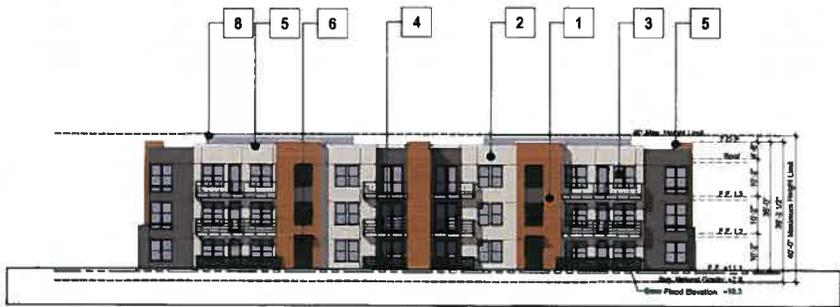


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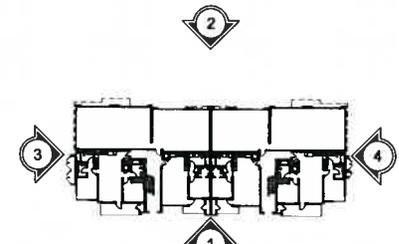


0 8 16 32

A2.6



1. Front Elevation



Key Map n.t.s.

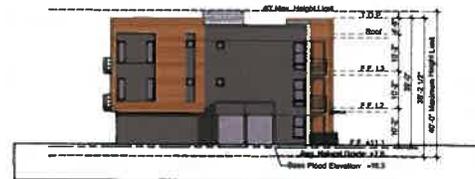
Material Legend

- 1. Fiber Cement Lap Siding
- 2. 20/30 Stucco
- 3. Vinyl Window in 2" Recess
- 4. Metal Railing
- 5. Trim
- 6. Metal Canopy
- 7. Garage Door
- 8. Metal Mechanical Screening, Color to Match Accent 1

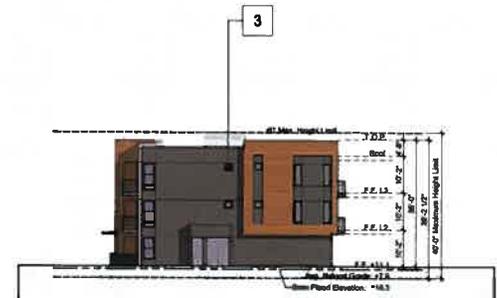
B18



2. Rear Elevation



3. Side Elevation (West)



4. Side Elevation (East)

HAMILTON APARTMENTS



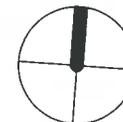
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BUILDING #7 ELEVATIONS

MENLO PARK, CA

05/21/2014-02/14

05/13/2014 Planning Submittal #1

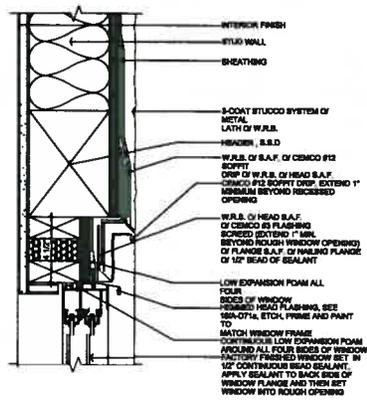


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510.272.2910
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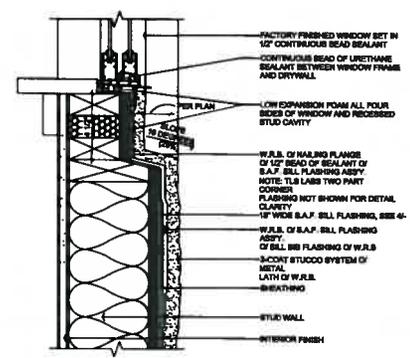


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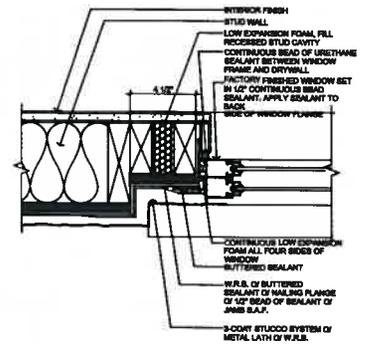
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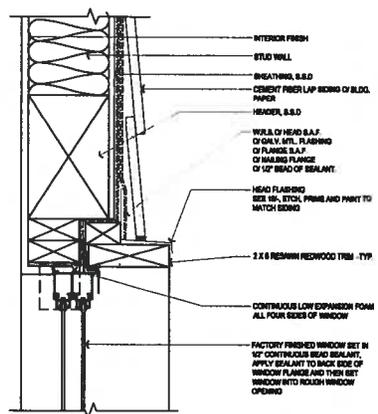
Stucco:
Typical 2" Window Recess Detail
@ Window Head



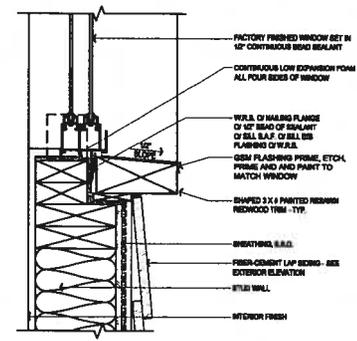
Stucco:
Typical 2" Window Recess Detail
@ Window Sill



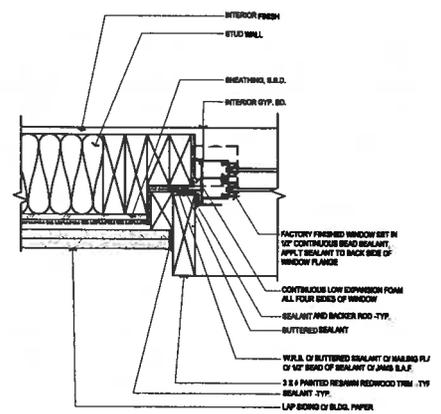
Stucco:
Typical 2" Window Recess Detail
@ Jamb



Siding:
Typical 2" Window Recess Detail
@ Window Head



Siding:
Typical 2" Window Recess Detail
@ Window Sill



Siding:
Typical 2" Window Recess Detail
@ Jamb

B19

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DETAILS

MENLO PARK, CA

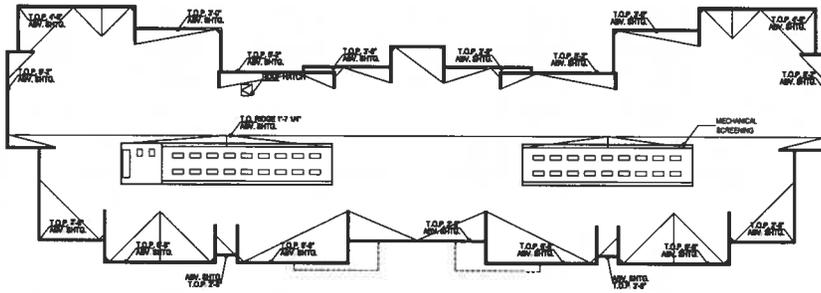
10/17/11 2013-4254

04.07.2011 Planning Submittal #2

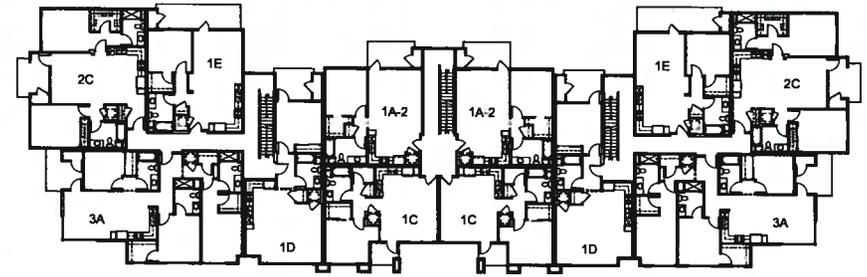
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Oakland, CA 94607
510.272.2910
ktgy.com

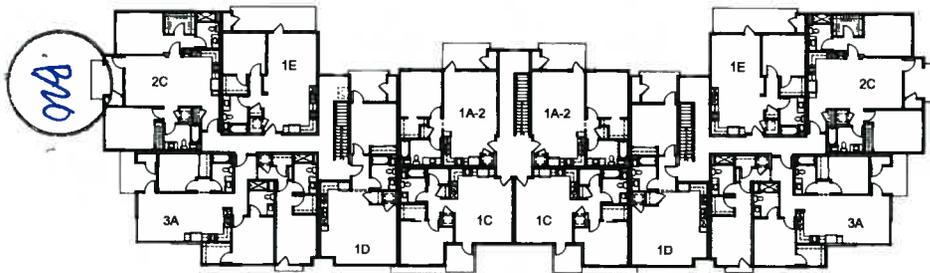




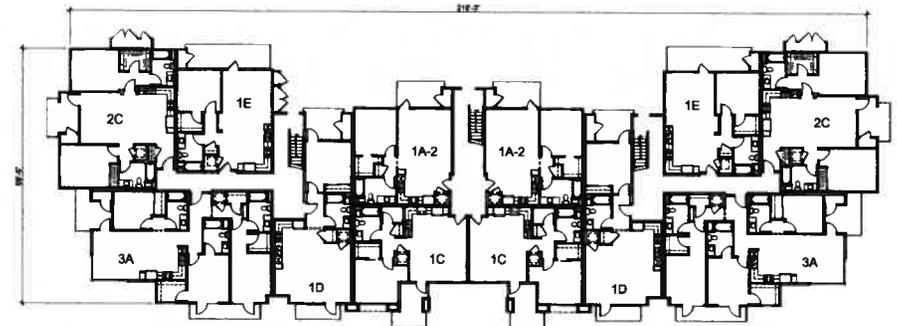
ROOF



LEVEL 2



LEVEL 3



LEVEL 1

HAMILTON APARTMENTS

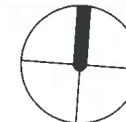


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BUILDING TYPE A FLOOR PLANS (BLDG. #1, 3, 4)

MENLO PARK, CA
 DIST # 2013-0254

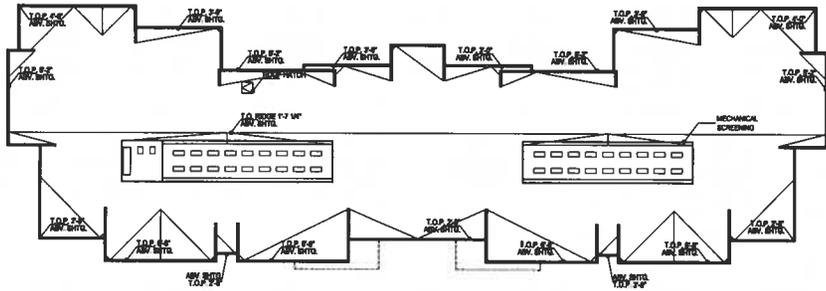
PL 13.2014 Planning Technical #7



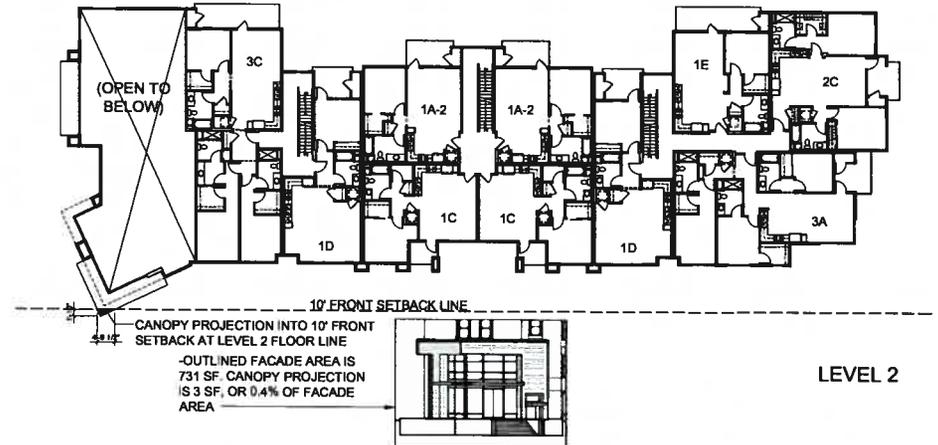
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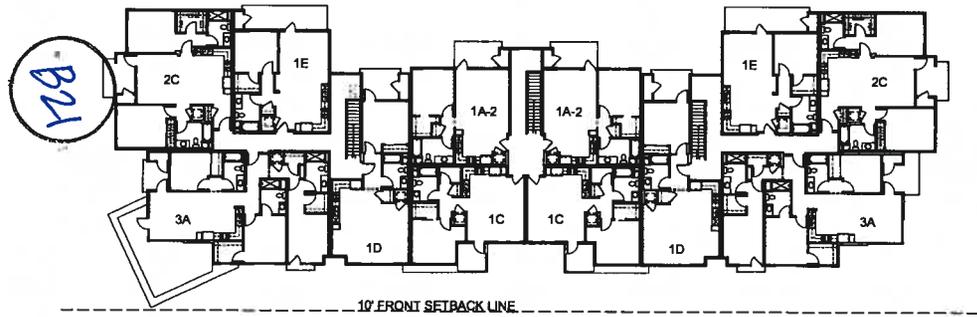
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A3.0



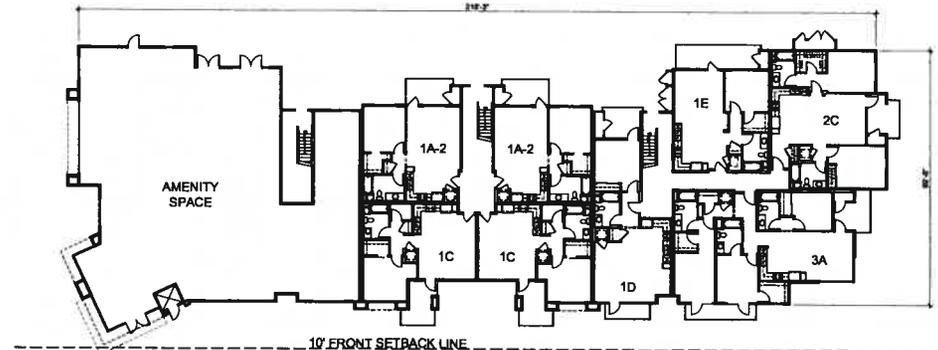
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LEVEL 2



LEVEL 3



LEVEL 1

HAMILTON APARTMENTS

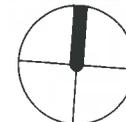


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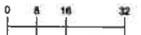
BUILDING TYPE A-I FLOOR PLANS (BLDG. #2)

MENLO PARK, CA
 PROJECT # 2013-0254

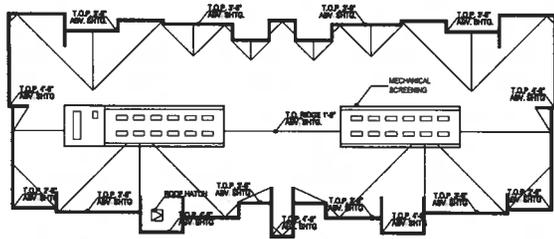
05.13.2014 Planning Submittal #3



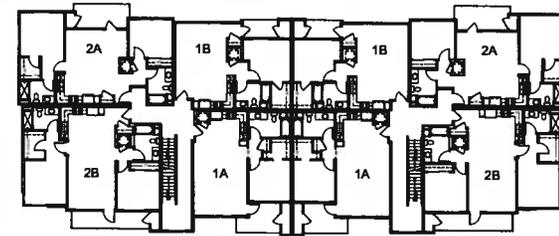
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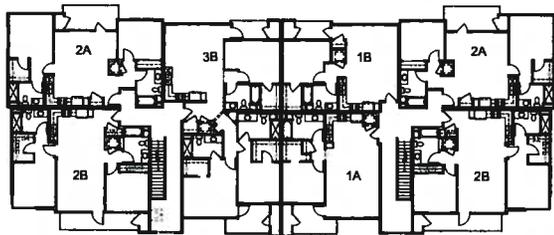
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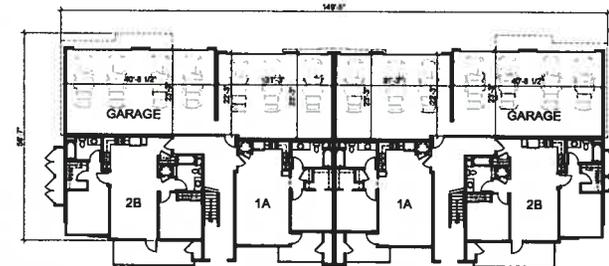
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LEVEL 2



LEVEL 3



LEVEL 1

B22

HAMILTON APARTMENTS



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BUILDING TYPE B FLOOR PLANS (BLDG. #5, 6, 7)

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 DIST # 2013-0254

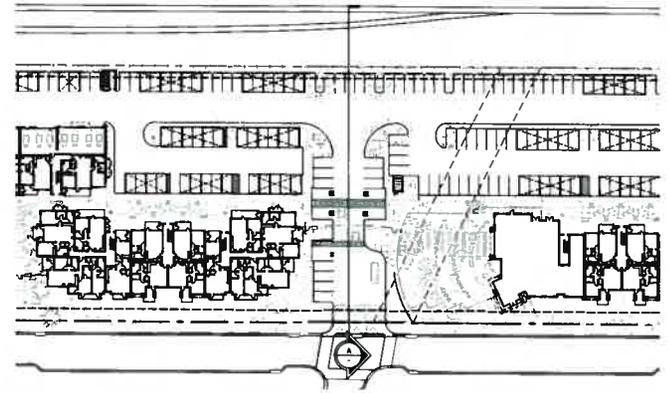
05.13.2014 Planning Submittal #7



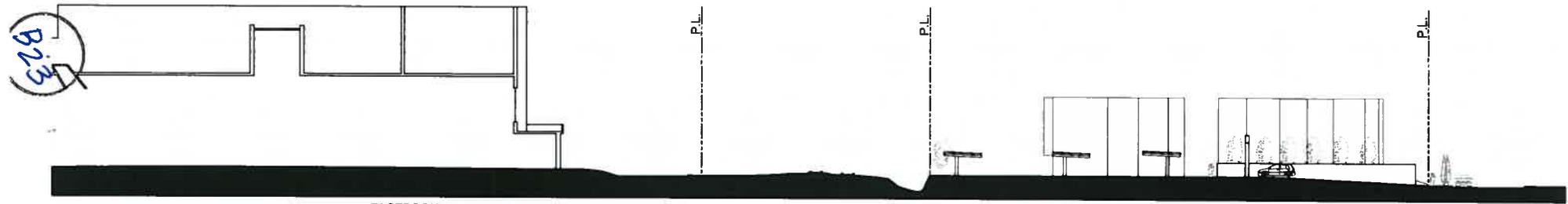
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A3.2



KEY PLAN N.T.S



FACEBOOK
CAMPUS

RAILROAD
R.O.W.

HAMILTON
AVE

SECTION A

HAMILTON APARTMENTS



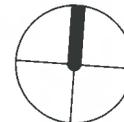
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SITE SECTION

MENLO PARK, CA

05/27/13 # 2013-0254

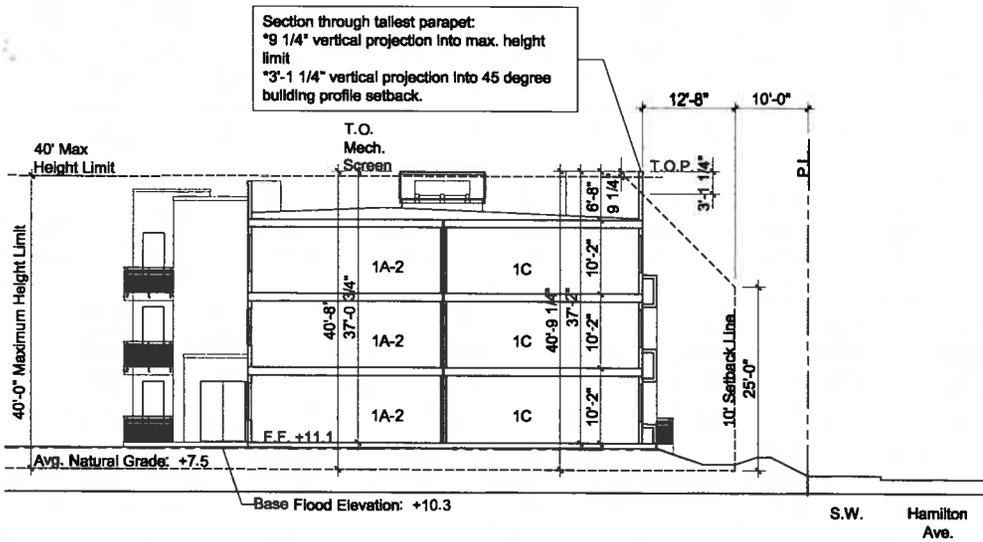
PL 1320-4 Planning Submittal #1



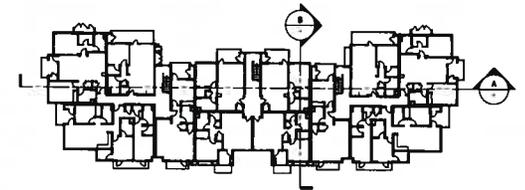
KTGY Group, Inc.
Architecture+Planning
580 Second St., Suite 200
Oakland, CA 94607
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A4.0

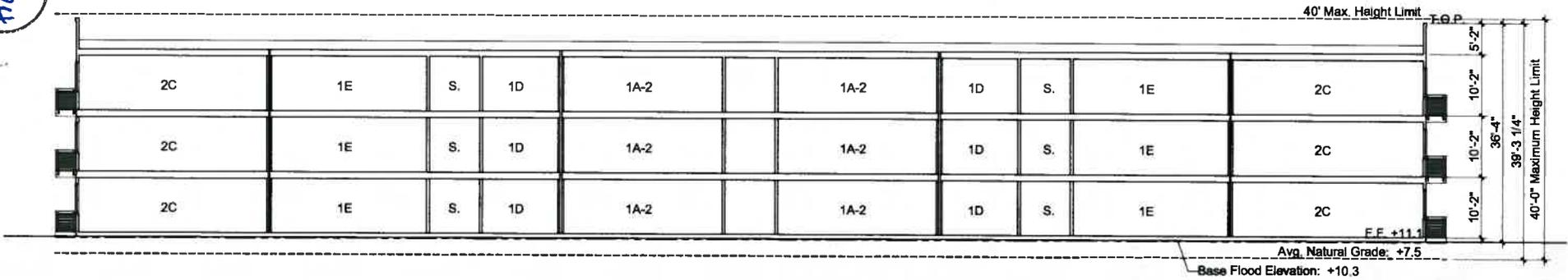


SECTION B



KEY PLAN

B24



SECTION A

HAMILTON APARTMENTS



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BUILDING #1 SECTIONS

MENLO PARK, CA
DOT # 2013-0254

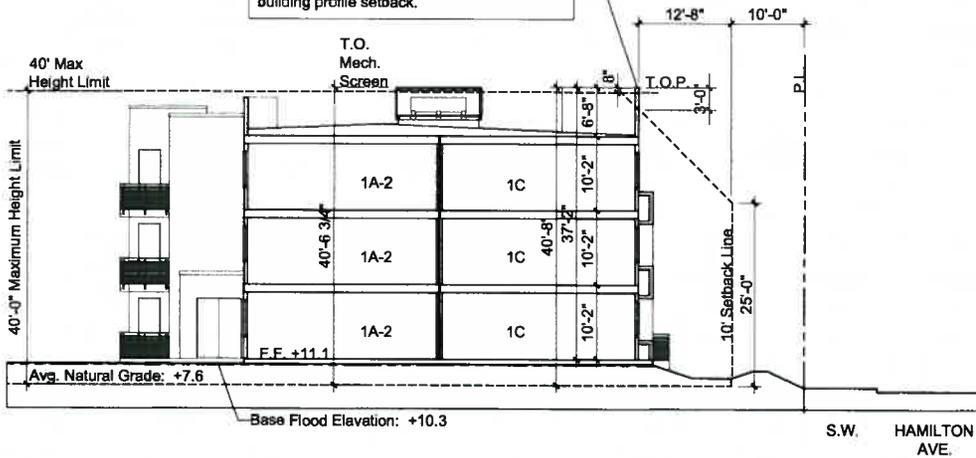
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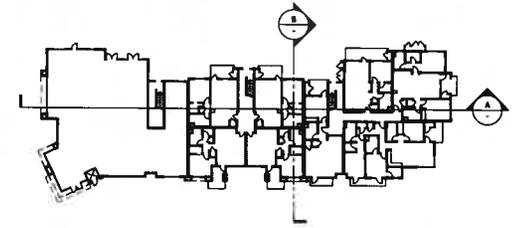


A4.1

Section through tallest parapet:
 *8" vertical projection into max. height limit
 *3'-0" vertical projection into 45 degree building profile setback.

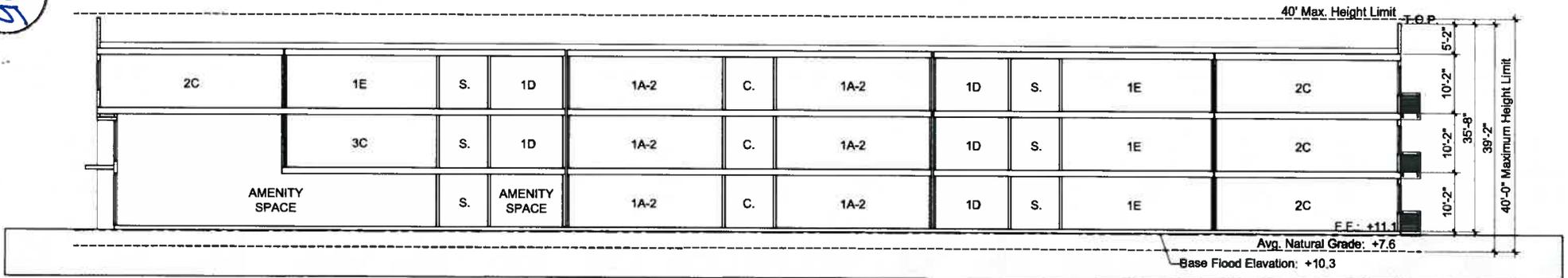


SECTION B



KEY PLAN

B2B



SECTION A

HAMILTON APARTMENTS



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BUILDING #2 SECTIONS

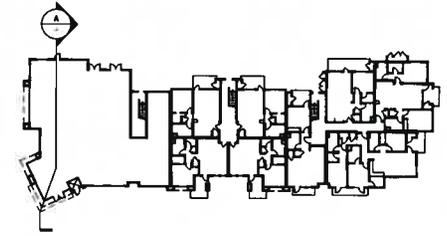
MENLO PARK, CA
 EXC # 2013-0254

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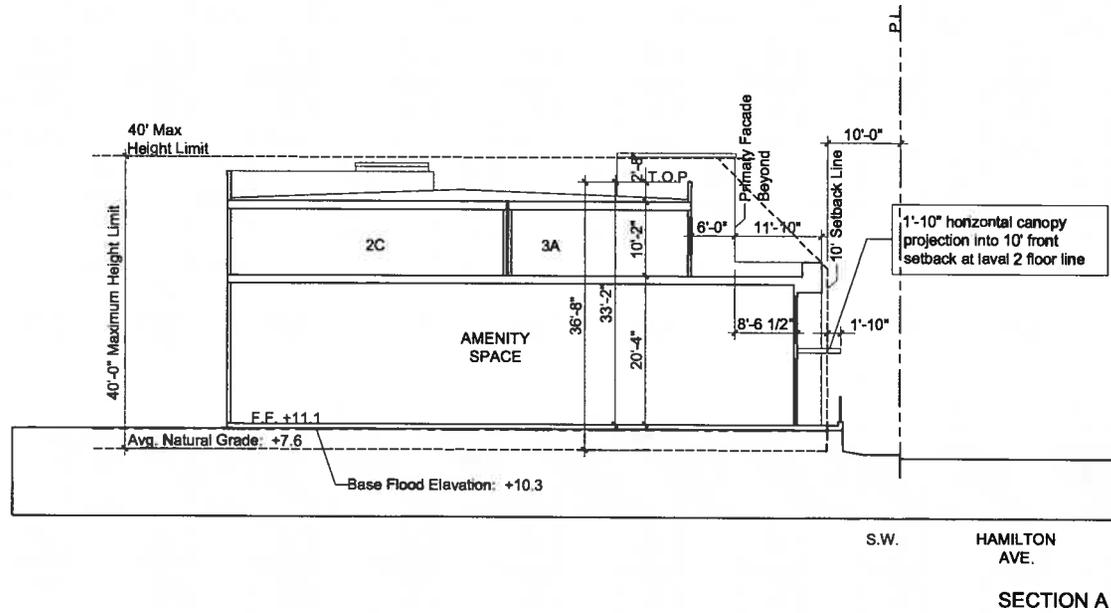


0 4 8 16
A4.2a



KEY PLAN

B2b



HAMILTON APARTMENTS



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BUILDING #2 SECTIONS

MENLO PARK, CA

02/07/14 2013-0254

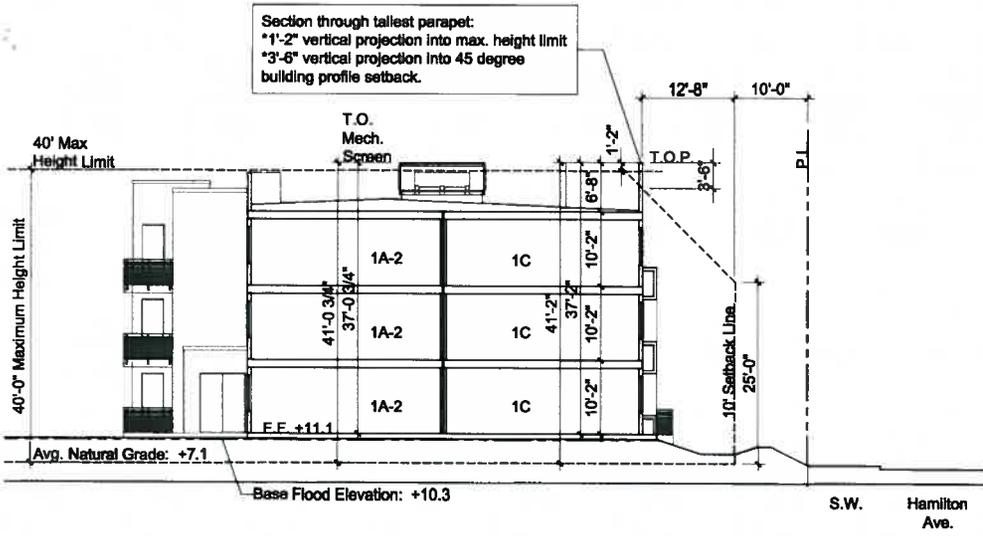
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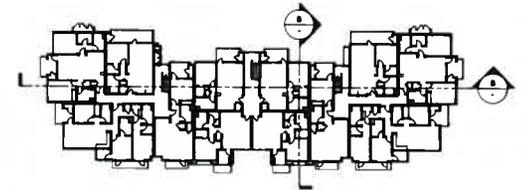
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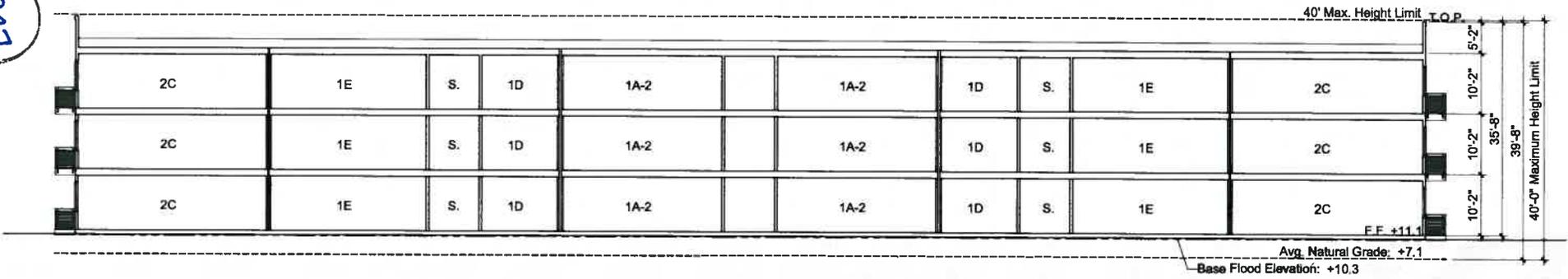


SECTION B



KEY PLAN

B27



SECTION A



A4.3

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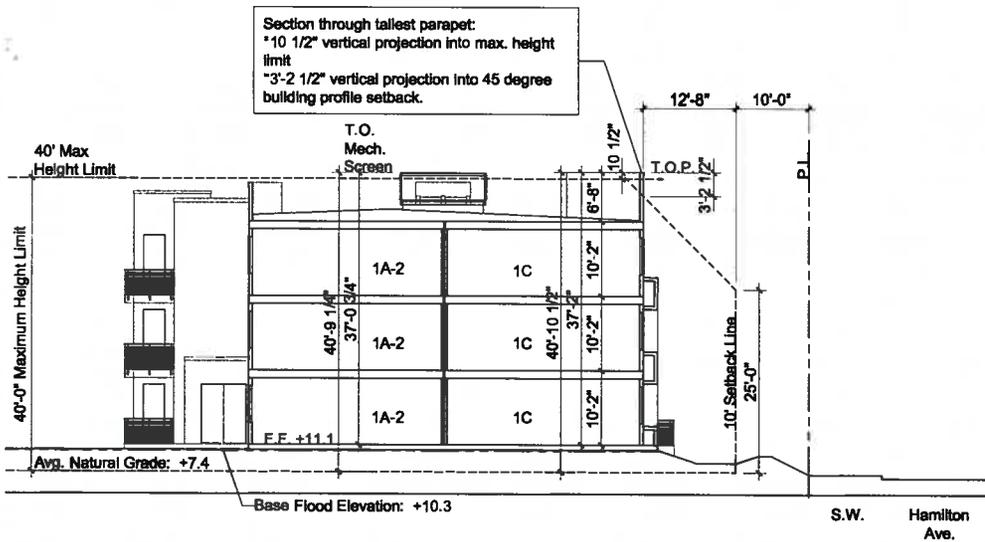
BUILDING #3 SECTIONS

MENLO PARK, CA
ENR # 2013-0254

11.13.2014 Planning Submittal #3

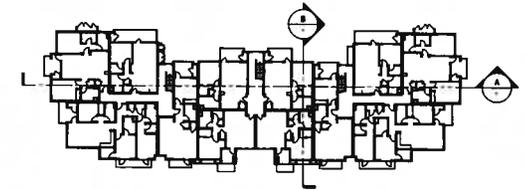
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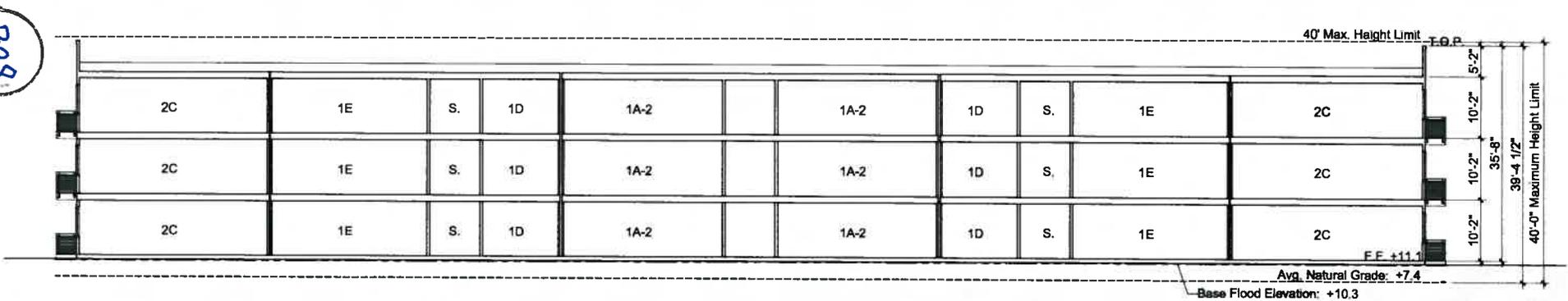


S.W. Hamilton Ave.

SECTION B



KEY PLAN



SECTION A

HAMILTON APARTMENTS



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BUILDING #4 SECTIONS

MENLO PARK, CA

DOT # 2013-0254

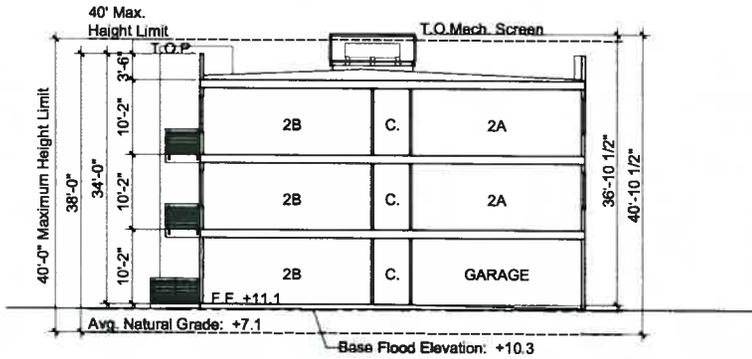
05.13.2014 Planning Submittal #3



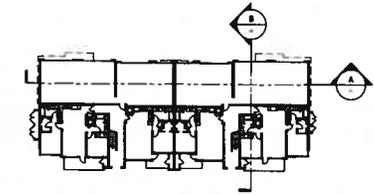
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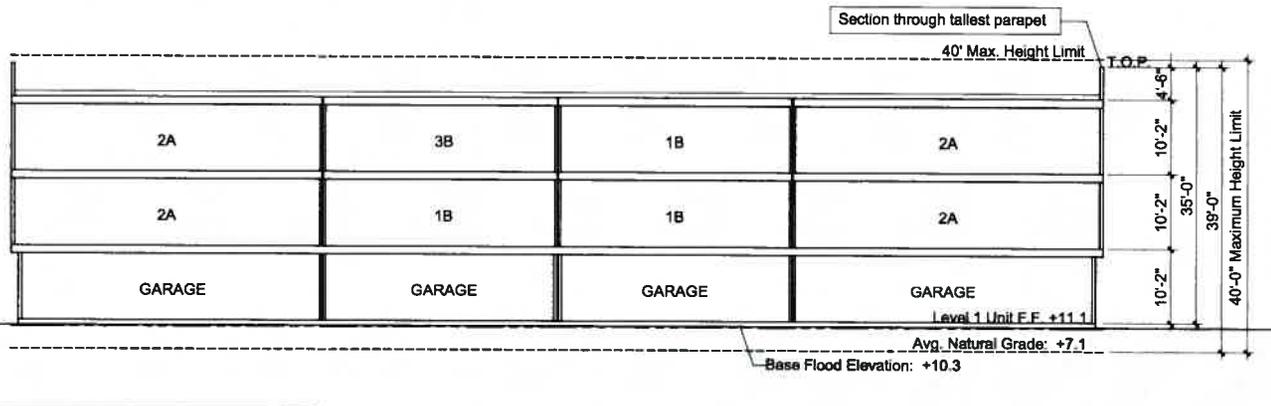




SECTION B



KEY PLAN



SECTION A

1004

HAMILTON APARTMENTS



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BUILDING #5 SECTIONS

MENLO PARK, CA
0707 # 2013-0254

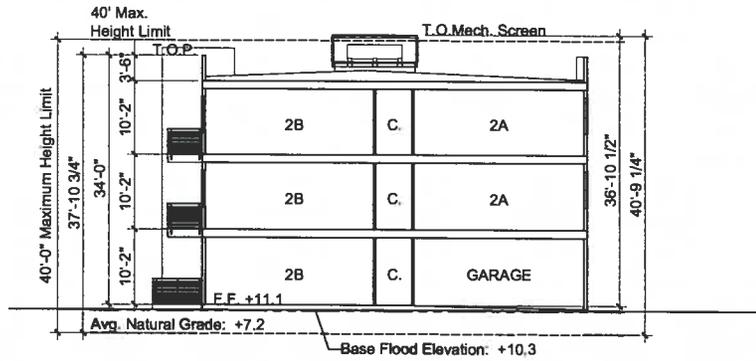
05.13.2014 Planning Submittal #3



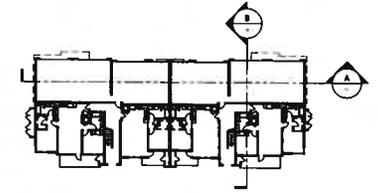
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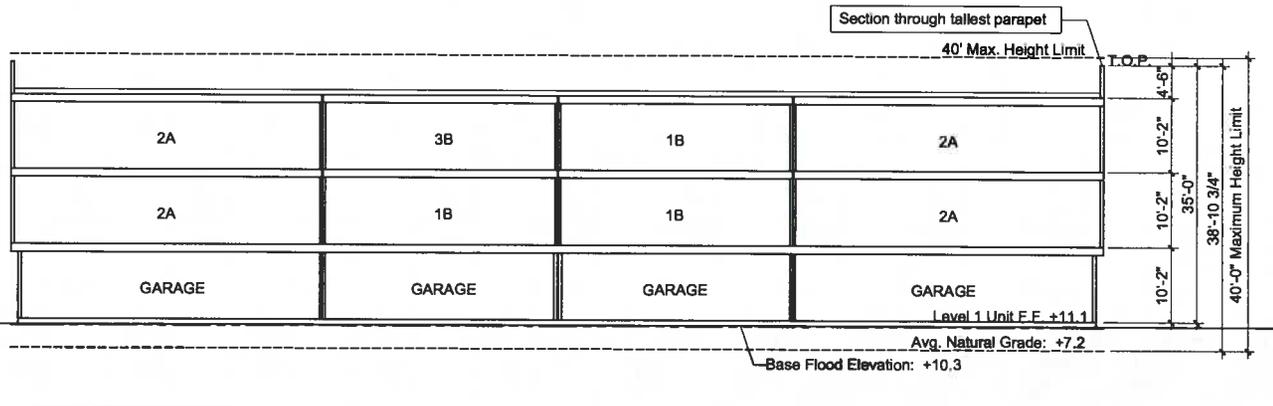


SECTION B



KEY PLAN

B2B



SECTION A

HAMILTON APARTMENTS



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BUILDING #6 SECTIONS

MENLO PARK, CA
DWT # 2013-0254

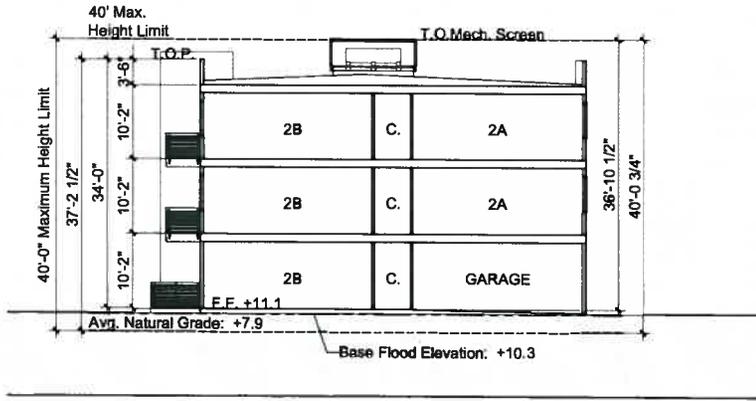
05.13.2014 Planning Technical #3



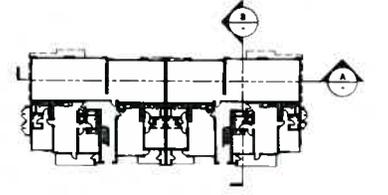
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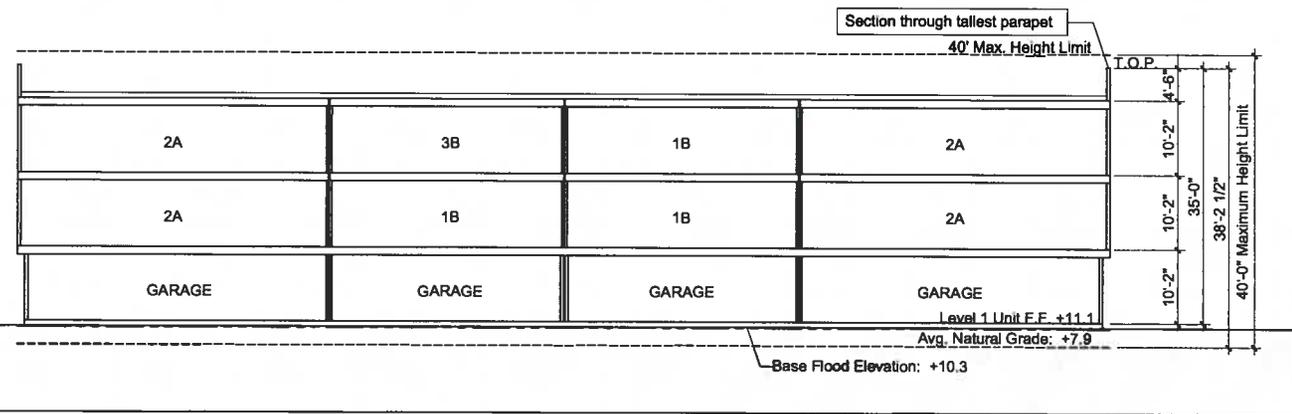


SECTION B



KEY PLAN

B31



SECTION A

HAMILTON APARTMENTS



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BUILDING #7 SECTIONS

MENLO PARK, CA
DGT # 2013-0254 05.13.2014 Planning Submittal #3

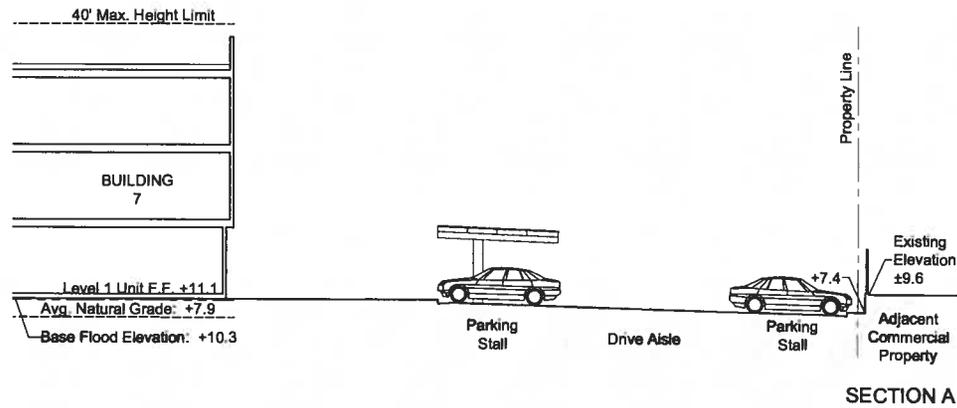
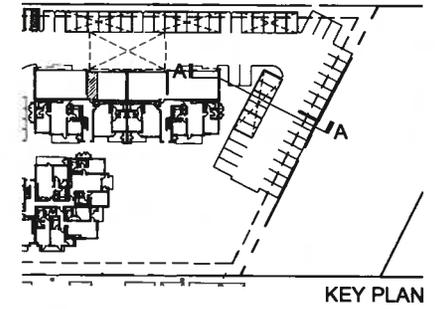


A4.7

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B99



HAMILTON APARTMENTS



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SECTION THROUGH EAST PROPERTY LINE

MENLO PARK, CA
 ECT # 2014-0254

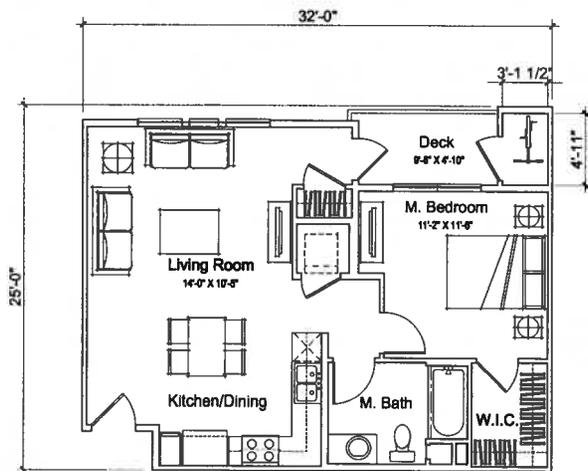
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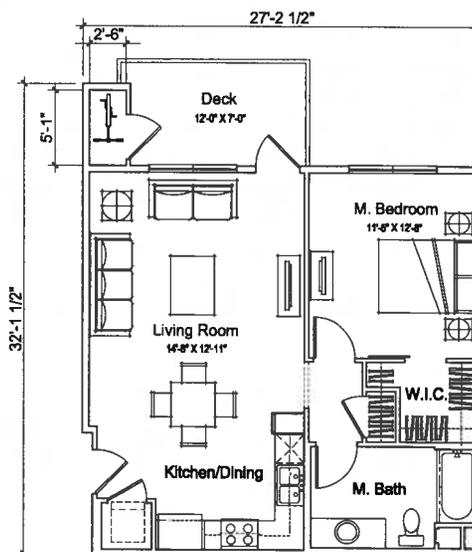
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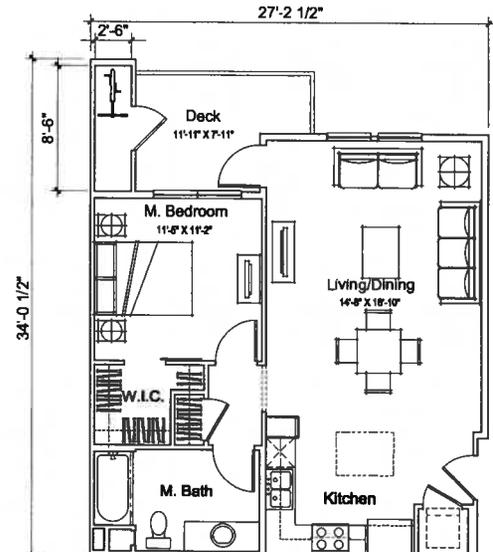




Unit Plan 1B
 1 BR / 1 BA
 UNIT AREA: 703 NSF
 DECK AREA: 47 SF
 BIKE STORAGE AREA: 20 SF
 9 D.U.



Unit Plan 1A-2
 1 BR / 1 BA
 UNIT AREA: 722 NSF
 DECK AREA: 85 SF
 BIKE STORAGE AREA: 18 SF
 24 D.U.



Unit Plan 1A
 1 BR / 1 BA
 UNIT AREA: 743 NSF
 DECK AREA: 81 SF
 BIKE STORAGE AREA: 28 SF
 15 D.U.

NOTES:
 1. Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.

HAMILTON APARTMENTS

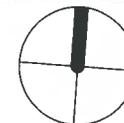


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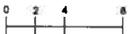
UNIT PLANS

MENLO PARK, CA
 DTG # 2013-0254

05.13.2014 Planning Submittal #7

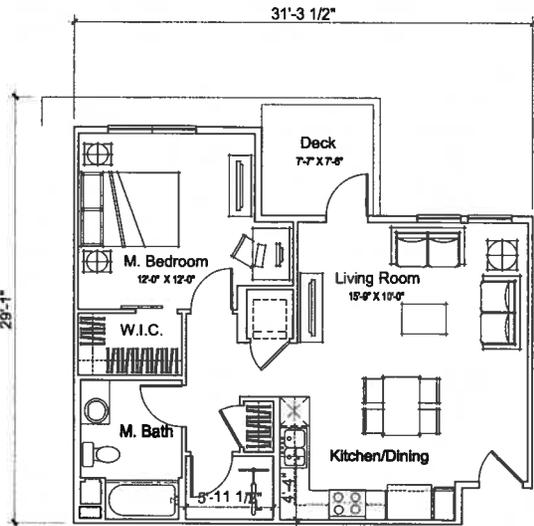


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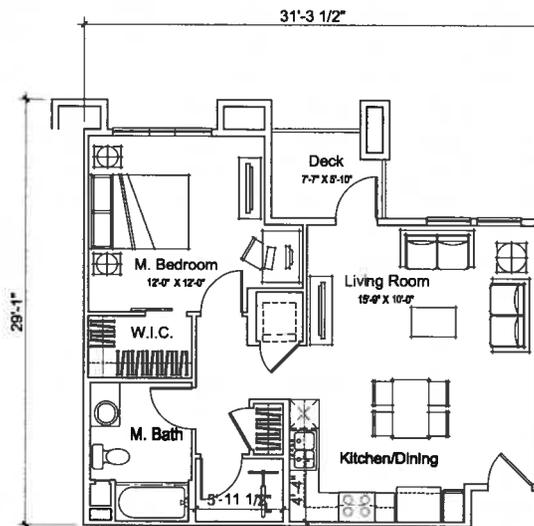
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B34



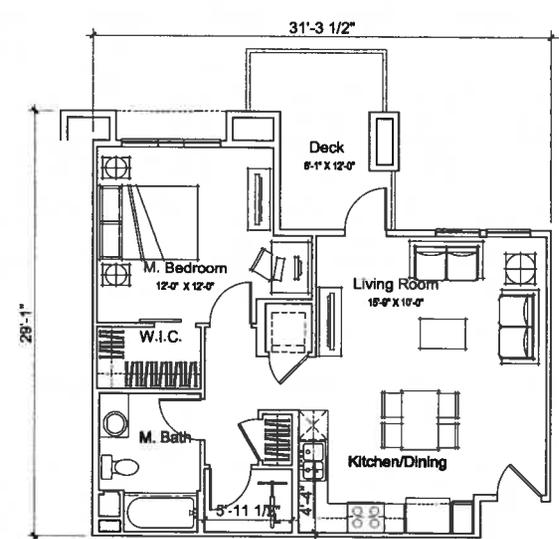
Unit Plan 1C 3FL.
 1 BR / 1 BA
 UNIT AREA: 707 NSF
 DECK AREA: 58 SF
 BIKE STORAGE AREA INSIDE UNIT: 26 SF

8 D.U.



Unit Plan 1C 2FL.
 1 BR / 1 BA
 UNIT AREA: 707 NSF
 DECK AREA: 41 SF
 BIKE STORAGE AREA INSIDE UNIT: 26 SF

8 D.U.



Unit Plan 1C
 1 BR / 1 BA
 UNIT AREA: 707 NSF
 DECK AREA: 91 SF
 BIKE STORAGE AREA INSIDE UNIT: 26 SF

8 D.U.

NOTES:
 1. Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.

HAMILTON APARTMENTS

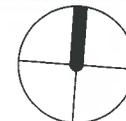


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UNIT PLANS

MENLO PARK, CA
 KTG # 2013-0254

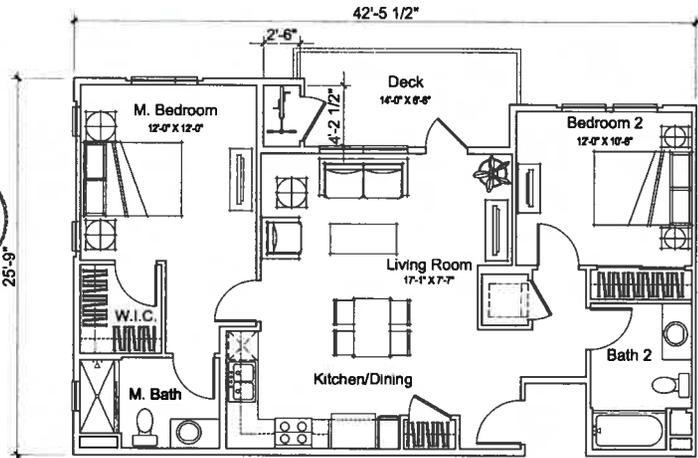
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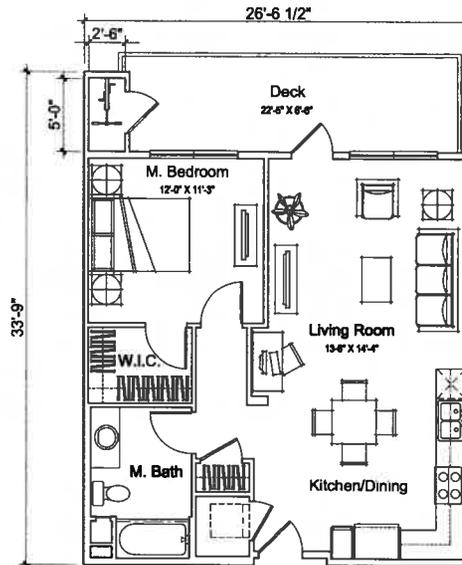


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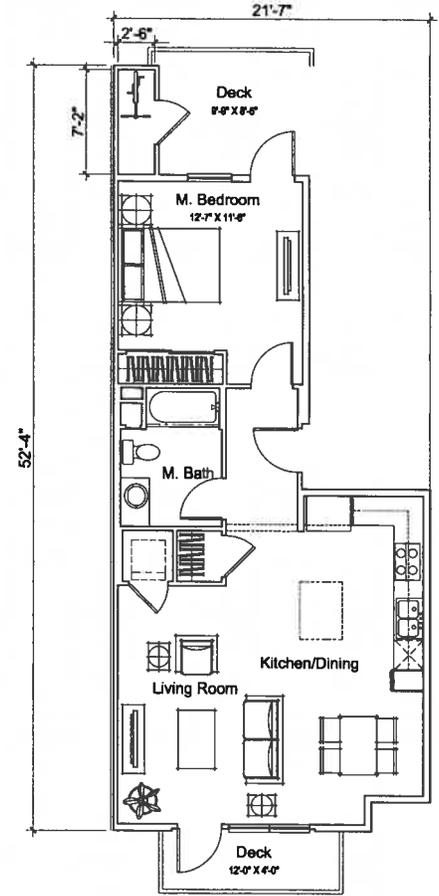
Unit Plan 2A
 2 BR / 2 BA
 UNIT AREA: 977 NSF
 DECK AREA: 94 SF
 BIKE STORAGE AREA: 13 SF

12 D.U.



Unit Plan 1E
 1 BR / 1 BA
 UNIT AREA: 751 NSF
 DECK AREA: 147 SF
 BIKE STORAGE AREA: 17 SF

22 D.U.



Unit Plan 1D
 1 BR / 1 BA
 UNIT AREA: 791 NSF
 DECK AREA: 132 SF
 BIKE STORAGE AREA: 24 SF

23 D.U.

NOTES:
 1. Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.

HAMILTON APARTMENTS

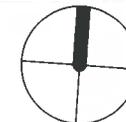


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UNIT PLANS

MENLO PARK, CA
 07/07 # 2013-0254

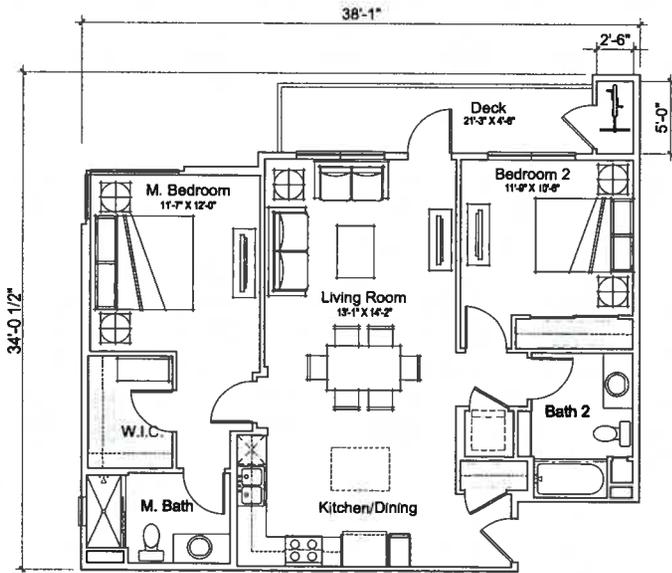
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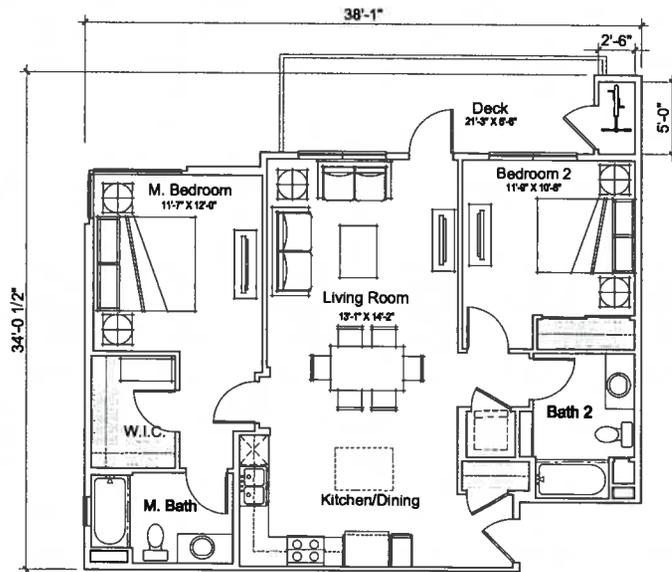
A5.2



Unit Plan 2B ABV.
 2 BR / 2 BA
 UNIT AREA: 1039 NSF
 DECK AREA: 96 SF
 BIKE STORAGE AREA: 18 SF

12 D.U.

NOTES:
 1 Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.



Unit Plan 2B
 2 BR / 2 BA
 UNIT AREA: 1039 NSF
 DECK AREA: 139 SF
 BIKE STORAGE AREA: 18 SF

6 D.U.

HAMILTON APARTMENTS

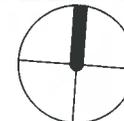


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UNIT PLANS

MENLO PARK, CA
 ITR # 20134254

05.13.2014 Planning Submittal #1



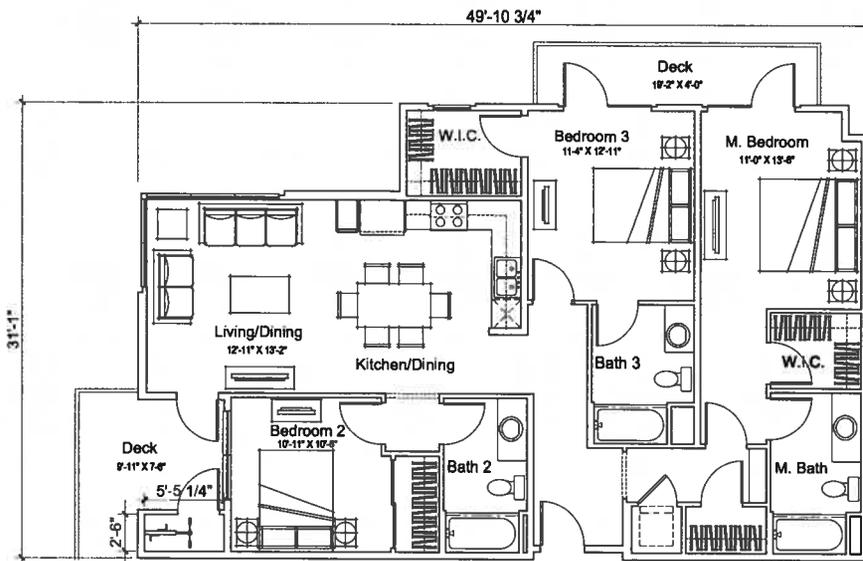
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A5.3

946

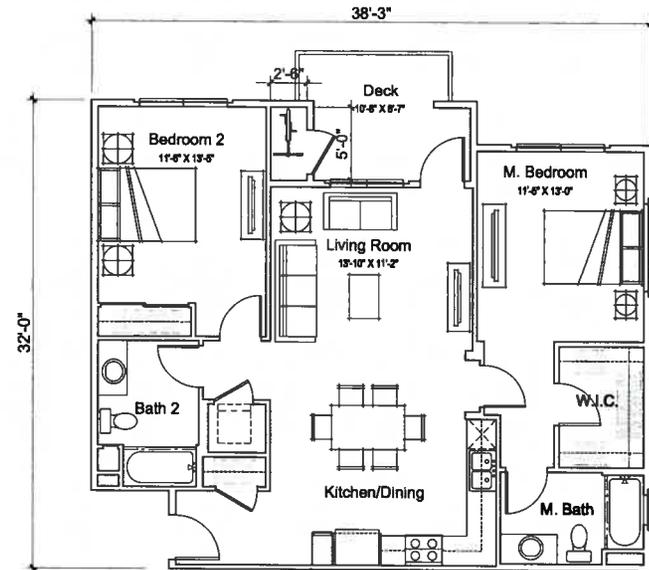
0937



Unit Plan 3A
 3 BR / 3 BA
 UNIT AREA: 1375 NSF
 DECK AREA: 167 SF
 BIKE STORAGE AREA: 20 SF

7 D.U.

NOTES:
 1. Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.



Unit Plan 2C
 2 BR / 2 BA
 UNIT AREA: 1090 NSF
 DECK AREA: 90 SF
 BIKE STORAGE AREA: 16 SF

22 D.U.

HAMILTON APARTMENTS

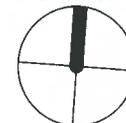


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UNIT PLANS

MENLO PARK, CA
 0707 # 2013-0254

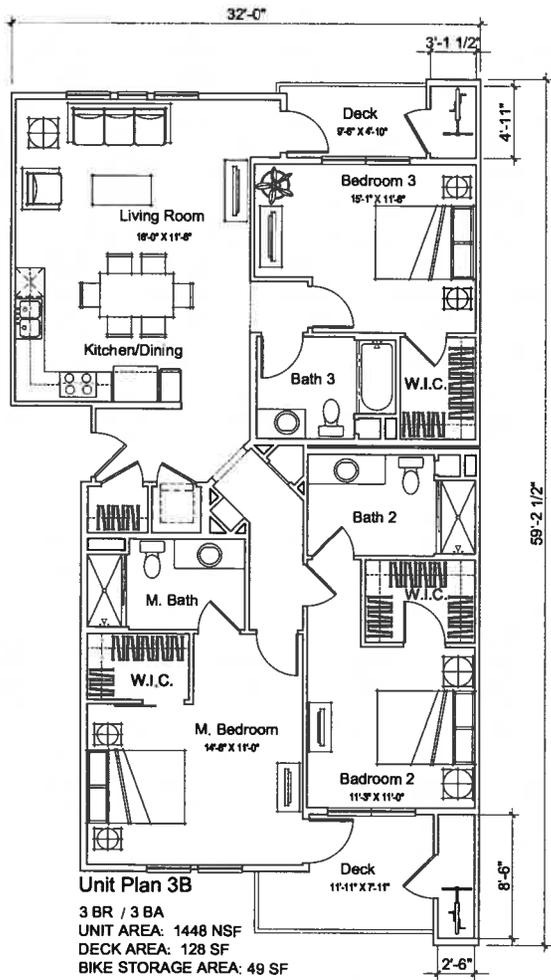
05.13.2014 Planning Submittal #3



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Architecture+Planning
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 Oakland, CA 94607
 510.272.2910
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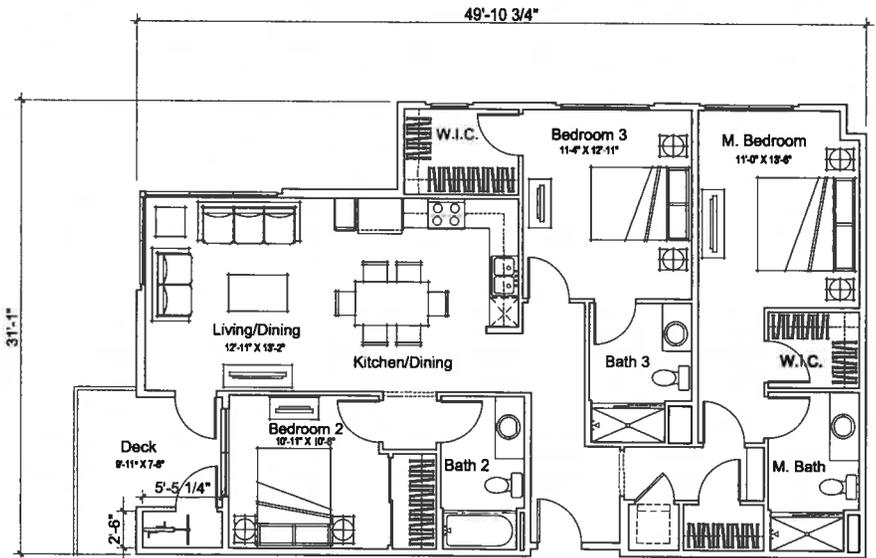


0 2 4 8
A5.4



Unit Plan 3B
 3 BR / 3 BA
 UNIT AREA: 1448 NSF
 DECK AREA: 128 SF
 BIKE STORAGE AREA: 49 SF

3 D.U.



Unit Plan 3A ABV.
 3 BR / 3 BA
 UNIT AREA: 1375 NSF
 DECK AREA: 90 SF
 BIKE STORAGE AREA: 20 SF

15 D.U.

NOTES:
 1. Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.



A5.5

HAMILTON APARTMENTS

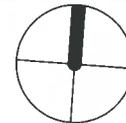


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UNIT PLANS

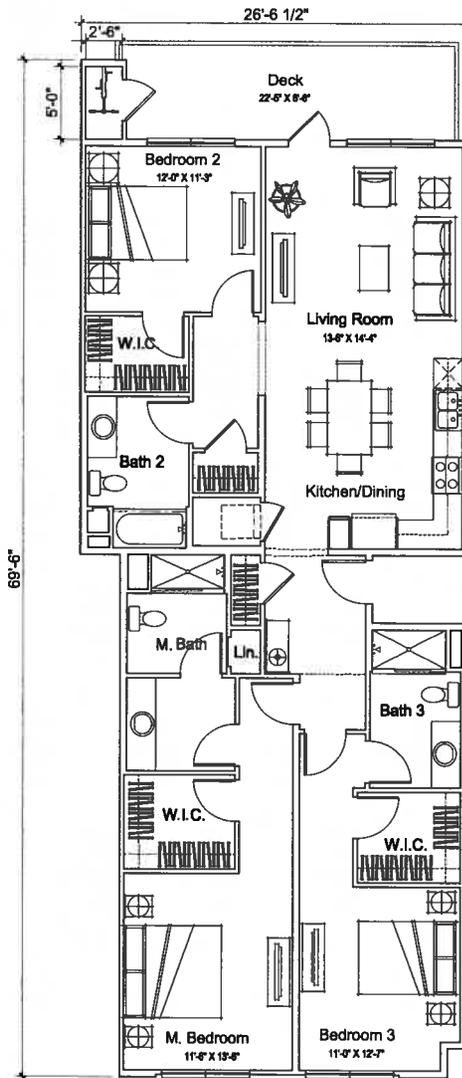
MENLO PARK, CA
 07/21/14/254

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Unit Plan 3C

3 BR / 3 BA
 UNIT AREA: 1569 NSF
 DECK AREA: 147 SF
 BIKE STORAGE AREA: 17 SF

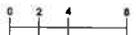
1 D.U.

UNIT PLANS

MENLO PARK, CA
 0107 # 2013-0254

05.13.2014 Planning Submittal #F3

NOTES:
 1. Net area is measured to the outside face of stud or center of air gap if wall is adjacent to another unit.

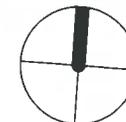


A5.6

HAMILTON APARTMENTS



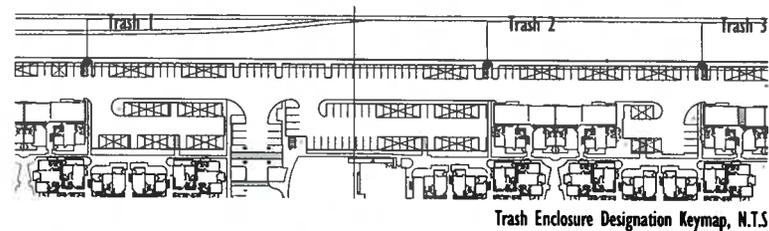
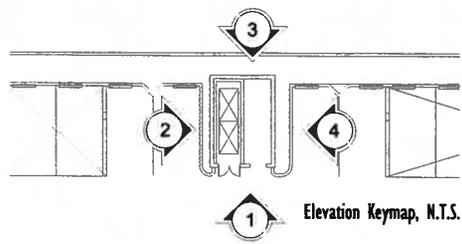
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B29

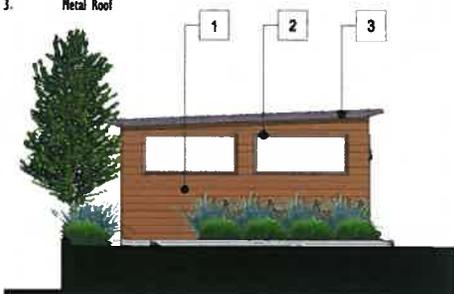


Material Legend

- 1. Fiber Cement Lap Siding
- 2. Trim
- 3. Metal Roof



1. Front Elevation



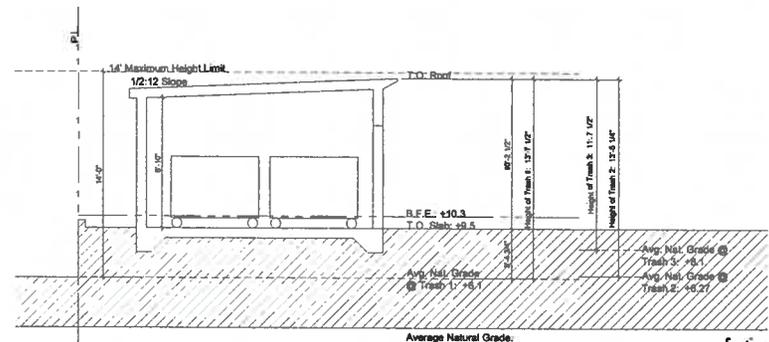
2. Left Elevation



3. Rear Elevation



4. Right Elevation

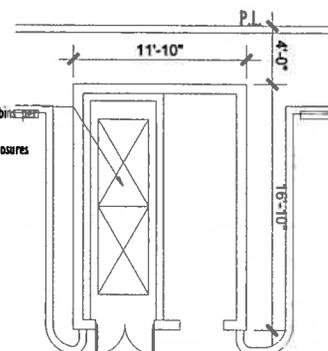


Average Natural Grade:
Trash 1: +6.1
Trash 2: +6.27
Trash 3: +6.1

F.F. of all trash enclosures: +9.5.

Section above shows the condition at Trash 1, which has the lowest average natural grade and the tallest overall height of the three trash enclosures.

Structure below B.F.E. to be resistant to flood damage.



(?) 3 yard bins per enclosure;
3 trash enclosures total

0 2 4 6

HAMILTON APARTMENTS

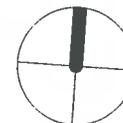


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TRASH ENCLOSURE PLAN AND ELEVATIONS

MENLO PARK, CA
1527 # 2013-0254

#13.2014 Planning Submittal #3

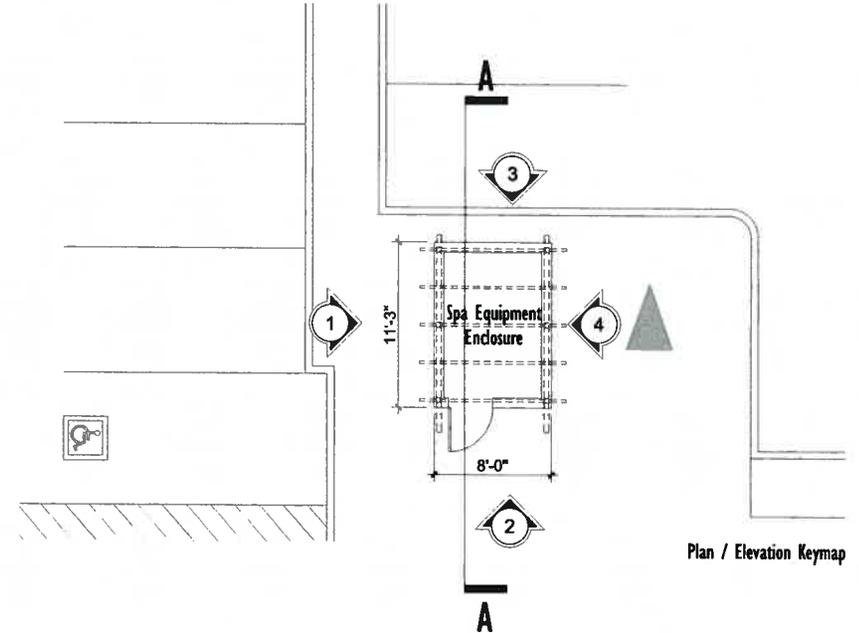
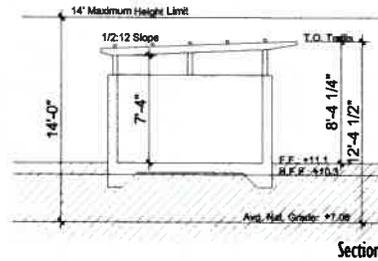
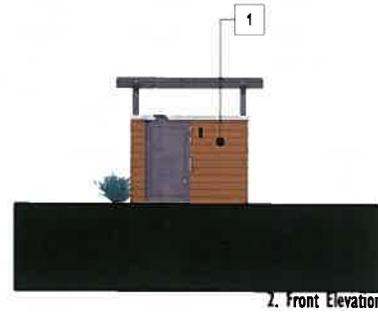
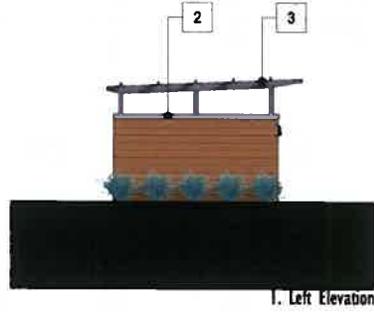


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A5.7

- Material Legend**
1. Fiber Cement Lap Siding
 2. Trim
 3. Metal Trellis



BA1

HAMILTON APARTMENTS

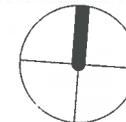


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SPA EQUIPMENT ENCLOSURE ELEVATIONS & SECTION

MENLO PARK, CA
TRF # 2013-0254

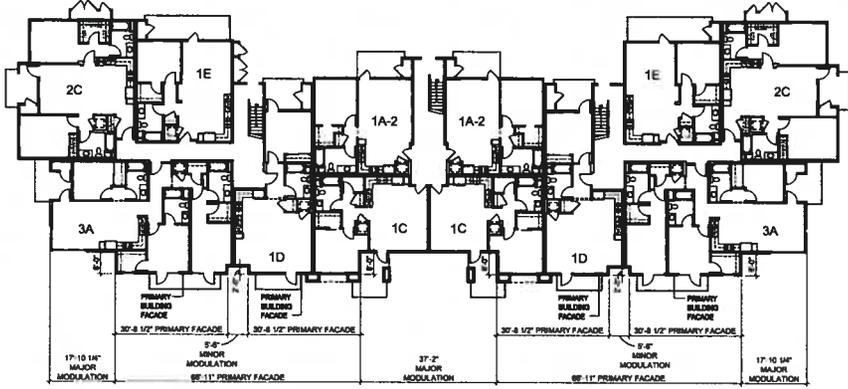
05/13/2014 Planning Submittal #1



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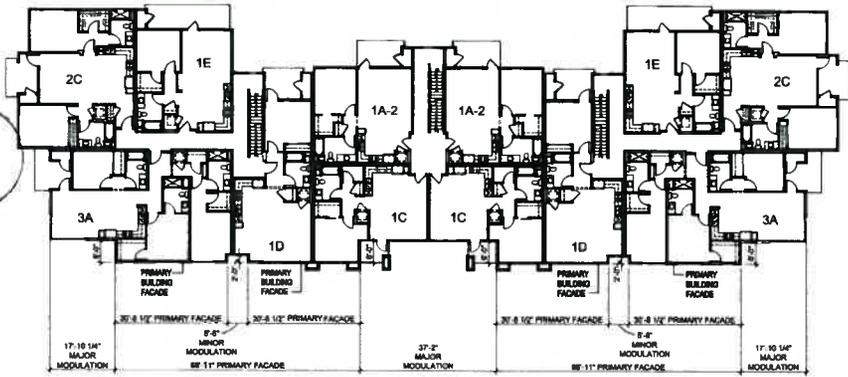
0 2 4 8
A5.8



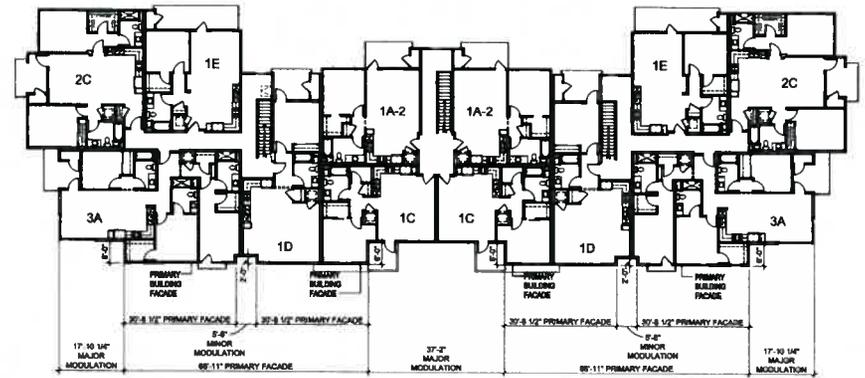
BUILDING #1, 3, & 4: LEVEL 1 PLAN



BUILDING #1 & 4 ELEVATION
(BUILDING #3 SIM.: SAME MODULATION; DIFFERENT EXTERIOR FINISH)



BUILDING #1, 3, & 4: LEVEL 2 PLAN



BUILDING #1, 3, & 4: LEVEL 3 PLAN

HAMILTON APARTMENTS



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MODULATION EXHIBIT: BUILDING #1, 3, & 4

MENLO PARK, CA
DP7 # 2013-0234

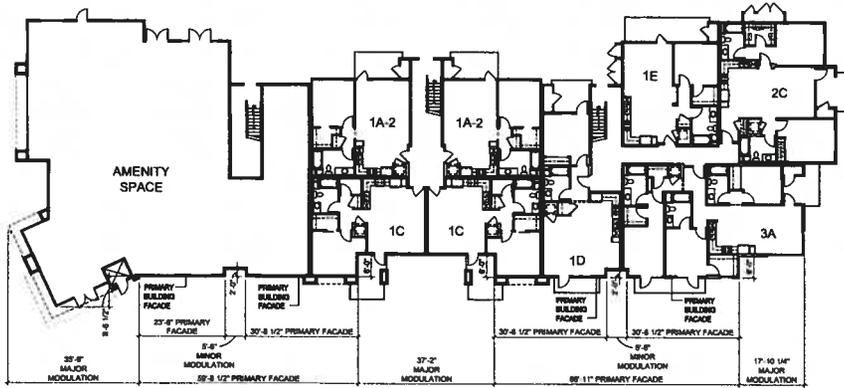
05.13.2014 Planning Schematic #3



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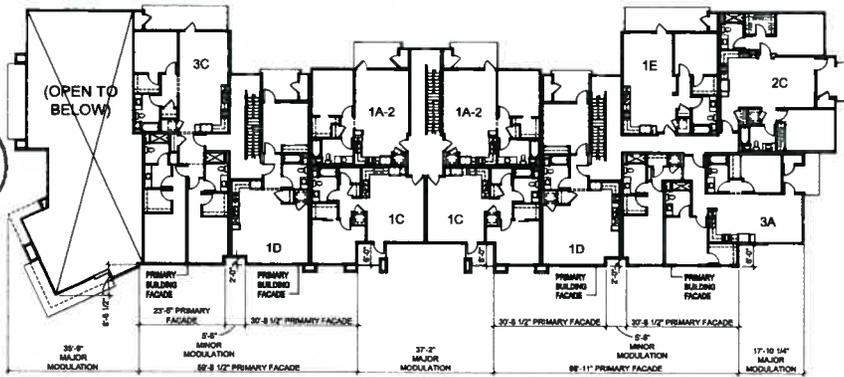
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A6.0a



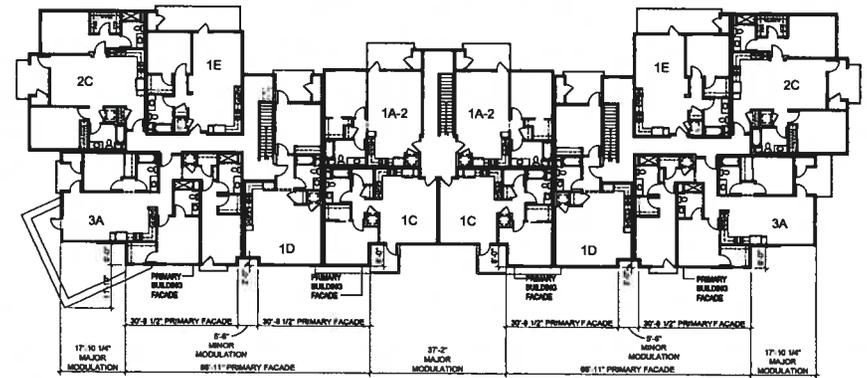
BUILDING #2: LEVEL 1 PLAN



BUILDING #2 ELEVATION



BUILDING #2: LEVEL 2 PLAN



BUILDING #2: LEVEL 3 PLAN

HAMILTON APARTMENTS

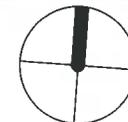


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MODULATION EXHIBIT: BUILDING #2

MENLO PARK, CA
 02/17/2014

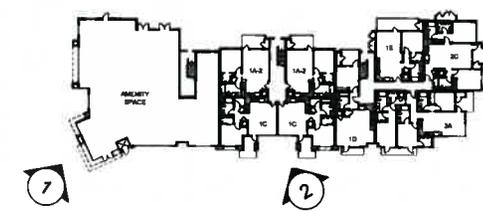
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0 8 16 32
A6.0b



BUILDING #2 KEY MAP N.T.S.

BAT



1. MODULATION AT AMENITY CORNER



2. MODULATION AT CENTER OF BUILDING

HAMILTON APARTMENTS

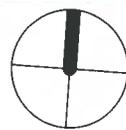


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MODULATION EXHIBIT: PERSPECTIVES

MENLO PARK, CA
 CRT # 2015-0254

05.13.2014 Planning Submittal #3

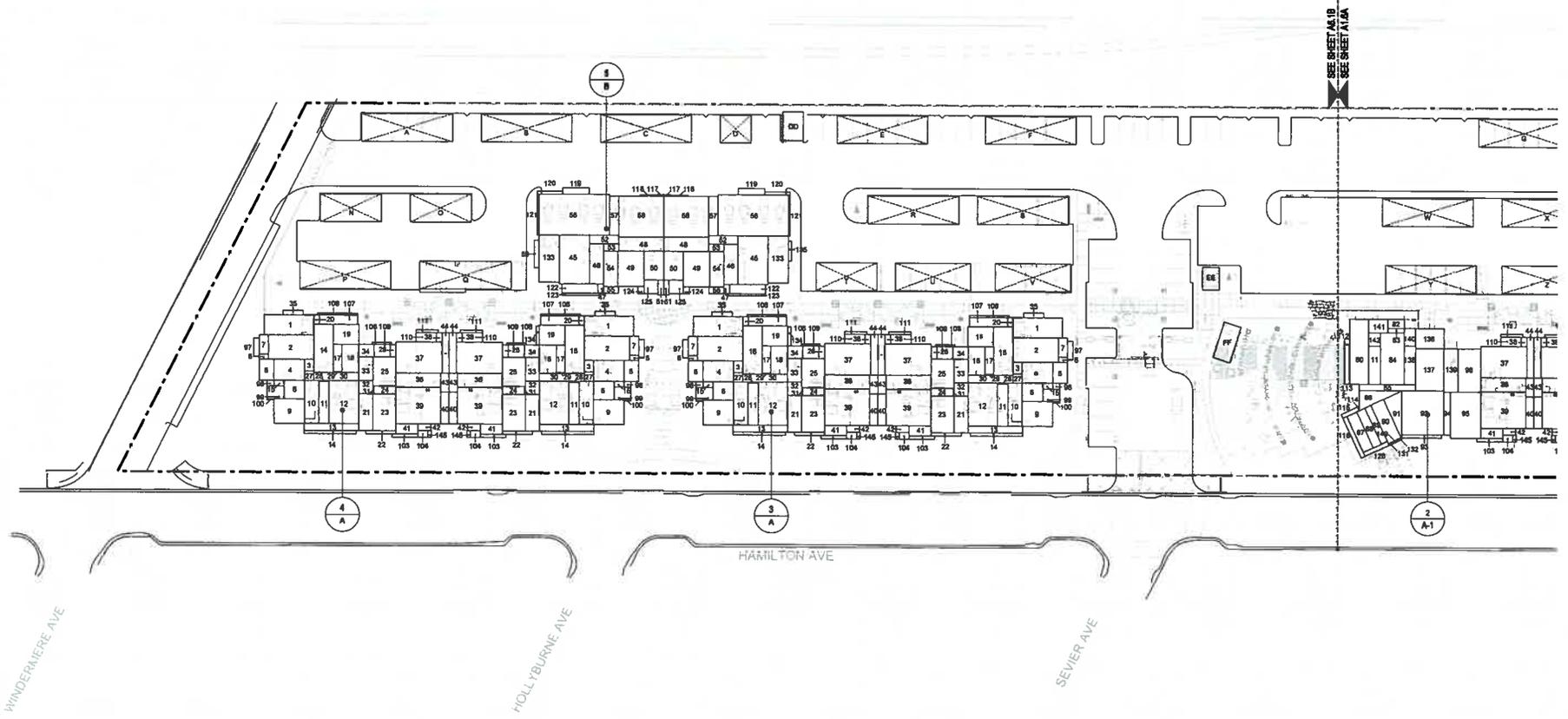


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A6.0c

PAS



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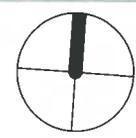


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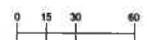
SITE PLAN SQUARE FOOTAGE CALCULATIONS

MENLO PARK, CA
 EIR # 2013-0254

05.13.2014 Planning Submittal #3



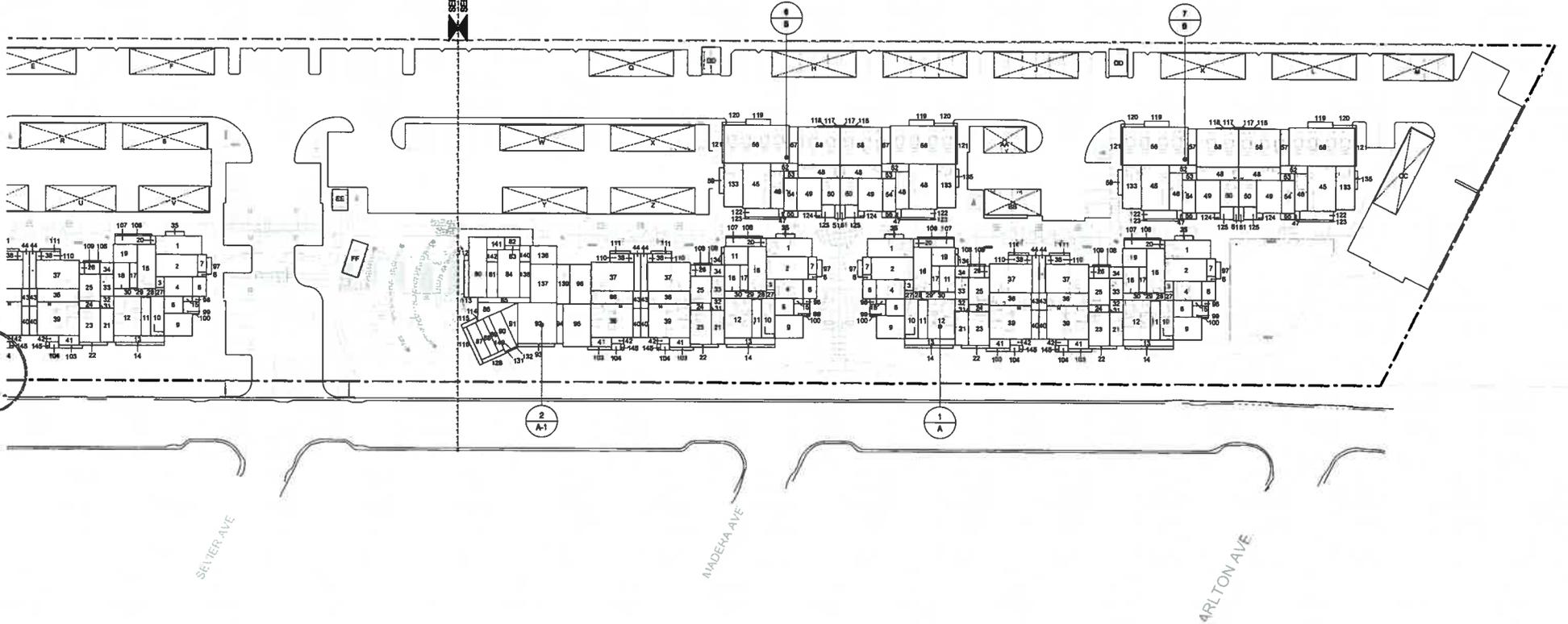
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A6.1a



SEE SHEET A6.1B
SEE SHEET A1A



HAMILTON APARTMENTS

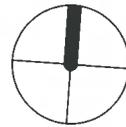


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SITE PLAN SQUARE FOOTAGE CALCULATIONS

MENLO PARK, CA
0727 # 2011-0214

13.2014 Planning Submittal #1



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0 15 30 60
A6.1b

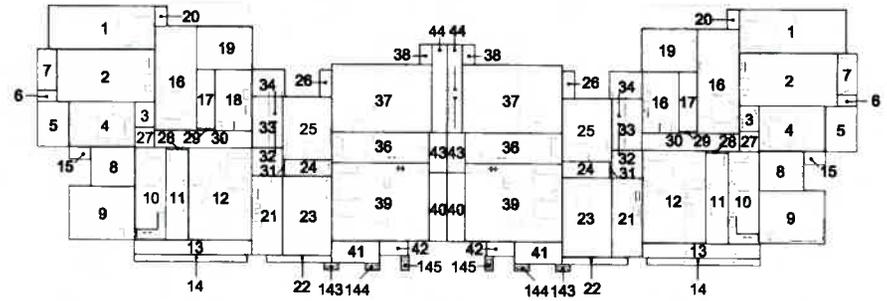
Site Plan Square Footage								
Building Type A Coverage (Building #1, 3, 4)								
Area	Dimensions	BF	x	Factor	Total			
1	29.25	x	11.875	347	x	2	866	sf
2	26.75	x	14.25	381	x	2	762	sf
3	5.375	x	6.817	37	x	2	74	sf
4	18.126	x	12.333	224	x	2	447	sf
5	8.708	x	12.375	108	x	2	216	sf
6	5.458	x	3.083	17	x	2	34	sf
7	5.458	x	11.167	81	x	2	162	sf
8	12.208	x	10.75	131	x	2	262	sf
9	18.104	x	14.542	283	x	2	527	sf
10	8.458	x	25.208	213	x	2	426	sf
11	8.083	x	24.708	150	x	2	301	sf
12	17.375	x	25.208	438	x	2	876	sf
13	32.187	x	4	129	x	2	257	sf
14	30.958	x	2	82	x	2	124	sf
15	5.819	x	3.458	20	x	2	41	sf
16	11.542	x	28.417	328	x	2	656	sf
17	18.208	x	5	81	x	2	162	sf
18	10.083	x	18.708	168	x	2	337	sf
19	15.208	x	11.708	178	x	2	356	sf
20	3.282	x	5.458	18	x	2	36	sf
21	8.417	x	21.583	161	x	2	363	sf
22	17.875	x	2	38	x	2	72	sf
23	13.5	x	21.583	291	x	2	582	sf
24	13	x	4.5	98	x	2	117	sf
25	13.5	x	17.0825	230	x	2	461	sf
26	3.375	x	7.458	25	x	2	50	sf
27	5.375	x	5.5	30	x	2	60	sf
28	6.083	x	0.5	3	x	2	6	sf
29	5	x	0.5	3	x	2	6	sf
30	26.825	x	4.887	124	x	2	249	sf
31	0.5	x	4.5	2	x	2	5	sf
32	8.417	x	7.846	64	x	2	129	sf
33	8.333	x	13.917	116	x	2	232	sf
34	8.817	x	7.458	67	x	2	133	sf
35	12	x	2.792	34	x	2	67	sf
36	26.887	x	8.333	222	x	2	444	sf
37	27.375	x	18.458	505	x	2	1,011	sf
38	3.375	x	5.544	18	x	2	37	sf
39	26.887	x	21.292	568	x	2	1,136	sf
40	4.875	x	18.708	81	x	2	162	sf
41	13.083	x	6	78	x	2	157	sf
42	3.875	x	7.708	30	x	2	60	sf
43	4.875	x	10.817	53	x	2	106	sf
44	4.875	x	24.031	100	x	2	200	sf
45	3.282	x	10.708	35	x	2	71	sf
46	4.122	x	3.417	14	x	2	28	sf
47	10.042	x	7.292	73	x	2	146	sf
100	4.148	x	0.833	3	x	1	3	sf
103	18.25	x	2	31	x	2	61	sf
104	8.833	x	4.125	24	x	2	48	sf
106	23.458	x	1.187	27	x	1	27	sf
107	22.583	x	5.458	123	x	1	123	sf
108	11.292	x	1.125	13	x	1	13	sf
109	8.542	x	7.458	71	x	1	71	sf
110	12.125	x	5.544	67	x	2	134	sf
111	13.187	x	1.881	21	x	2	42	sf
112	3.958	x	3.208	8	x	1	8	sf
113	2.958	x	23.417	69	x	1	69	sf
114	1.187	x	2.5	3	x	0.5	1	sf
115	10.835	x	2.5	27	x	1	27	sf
116	2.5	x	25.782	64	x	1	64	sf
128	15.724	x	2.5	38	x	1	38	sf
131	1.833	x	1	2	x	1	2	sf
132	1.788	x	1	2	x	1	2	sf
134	1.782	x	11.26	20	x	1	20	sf
136	18.875	x	11.708	198	x	1	198	sf
137	18.75	x	24.794	415	x	1	415	sf
138	8.708	x	22.833	183	x	1	183	sf
139	8.333	x	25.458	212	x	1	212	sf
140	8.708	x	10.308	88	x	1	88	sf
141	11.388	x	8.0225	82	x	1	82	sf
142	8.9375	x	7.771	54	x	1	54	sf
145	2.25	x	4.125	8	x	2	16	sf
148	4.708	x	1	8	x	1	8	sf
Total per Building							13,781	sf
Number of Buildings							x	1
Total Building Type A-1 Site Coverage							13,781	sf

Building Type A-1 Coverage (Building #2)								
Area	Dimensions	BF	x	Factor	Total			
1	29.25	x	11.875	347	x	1	347	sf
2	26.75	x	14.25	381	x	1	381	sf
3	5.375	x	6.817	37	x	1	37	sf
4	18.126	x	12.333	224	x	1	224	sf
5	8.708	x	12.375	108	x	1	108	sf
6	5.458	x	3.083	17	x	1	17	sf
7	5.458	x	11.167	81	x	1	81	sf
8	12.208	x	10.75	131	x	1	131	sf
9	18.104	x	14.542	283	x	1	283	sf
10	8.458	x	25.208	213	x	1	213	sf
11	8.083	x	24.708	150	x	1	150	sf
12	17.375	x	25.208	438	x	1	438	sf
13	32.187	x	4	129	x	1	129	sf
14	30.958	x	2	82	x	1	82	sf
15	5.819	x	3.458	20	x	1	20	sf
16	11.542	x	28.417	328	x	1	328	sf
17	18.208	x	5	81	x	1	81	sf
18	10.083	x	18.708	168	x	1	168	sf
19	15.208	x	11.708	178	x	1	178	sf
20	3.282	x	5.458	18	x	1	18	sf
21	8.417	x	21.583	161	x	1	161	sf
22	17.875	x	2	38	x	1	38	sf
23	13.5	x	21.5825	291	x	1	291	sf
24	13	x	4.5	98	x	1	98	sf
25	13.5	x	17.0825	230	x	1	230	sf
26	3.375	x	7.458	25	x	1	25	sf
27	5.375	x	5.5	30	x	1	30	sf
28	6.083	x	0.5	3	x	1	3	sf
29	5	x	0.5	3	x	1	3	sf
30	26.825	x	4.887	124	x	1	124	sf
31	0.5	x	4.5	2	x	1	2	sf
32	8.417	x	7.846	64	x	1	64	sf
33	8.333	x	13.917	118	x	1	118	sf
34	8.817	x	7.458	67	x	1	67	sf
35	12	x	2.792	34	x	1	34	sf
36	26.887	x	8.333	222	x	2	444	sf
37	27.375	x	18.458	505	x	2	1,011	sf
38	3.375	x	5.544	18	x	2	37	sf
39	26.887	x	21.292	568	x	2	1,136	sf
40	4.875	x	18.708	81	x	2	162	sf
41	13.083	x	6	78	x	2	157	sf
42	3.875	x	7.708	30	x	2	60	sf
43	4.875	x	10.817	53	x	2	106	sf
44	4.187	x	24.031	100	x	2	200	sf
45	11.388	x	38.5	438	x	1	438	sf
81	8.9375	x	22.887	157	x	1	157	sf
82	8.78	x	5.9825	84	x	1	84	sf
83	8.825	x	2.804	25	x	1	25	sf
84	14.083	x	30.4375	429	x	1	429	sf
85	33.378	x	3.481	118	x	1	118	sf
88	25.328	x	11.81	298	x	0.8	180	sf
87	8.542	x	23.292	152	x	1	152	sf
88	5.297	x	23.292	123	x	1	123	sf
89	3.885	x	23.292	90	x	1	90	sf
90	8.328	x	24.782	208	x	1	208	sf
91	12.028	x	25.782	310	x	0.5	155	sf
92	24.882	x	25.789	640	x	1	640	sf
93	23.51	x	2	47	x	1	47	sf
94	3.958	x	25.125	99	x	1	99	sf
95	17.875	x	27.125	485	x	1	485	sf
98	13.5	x	25.438	344	x	1	344	sf
97	3.282	x	10.708	35	x	1	35	sf
98	4.122	x	3.417	14	x	1	14	sf
99	10.042	x	7.292	73	x	1	73	sf

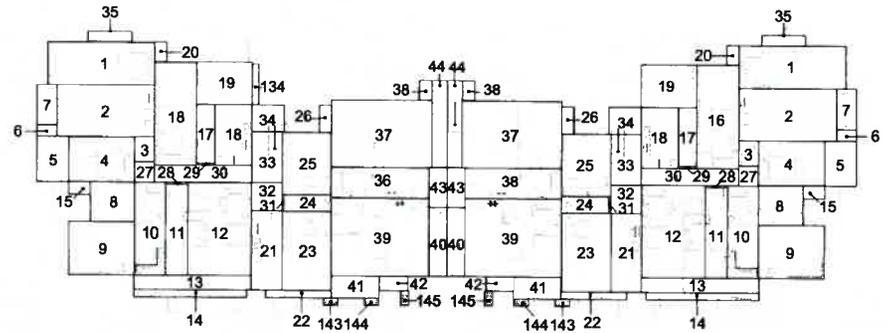
Building Type B Coverage (Building #5, 6, 7)								
Area	Dimensions	BF	x	Factor	Total			
45	17.917	x	28.782	518	x	2	1,032	sf
46	8.292	x	23.917	198	x	2	397	sf
47	3.375	x	5.458	18	x	2	37	sf
48	28.583	x	8.333	222	x	2	443	sf
49	15.75	x	20.917	329	x	2	658	sf
50	11.842	x	18.958	198	x	2	381	sf
51	3.292	x	8.988	29	x	2	58	sf
52	17.333	x	4.875	64	x	2	128	sf
53	9.042	x	4.458	40	x	2	81	sf
54	8.333	x	20.917	174	x	2	348	sf
55	8.817	x	4	38	x	2	71	sf
56	41.708	x	24.208	1,010	x	2	2,019	sf
57	8.458	x	23.208	127	x	2	253	sf
58	26.583	x	24.208	644	x	2	1,287	sf
59	2.782	x	18.333	46	x	1	46	sf
117	3.817	x	1	4	x	2	8	sf
118	10.25	x	0.75	8	x	2	15	sf
119	15.75	x	3.833	80	x	2	121	sf
120	14.958	x	1.75	28	x	2	52	sf
121	1	x	24.25	24	x	2	48	sf
122	21.375	x	5.458	117	x	2	233	sf
123	22.333	x	1.187	26	x	2	52	sf
124	3.833	x	4.083	16	x	2	31	sf
125	8.25	x	8.042	88	x	2	133	sf
133	1.782	x	27.782	334	x	2	667	sf
135	1.782	x	11.782	21	x	1	21	sf
Total Per Building							8,678	sf
Number of Buildings							x	3
Total Building Type B Site Coverage							26,024	sf

Additional Site Coverage (Includes walls and site equipment enclosures)								
Area	Dimensions	BF	x	Factor	Total			
EE 10	x	13.417	134	x	1	134	sf	
FF 10.417	x	21.917	228	x	1	228	sf	
Total Additional Site Coverage							362	sf

Trash Enclosure Coverage						
Area	Dimensions	BF	x	Factor	Total	
DD 12.083	x					

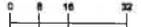


LEVEL 2



LEVEL 1

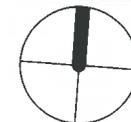
Included in Gross Floor Area:
 Excluded from Gross Floor Area:



BUILDING TYPE A AREA CALCULATIONS (BLDG. #1, 3, 4) A6.2a

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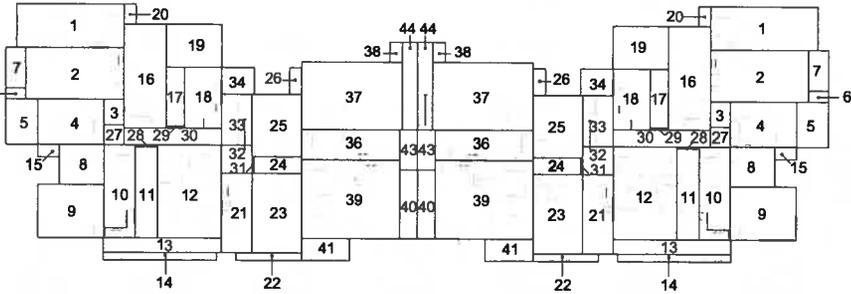
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B49



LEVEL 3

HAMILTON APARTMENTS



Greenheart Land Company
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Building A - Level 1 (Building #1, 3, 4)					
Dwelling Unit Area					
Area	Dimensions	SF	x	Factor	Total
1	29.25 x 11.875	347	x	2	695 sf
2	28.75 x 14.25	381	x	2	762 sf
3	5.375 x 8.917	37	x	2	74 sf
4	16.128 x 12.333	224	x	2	447 sf
5	8.708 x 12.375	108	x	2	215 sf
6	12.208 x 10.75	131	x	2	262 sf
9	16.104 x 14.542	263	x	2	527 sf
10	8.458 x 25.208	213	x	2	426 sf
11	6.083 x 24.708	150	x	2	301 sf
12	17.375 x 25.208	438	x	2	878 sf
13	32.187 x 4	129	x	2	257 sf
14	30.958 x 2	62	x	2	124 sf
16	11.542 x 28.417	328	x	2	656 sf
17	18.208 x 5	81	x	2	162 sf
18	10.083 x 18.708	168	x	2	337 sf
19	15.208 x 11.708	178	x	2	356 sf
21	8.417 x 21.583	181	x	2	363 sf
22	17.875 x 2	36	x	2	72 sf
23	13.5 x 21.5825	291	x	2	582 sf
24	13 x 4.5	59	x	2	117 sf
25	13.5 x 17.0825	230	x	2	461 sf
38	26.867 x 8.333	222	x	2	444 sf
37	27.375 x 18.458	505	x	2	1,011 sf
39	28.867 x 21.292	568	x	2	1,136 sf
40	4.875 x 18.708	91	x	2	182 sf
41	13.083 x 6	78	x	2	157 sf
Total					11,003 sf
Storage					
Area	Dimensions	SF	x	Factor	Total
6	5.458 x 3.083	17	x	2	34 sf
15	5.918 x 3.458	20	x	2	41 sf
20	3.292 x 5.458	18	x	2	36 sf
26	3.375 x 7.458	25	x	2	50 sf
38	3.375 x 5.544	19	x	2	37 sf
Total					188 sf
Decks Contributing to Gross Floor Area					
Area	Dimensions	SF	x	Factor	Total
7	5.458 x 11.187	61	x	2	122 sf
42	3.875 x 7.708	30	x	2	60 sf
Total					182 sf
Circulation					
Area	Dimensions	SF	x	Factor	Total
27	5.375 x 5.5	30	x	2	59 sf
28	6.083 x 0.5	3	x	2	6 sf
29	5 x 0.5	3	x	2	5 sf
30	28.825 x 4.887	124	x	2	249 sf
31	0.5 x 4.5	2	x	2	5 sf
32	8.417 x 7.848	64	x	2	129 sf
33	8.333 x 13.917	116	x	2	232 sf
34	8.917 x 7.458	67	x	2	133 sf
43	4.875 x 10.917	53	x	2	106 sf
44	4.187 x 24.031	100	x	2	200 sf
Total					1,124 sf
Electrical Closet					
Area	Dimensions	SF	x	Factor	Total
35	12 x 3.792	34	x	2	67 sf
134	1.798 x 11.25	20	x	1	20 sf
Total					87 sf
Building A - Level 1 Gross Floor Area					12,893 sf

Building A - Level 2					
Dwelling Unit Area					
Area	Dimensions	SF	x	Factor	Total
1	29.25 x 11.875	347	x	2	695 sf
2	28.75 x 14.25	381	x	2	762 sf
3	5.375 x 8.917	37	x	2	74 sf
4	16.128 x 12.333	224	x	2	447 sf
5	8.708 x 12.375	108	x	2	215 sf
6	12.208 x 10.75	131	x	2	262 sf
9	16.104 x 14.542	263	x	2	527 sf
10	8.458 x 25.208	213	x	2	426 sf
11	6.083 x 24.708	150	x	2	301 sf
12	17.375 x 25.208	438	x	2	878 sf
13	32.187 x 4	129	x	2	257 sf
14	30.958 x 2	62	x	2	124 sf
16	11.542 x 28.417	328	x	2	656 sf
17	18.208 x 5	81	x	2	162 sf
18	10.083 x 18.708	168	x	2	337 sf
19	15.208 x 11.708	178	x	2	356 sf
21	8.417 x 21.583	181	x	2	363 sf
22	17.875 x 2	36	x	2	72 sf
23	13.5 x 21.5825	291	x	2	582 sf
24	13 x 4.5	59	x	2	117 sf
25	13.5 x 17.0825	230	x	2	461 sf
38	26.867 x 8.333	222	x	2	444 sf
37	27.375 x 18.458	505	x	2	1,011 sf
39	28.867 x 21.292	568	x	2	1,136 sf
40	4.875 x 18.708	91	x	2	182 sf
41	13.083 x 6	78	x	2	157 sf
Total					11,003 sf
Storage					
Area	Dimensions	SF	x	Factor	Total
6	5.458 x 3.083	17	x	2	34 sf
15	5.918 x 3.458	20	x	2	41 sf
20	3.292 x 5.458	18	x	2	36 sf
26	3.375 x 7.458	25	x	2	50 sf
38	3.375 x 5.544	19	x	2	37 sf
Total					188 sf
Decks Contributing to Gross Floor Area					
Area	Dimensions	SF	x	Factor	Total
7	5.458 x 11.187	61	x	2	122 sf
42	3.875 x 7.708	30	x	2	60 sf
Total					182 sf
Circulation					
Area	Dimensions	SF	x	Factor	Total
27	5.375 x 8.8	30	x	2	59 sf
28	6.083 x 0.5	3	x	2	6 sf
29	5 x 0.5	3	x	2	5 sf
30	28.825 x 4.887	124	x	2	249 sf
31	0.5 x 4.5	2	x	2	5 sf
32	8.417 x 7.848	64	x	2	129 sf
33	8.333 x 13.917	116	x	2	232 sf
34	8.917 x 7.458	67	x	2	133 sf
43	4.875 x 10.917	53	x	2	106 sf
44	4.187 x 24.031	100	x	2	200 sf
Total					1,124 sf
Building A - Level 2 Gross Floor Area					12,896 sf

Building A - Level 3					
Dwelling Unit Area					
Area	Dimensions	SF	x	Factor	Total
1	29.25 x 11.875	347	x	2	695 sf
2	28.75 x 14.25	381	x	2	762 sf
3	5.375 x 8.917	37	x	2	74 sf
4	16.128 x 12.333	224	x	2	447 sf
5	8.708 x 12.375	108	x	2	215 sf
6	12.208 x 10.75	131	x	2	262 sf
9	16.104 x 14.542	263	x	2	527 sf
10	8.458 x 25.208	213	x	2	426 sf
11	6.083 x 24.708	150	x	2	301 sf
12	17.375 x 25.208	438	x	2	878 sf
13	32.187 x 4	129	x	2	257 sf
14	30.958 x 2	62	x	2	124 sf
16	11.542 x 28.417	328	x	2	656 sf
17	18.208 x 5	81	x	2	162 sf
18	10.083 x 18.708	168	x	2	337 sf
19	15.208 x 11.708	178	x	2	356 sf
21	8.417 x 21.583	181	x	2	363 sf
22	17.875 x 2	36	x	2	72 sf
23	13.5 x 21.5825	291	x	2	582 sf
24	13 x 4.5	59	x	2	117 sf
25	13.5 x 17.0825	230	x	2	461 sf
38	26.867 x 8.333	222	x	2	444 sf
37	27.375 x 18.458	505	x	2	1,011 sf
39	28.867 x 21.292	568	x	2	1,136 sf
40	4.875 x 18.708	91	x	2	182 sf
41	13.083 x 6	78	x	2	157 sf
Total					11,003 sf
Storage					
Area	Dimensions	SF	x	Factor	Total
6	5.458 x 3.083	17	x	2	34 sf
15	5.918 x 3.458	20	x	2	41 sf
20	3.292 x 5.458	18	x	2	36 sf
26	3.375 x 7.458	25	x	2	50 sf
38	3.375 x 5.544	19	x	2	37 sf
Total					188 sf
Decks Contributing to Gross Floor Area					
Area	Dimensions	SF	x	Factor	Total
7	5.458 x 11.187	61	x	2	122 sf
42	3.875 x 7.708	30	x	2	60 sf
Total					182 sf
Circulation					
Area	Dimensions	SF	x	Factor	Total
27	5.375 x 5.5	30	x	2	59 sf
28	6.083 x 0.5	3	x	2	6 sf
29	5 x 0.5	3	x	2	5 sf
30	28.825 x 4.887	124	x	2	249 sf
31	0.5 x 4.5	2	x	2	5 sf
32	8.417 x 7.848	64	x	2	129 sf
33	8.333 x 13.917	116	x	2	232 sf
34	8.917 x 7.458	67	x	2	133 sf
43	4.875 x 10.917	53	x	2	106 sf
44	4.187 x 24.031	100	x	2	200 sf
Total					1,124 sf
Building A - Level 3 Gross Floor Area					12,446 sf

Building A Summary:

Building A Gross Floor Area	
Dwelling Unit Area	33,008 sf
Storage	595 sf
Decks Contributing to Gross Floor Area	485 sf
Circulation	3,371 sf
Electrical Closet	87 sf
Building A Gross Floor Area	37,546 sf

Building A - Excluded from Gross Floor Area					
Level 1 - Non-Occupiable Spaces per Zoning Ordinance 16.04.325(C)(1)					
Area	Dimensions	SF	x	Factor	Total
143	3.958 x 2	8	x	2	16 sf
144	3.958 x 2	8	x	2	16 sf
145	2.25 x 4.125	9	x	2	18 sf
Total					50 sf
Level 2 - Non-Occupiable Spaces per Zoning Ordinance 16.04.325(C)(1)					
Area	Dimensions	SF	x	Factor	Total
143	3.958 x 2	8	x	2	16 sf
144	3.958 x 2	8	x	2	16 sf
145	2.25 x 4.125	9	x	2	18 sf
Total					50 sf
Level 1 - Non-Occupiable Spaces per Zoning Ordinance 16.04.325(C)(1)					
No Exclusions					
Total					0 sf
Total Exclusions Limited to 3% of Maximum Allowed Gross Floor Area*					198 sf
*per Zoning Ordinance 16.04.325(C)(1); see 71.2 for Exclusions Summary					

- NOTES:
- Since this building is symmetrical, area boundaries and numbers have been mirrored along the centerline of the building. Therefore, the area calculation matrix includes a factor of "x2" to account for the symmetry.
 - All areas have been measured to the exterior finish.
 - Covered balcony areas obstructed to the exterior with walls more than 12" in width have been included in the gross floor area calculation.

HAMILTON APARTMENTS



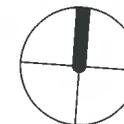
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BUILDING TYPE A AREA CALCULATIONS (BLDG. #1, 3, 4) A6.2b

MENLO PARK, CA

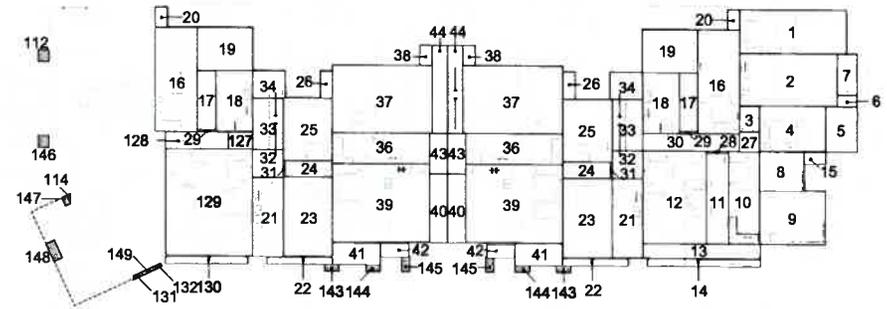
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05.13.2014 Planning Submittal #1

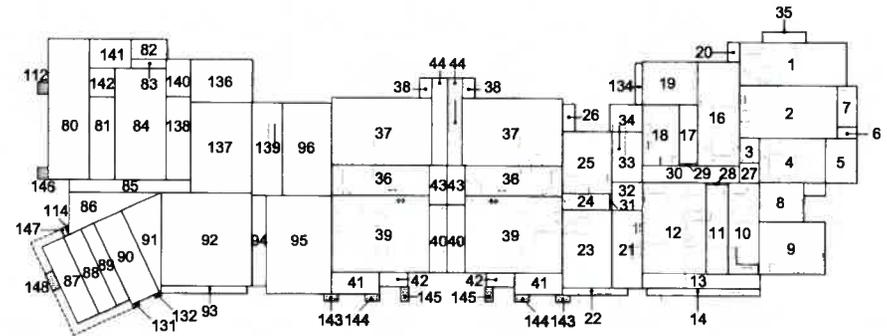


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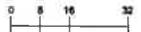


LEVEL 2



LEVEL 1

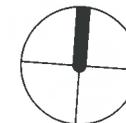
Included in Gross Floor Area: 
 Excluded from Gross Floor Area: 



BUILDING TYPE A-1 AREA CALCULATIONS (BLDG. #2) A6.3a

MENLO PARK, CA
 01/27/16 2013/2014

06.13.2016 Planning Submittal #3



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HAMILTON APARTMENTS



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B5D

Building A-1 - Level 1 (Building #2)								
Dwelling Unit Area								
Area	Dimensions	BF	x	Factor	Total			
1	29.25	x	17.875	347	x	1	347	sf
2	26.25	x	14.25	381	x	1	381	sf
3	3.375	x	8.917	37	x	1	37	sf
8	18.128	x	12.333	224	x	1	224	sf
5	8.706	x	17.375	108	x	1	108	sf
8	12.208	x	10.75	131	x	1	131	sf
9	18.104	x	14.542	263	x	1	263	sf
10	8.458	x	23.208	213	x	1	213	sf
11	8.083	x	24.708	150	x	1	150	sf
12	17.375	x	23.208	438	x	1	438	sf
12	32.167	x	4	129	x	1	129	sf
14	10.858	x	2	62	x	1	62	sf
18	11.542	x	28.417	328	x	1	328	sf
11	16.208	x	2	81	x	1	81	sf
18	10.083	x	18.208	188	x	1	188	sf
19	15.208	x	11.708	178	x	1	178	sf
21	8.817	x	21.963	181	x	1	181	sf
22	17.875	x	2	38	x	1	38	sf
22	13.5	x	21.9625	291	x	1	291	sf
34	13	x	4.5	59	x	1	59	sf
25	13.5	x	17.0625	230	x	1	230	sf
38	26.867	x	8.333	222	x	2	444	sf
21	27.375	x	18.458	505	x	2	1011	sf
38	26.867	x	21.292	568	x	2	1136	sf
80	4.875	x	18.208	91	x	2	182	sf
47	13.083	x	6	78	x	2	157	sf
Total							6,968	sf
Storage								
Area	Dimensions	BF	x	Factor	Total			
6	5.458	x	3.083	17	x	1	17	sf
15	5.919	x	5.458	20	x	1	20	sf
20	3.292	x	5.458	18	x	1	18	sf
28	3.375	x	7.458	25	x	1	25	sf
34	3.375	x	5.544	19	x	2	37	sf
Total							118	sf
Decks Contributing to Gross Floor Area								
Area	Dimensions	BF	x	Factor	Total			
2	5.458	x	11.187	81	x	1	81	sf
42	3.875	x	7.708	30	x	2	60	sf
Total							131	sf

- NOTES:
- Since this building is symmetrical, area boundaries and numbers have been mirrored along the centerline of the building. Therefore, the area calculation matrix includes a factor of "x2" to account for the symmetry.
 - In the amenity space, dimensions are given for the rectangles that contain the right triangle area boundaries and include a factor of "x0.5" to account for the geometry.
 - All areas have been measured to the exterior finish.
 - Covered balcony areas obstructed to the exterior with walls more than 12" in width have been included in the gross floor area calculation.

Amenity Space								
Area	Dimensions	BF	x	Factor	Total			
90	11.396	x	38.5	439	x	1	439	sf
83	6.9375	x	22.867	157	x	1	157	sf
62	9.75	x	5.9825	54	x	1	54	sf
63	9.625	x	2.604	25	x	1	25	sf
64	14.083	x	30.4375	429	x	1	429	sf
63	33.378	x	3.461	118	x	1	118	sf
86	25.328	x	11.81	299	x	0.5	150	sf
83	8.542	x	23.262	162	x	1	162	sf
88	5.267	x	23.262	123	x	1	123	sf
89	3.885	x	23.262	90	x	1	90	sf
90	8.328	x	24.792	208	x	1	208	sf
63	12.026	x	25.782	310	x	0.5	155	sf
62	24.802	x	25.789	640	x	1	640	sf
63	23.51	x	2	47	x	1	47	sf
64	3.896	x	25.125	99	x	1	99	sf
65	17.875	x	27.125	485	x	1	485	sf
66	13.5	x	25.458	344	x	1	344	sf
138	16.875	x	11.708	198	x	1	198	sf
137	16.75	x	24.798	415	x	1	415	sf
138	6.706	x	22.833	153	x	1	153	sf
Total							4,477	sf
Circulation								
Area	Dimensions	BF	x	Factor	Total			
21	3.375	x	5.5	30	x	1	30	sf
28	6.083	x	0.5	3	x	1	3	sf
29	8	x	0.5	3	x	1	3	sf
30	26.625	x	4.867	124	x	1	124	sf
11	0.5	x	4.5	61	x	2	3	sf
32	8.817	x	7.846	64	x	1	64	sf
53	8.333	x	13.917	116	x	1	116	sf
34	8.917	x	7.458	67	x	1	67	sf
83	4.875	x	10.917	53	x	2	106	sf
48	4.167	x	24.031	100	x	2	200	sf
139	8.333	x	25.458	213	x	1	213	sf
140	6.706	x	10.208	88	x	1	88	sf
Total							996	sf
Electrical Closet								
Area	Dimensions	BF	x	Factor	Total			
35	12	x	2.792	34	x	1	34	sf
134	1.792	x	11.25	20	x	1	20	sf
141	11.396	x	8.0825	92	x	1	92	sf
142	6.9375	x	7.771	34	x	1	34	sf
Total							188	sf
Building A-1 - Level 1 Gross Floor Area							12,878	sf

Building A-1 Summary:

Building A-1 Gross Floor Area	
Dwelling Unit Area	27,310 sf
Storage	477 sf
Decks Contributing to Gross Floor Area	283 sf
Amenity Space	4,477 sf
Circulation	3,114 sf
Electrical Closet	198 sf
Building A-1 Gross Floor Area	35,942 sf

Building A-1 - Level 2								
Dwelling Unit Area								
Area	Dimensions	BF	x	Factor	Total			
1	29.25	x	11.875	347	x	1	347	sf
2	26.25	x	14.25	381	x	1	381	sf
3	3.375	x	8.917	37	x	1	37	sf
4	18.128	x	12.333	224	x	1	224	sf
5	8.706	x	17.375	108	x	1	108	sf
8	12.208	x	10.75	131	x	1	131	sf
9	18.104	x	14.542	263	x	1	263	sf
10	8.458	x	23.208	213	x	1	213	sf
11	8.083	x	24.708	150	x	1	150	sf
12	17.375	x	23.208	438	x	1	438	sf
13	32.167	x	4	129	x	1	129	sf
14	10.858	x	2	62	x	1	62	sf
18	11.542	x	28.417	328	x	2	656	sf
17	16.208	x	5	81	x	2	162	sf
18	10.083	x	18.208	188	x	2	377	sf
19	15.208	x	11.708	178	x	2	356	sf
21	8.817	x	21.963	181	x	2	363	sf
22	17.875	x	2	38	x	2	72	sf
23	13.5	x	21.9625	291	x	2	582	sf
34	13	x	4.5	59	x	2	117	sf
25	13.5	x	17.0625	230	x	2	461	sf
29	5	x	0.5	3	x	1	3	sf
38	26.867	x	8.333	222	x	2	444	sf
37	27.375	x	18.458	505	x	2	1011	sf
38	26.867	x	21.292	568	x	2	1136	sf
40	4.875	x	18.208	91	x	2	182	sf
41	13.083	x	6	78	x	2	157	sf
126	17.25	x	4.867	61	x	1	61	sf
129	23.75	x	20.208	94	x	1	94	sf
130	22.542	x	2	45	x	1	45	sf
Total							6,341	sf
Storage								
Area	Dimensions	BF	x	Factor	Total			
6	5.458	x	3.083	17	x	1	17	sf
15	5.919	x	3.458	20	x	1	20	sf
20	3.292	x	5.458	18	x	2	36	sf
28	3.375	x	7.458	25	x	2	50	sf
38	3.375	x	5.544	19	x	2	37	sf
Total							111	sf
Decks Contributing to Gross Floor Area								
Area	Dimensions	BF	x	Factor	Total			
2	5.458	x	11.187	81	x	1	81	sf
42	3.875	x	7.708	30	x	2	60	sf
Total							121	sf
Circulation								
Area	Dimensions	BF	x	Factor	Total			
27	3.375	x	5.5	30	x	1	30	sf
28	6.083	x	0.5	3	x	1	3	sf
29	8	x	0.5	3	x	1	3	sf
30	26.625	x	4.867	124	x	1	124	sf
31	0.5	x	4.5	2	x	2	5	sf
32	8.817	x	7.846	64	x	2	129	sf
33	8.333	x	13.917	116	x	2	232	sf
34	8.917	x	7.458	67	x	2	133	sf
43	4.875	x	10.917	53	x	2	106	sf
44	4.167	x	24.031	100	x	2	200	sf
127	8.583	x	4.867	31	x	1	31	sf
Total							895	sf
Building A-1 - Level 2 Gross Floor Area							16,817	sf

Building A-1 - Level 3								
Dwelling Unit Area								
Area	Dimensions	BF	x	Factor	Total			
1	29.25	x	11.875	347	x	2	695	sf
2	26.25	x	14.25	381	x	2	762	sf
3	3.375	x	8.917	37	x	2	74	sf
8	18.128	x	12.333	224	x	2	447	sf
5	8.706	x	17.375	108	x	2	216	sf
8	12.208	x	10.75	131	x	2	262	sf
9	18.104	x	14.542	263	x	2	527	sf
10	8.458	x	23.208	213	x	2	426	sf
11	8.083	x	24.708	150	x	2	301	sf
12	17.375	x	23.208	438	x	2	876	sf
12	32.167	x	4	129	x	2	257	sf
14	10.858	x	2	62	x	2	124	sf
18	11.542	x	28.417	328	x	2	656	sf
11	16.208	x	2	81	x	2	162	sf
18	10.083	x	18.208	188	x	2	377	sf
19	15.208	x	11.708	178	x	2	356	sf
21	8.817	x	21.963	181	x	2	363	sf
22	17.875	x	2	38	x	2	72	sf
23	13.5	x	21.9625	291	x	2	582	sf
34	13	x	4.5	59	x	2	117	sf
25	13.5	x	17.0625	230	x	2	461	sf
38	26.867	x	8.333	222	x	2	444	sf
21	27.375	x	18.458	505	x	2	1011	sf
38	26.867	x	23.292	568	x	2	1136	sf
80	4.875	x	18.208	91	x	2	182	sf
47	13.083	x	6	78	x	2	157	sf
Total							11,803	sf
Storage								
Area	Dimensions	BF	x	Factor	Total			
6	5.458	x	3.083					

Building A-1 - Excluded from Gross Floor Area						
Level 1 - Non-Occupiable Spaces per Zoning Ordinance 16.04.325(C)(1)						
Area	Dimensions	BF	x	Factor	Total	
112	2.958 x 3.208	9	x	1	9	sf
114	1.167 x 2.5	3	x	1	3	sf
131	1.833 x 1	2	x	1	2	sf
132	1.788 x 1	2	x	1	2	sf
143	3.958 x 2	8	x	2	16	sf
144	3.958 x 2	8	x	2	16	sf
145	2.25 x 4.125	9	x	2	18	sf
146	2.958 x 3.208	9	x	1	9	sf
147	1.469 x 2.5	4	x	1	4	sf
148	2.5 x 5.25	13	x	1	13	sf
Total					93	sf
Level 2 - Non-Occupiable Spaces per Zoning Ordinance 16.04.325(C)(1)						
Area	Dimensions	BF	x	Factor	Total	
112	2.958 x 3.208	9	x	1	9	sf
114	1.167 x 2.5	3	x	1	3	sf
131	1.833 x 1	2	x	1	2	sf
132	1.788 x 1	2	x	1	2	sf
143	3.958 x 2	8	x	2	16	sf
144	3.958 x 2	8	x	2	16	sf
145	2.25 x 4.125	9	x	2	18	sf
146	2.958 x 3.208	9	x	1	9	sf
147	1.469 x 2.5	4	x	1	4	sf
148	2.5 x 5.25	13	x	1	13	sf
149	4.708 x 1	5	x	1	5	sf
Total					87	sf
Level 3 - Non-Occupiable Spaces per Zoning Ordinance 16.04.325(C)(1)						
Area	Dimensions	BF	x	Factor	Total	
No Exclusions						
Total					0	sf
Total Exclusions Limited to 3% of Maximum Allowed Gross Floor Area*						190 sf
<small>*per Zoning Ordinance 16.04.325(C)(1); see 71.2 for Exclusions Summary</small>						

NOTES:
 1. Since this building is symmetrical, area boundaries and numbers have been mirrored along the centerline of the building. Therefore, the area calculation matrix includes a factor of "x2" to account for the symmetry.
 2. In the amenity spaces, dimensions are given for the rectangles that contain the right triangle area boundaries and include a factor of "x0.5" to account for the geometry.
 3. All areas have been measured to the exterior finish.
 4. Covered balcony areas obstructed to the exterior with walls more than 12" in width have been included in the gross floor area calculation.

852

HAMILTON APARTMENTS



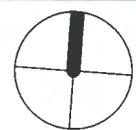
Greenheart Land Company
 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

BUILDING TYPE A-1 AREA CALCULATIONS (BLDG. #2)

A6.3c

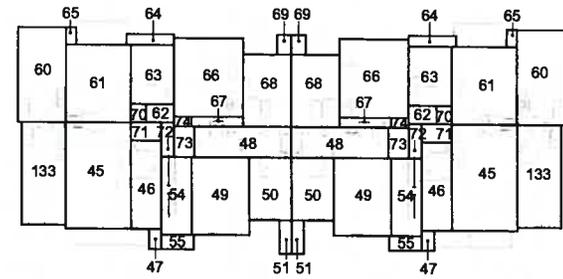
MENLO PARK, CA
 EIR # 2013-4234

05.13.2014 Planning Submittal #2

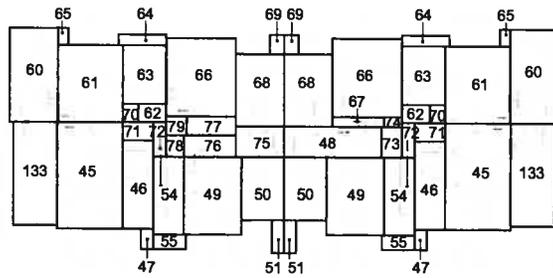


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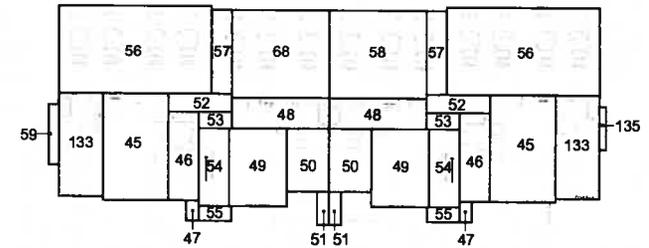




LEVEL 2



LEVEL 3



LEVEL 1

B53

HAMILTON APARTMENTS

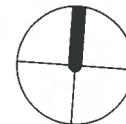


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BUILDING TYPE B AREA CALCULATIONS (BLDG. #5, 6, 7) A6.4a

MENLO PARK, CA
 IIGT # 2013-0254

05.13.2014 Planning Submittal #3



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Building B - Level 1 (Building #5, 6, 7)								
Dwelling Unit Area								
Area	Dimensions	BF	x	Factor	Total			
45	17.917	x	28.792	516	x	2	1,032	sf
46	8.292	x	23.917	198	x	2	397	sf
48	26.583	x	8.333	222	x	2	443	sf
49	15.75	x	20.917	329	x	2	899	sf
50	11.542	x	16.958	198	x	2	397	sf
133	12	x	27.792	334	x	2	867	sf
Total							3,589	sf
Storage								
Area	Dimensions	BF	x	Factor	Total			
47	3.375	x	5.458	18	x	2	37	sf
51	3.292	x	8.958	29	x	2	59	sf
Total							88	sf
Circulation								
Area	Dimensions	BF	x	Factor	Total			
53	17.333	x	4.875	84	x	2	160	sf
53	9.042	x	5.458	40	x	2	81	sf
34	8.333	x	20.417	174	x	2	349	sf
53	8.917	x	8	36	x	2	71	sf
Total							670	sf
Electrical Closet								
Area	Dimensions	BF	x	Factor	Total			
39	2.782	x	18.233	46	x	1	46	sf
133	1.792	x	11.782	21	x	1	71	sf
Total							47	sf
Building B - Level 1 Gross Floor Area								
						4,421	sf	

Building B - Level 2								
Dwelling Unit Area								
Area	Dimensions	BF	x	Factor	Total			
63	17.917	x	28.792	516	x	2	1,032	sf
48	8.292	x	23.917	198	x	2	397	sf
48	26.583	x	8.333	222	x	2	446	sf
49	15.75	x	20.417	329	x	2	859	sf
30	11.542	x	16.958	198	x	2	397	sf
60	11.187	x	25.958	342	x	2	684	sf
61	11.25	x	23.292	378	x	2	159	sf
62	7.825	x	4.958	38	x	2	16	sf
63	11.782	x	14.25	192	x	2	383	sf
64	13	x	3.917	38	x	2	26	sf
68	16.958	x	21.5	408	x	2	415	sf
63	14.125	x	2.708	38	x	2	17	sf
68	13.167	x	19.833	261	x	2	522	sf
133	13	x	27.782	334	x	2	967	sf
Total							4,477	sf
Storage								
Area	Dimensions	BF	x	Factor	Total			
47	3.375	x	5.458	18	x	2	37	sf
21	5.297	x	4.958	29	x	2	38	sf
63	2.782	x	4.987	13	x	2	26	sf
69	2.917	x	5.375	21	x	2	47	sf
Total							768	sf
Circulation								
Area	Dimensions	BF	x	Factor	Total			
34	8.333	x	20.917	174	x	2	344	sf
39	8.917	x	8	36	x	2	71	sf
20	4.187	x	4.958	21	x	2	81	sf
21	8.292	x	4.958	41	x	2	82	sf
12	5.5	x	8.917	33	x	2	66	sf
21	5.542	x	8.333	46	x	2	92	sf
14	8.833	x	2.708	13	x	2	26	sf
Total							728	sf
Building B - Level 2 Gross Floor Area								
						7,858	sf	

Building B - Level 3								
Dwelling Unit Area								
Area	Dimensions	BF	x	Factor	Total			
63	17.917	x	28.792	516	x	2	1,032	sf
69	8.389	x	23.917	198	x	2	397	sf
48	26.583	x	8.333	222	x	1	222	sf
48	16.75	x	20.917	229	x	2	439	sf
30	11.542	x	16.958	198	x	2	391	sf
60	13.167	x	25.958	342	x	2	684	sf
61	17.75	x	21.292	378	x	2	756	sf
62	7.825	x	4.958	38	x	2	26	sf
63	11.782	x	16.25	192	x	2	383	sf
64	13	x	3.917	38	x	2	26	sf
68	16.958	x	21.5	408	x	2	816	sf
61	14.125	x	2.708	38	x	1	38	sf
68	13.167	x	19.833	261	x	2	522	sf
15	11.187	x	8.333	110	x	1	110	sf
16	14.125	x	5.875	83	x	1	83	sf
21	17.917	x	5.167	86	x	1	86	sf
133	13	x	27.792	334	x	2	967	sf
Total							6,979	sf
Storage								
Area	Dimensions	BF	x	Factor	Total			
47	3.375	x	5.458	18	x	2	37	sf
21	3.292	x	4.958	29	x	2	56	sf
63	2.782	x	4.987	13	x	2	26	sf
69	2.917	x	3.375	21	x	2	42	sf
Total							768	sf
Circulation								
Area	Dimensions	BF	x	Factor	Total			
48	8.333	x	20.917	174	x	2	349	sf
39	8.917	x	8	36	x	2	71	sf
10	4.187	x	4.958	21	x	2	81	sf
11	8.292	x	4.958	41	x	2	82	sf
12	5.5	x	8.917	33	x	2	66	sf
21	5.542	x	8.333	46	x	1	46	sf
14	4.837	x	2.708	13	x	1	13	sf
18	4.837	x	3.875	26	x	1	26	sf
19	5.542	x	5.167	29	x	1	29	sf
Total							728	sf
Building B - Level 3 Gross Floor Area								
						7,868	sf	

Building B Summary:

Building B Gross Floor Area	
Dwelling Unit Area	17,545 sf
Storage	424 sf
Circulation	2,123 sf
Electrical Closet	87 sf
Building B Gross Floor Area	20,189 sf

Building B - Excluded From Gross Floor Area								
Garage - Level 1 <small>per Zoning Ordinance 16.04.32a(C)(3)</small>								
Area	Dimensions	BF	x	Factor	Total			
38	41.708	x	24.208	1,010	x	2	2,019	sf
53	5.458	x	23.208	127	x	2	253	sf
38	26.583	x	24.208	644	x	2	1,287	sf
Total							3,559	sf
Building B - Excluded From Gross Floor Area								
						3,559	sf	

NOTES:
 1. Since this building is symmetrical, area boundaries and numbers have been mirrored along the centerline of the building. Therefore, the area calculation matrix includes a factor of "x2" to account for the symmetry.
 2. All areas have been measured to the exterior finish.
 3. Covered balcony areas obstructed to the exterior with walls more than 12" in width have been included in the gross floor area calculation.

HAMILTON APARTMENTS

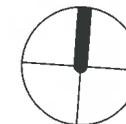


Greenheart Land Company
 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

BUILDING TYPE B AREA CALCULATIONS (BLDG. #5, 6, 7) A6.4b

MENLO PARK, CA
 07/17/2014

#13.2814 Planning Submittal #3



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South Elevation (Front)			
Siding	2205	sf	28%
Stucco	3041	sf	40%
Windows / Doors	1845	sf	23%
Total	7090	sf	100%

North Elevation (Back)			
Siding	1928	sf	28%
Stucco	3834	sf	52%
Windows / Doors	1690	sf	22%
Total	7551	sf	100%

West Elevation			
Siding	528	sf	21%
Stucco	1430	sf	57%
Windows / Doors	564	sf	22%
Total	2528	sf	100%

East Elevation			
Siding	528	sf	21%
Stucco	1430	sf	57%
Windows / Doors	564	sf	22%
Total	2828	sf	100%



West Elevation



South (Front) Elevation



East Elevation



North (Back) Elevation

B5h

HAMILTON APARTMENTS



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Palo Alto, CA 94303
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STUCCO PERCENTAGE EXHIBIT BUILDING #1 & 4

MENLO PARK, CA

EST # 2013-0254

04.09.2014 Planning Submittal #3

0 8 16 32

A6.5

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Oakland, CA 94607
510.272.2910
ktgy.com





West Elevation



South (Front) Elevation

South Elevation (Front)			
Siding	1272	sf	16%
Stucco	4670	sf	59%
Windows / Doors	2055	sf	26%
Total	7997	sf	100%

North Elevation (Back)			
Siding	1087	sf	20%
Stucco	3785	sf	50%
Windows / Doors	1744	sf	23%
Total	7328	sf	100%

West Elevation			
Siding	480	sf	18%
Stucco	1023	sf	30%
Windows / Doors	1140	sf	43%
Total	2643	sf	100%

East Elevation			
Siding	747	sf	30%
Stucco	1208	sf	48%
Windows / Doors	564	sf	22%
Total	2529	sf	100%



East Elevation



North (Back) Elevation

B56

HAMILTON APARTMENTS



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STUCCO PERCENTAGE EXHIBIT BUILDING #2

MENLO PARK, CA

KTGY # 2013-0254

05.13.2014 Planning Submittal #1



A6.6

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Oakland, CA 94607
510.272.2910
ktgy.com





West Elevation



South (Front) Elevation

South Elevation (Front)			
Sliding	1252	sf	16%
Stucco	4937	sf	61%
Windows / Doors	1945	sf	23%
Total	8034	sf	100%

North Elevation (Back)			
Sliding	1228	sf	26%
Stucco	3834	sf	62%
Windows / Doors	1690	sf	22%
Total	7681	sf	100%

West Elevation			
Sliding	747	sf	30%
Stucco	1208	sf	48%
Windows / Doors	564	sf	22%
Total	2820	sf	100%

East Elevation			
Sliding	747	sf	30%
Stucco	1208	sf	48%
Windows / Doors	564	sf	22%
Total	2820	sf	100%



East Elevation



North (Back) Elevation

157

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Palo Alto, CA 94303
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STUCCO PERCENTAGE EXHIBIT BUILDING #3

MENLO PARK, CA

CGI # 2013-0254

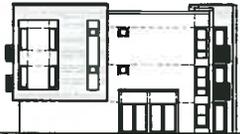
04.09.2014 Planning Submittal #3

0 8 16 32

A6.7

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580 Second St., Suite 200
Oakland, CA 94607
510.272.2910
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West Elevation



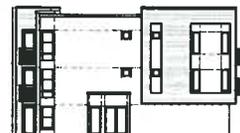
South (Front) Elevation

South Elevation (Front)			
Sliding	869	sf	19%
Stucco	2678	sf	59%
Windows / Doors	1365	sf	29%
Total	4911	sf	100%

North Elevation (Back)			
Sliding	647	sf	13%
Stucco	2670	sf	52%
Windows / Doors	1833	sf	38%
Total	5150	sf	100%

West Elevation			
Sliding	568	sf	27%
Stucco	1185	sf	57%
Windows / Doors	323	sf	16%
Total	2076	sf	100%

East Elevation			
Sliding	568	sf	27%
Stucco	1222	sf	59%
Windows / Doors	288	sf	14%
Total	2078	sf	100%



East Elevation



North (Back) Elevation

B58

HAMILTON APARTMENTS



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Palo Alto, CA 94303
650.681.9334

STUCCO PERCENTAGE EXHIBIT BUILDING #5, 6, & 7

MENLO PARK, CA

DTG # 2013-0254

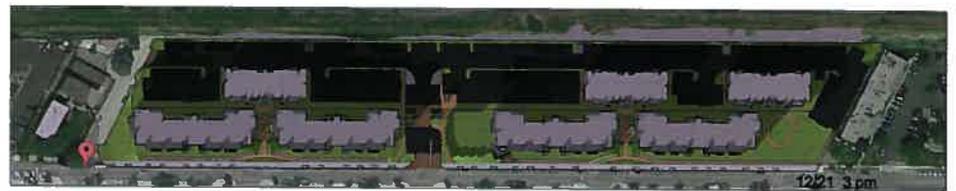
04.01.2014 Planning Submittal #2

0 8 16 32

A6.8

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580 Second St., Suite 200
Oakland, CA 94607
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B59



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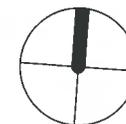


Greenheart Land Company
941 East Charleston Road
Palo Alto, CA 94303
650.681.9334

SITE PLAN : SHADOW STUDY

MENLO PARK, CA
DGR # 2013-0254

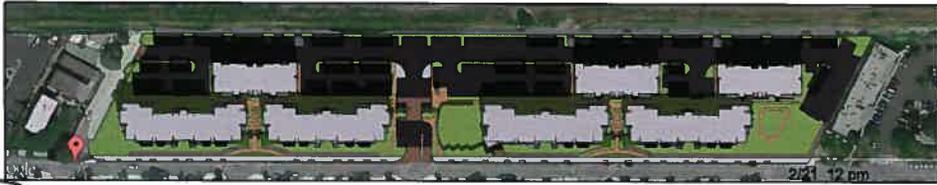
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A6.9a



B6D

HAMILTON APARTMENTS



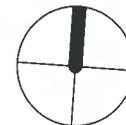
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941 East Charleston Road
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SITE PLAN : SHADOW STUDY

MENLO PARK, CA

TRCF # 2013-0254

05.13.2014 Planning Submittal #3



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A6.9b



Hamilton Avenue View



Project Entry Driveway



Amenity Space Entry



Building Courtyard View

HAMILTON APARTMENTS



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CONCEPTUAL PERSPECTIVES

MENLO PARK, CA

ITR # 2013-0214

05.11.2014 Planning Submittal #3

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A7.0

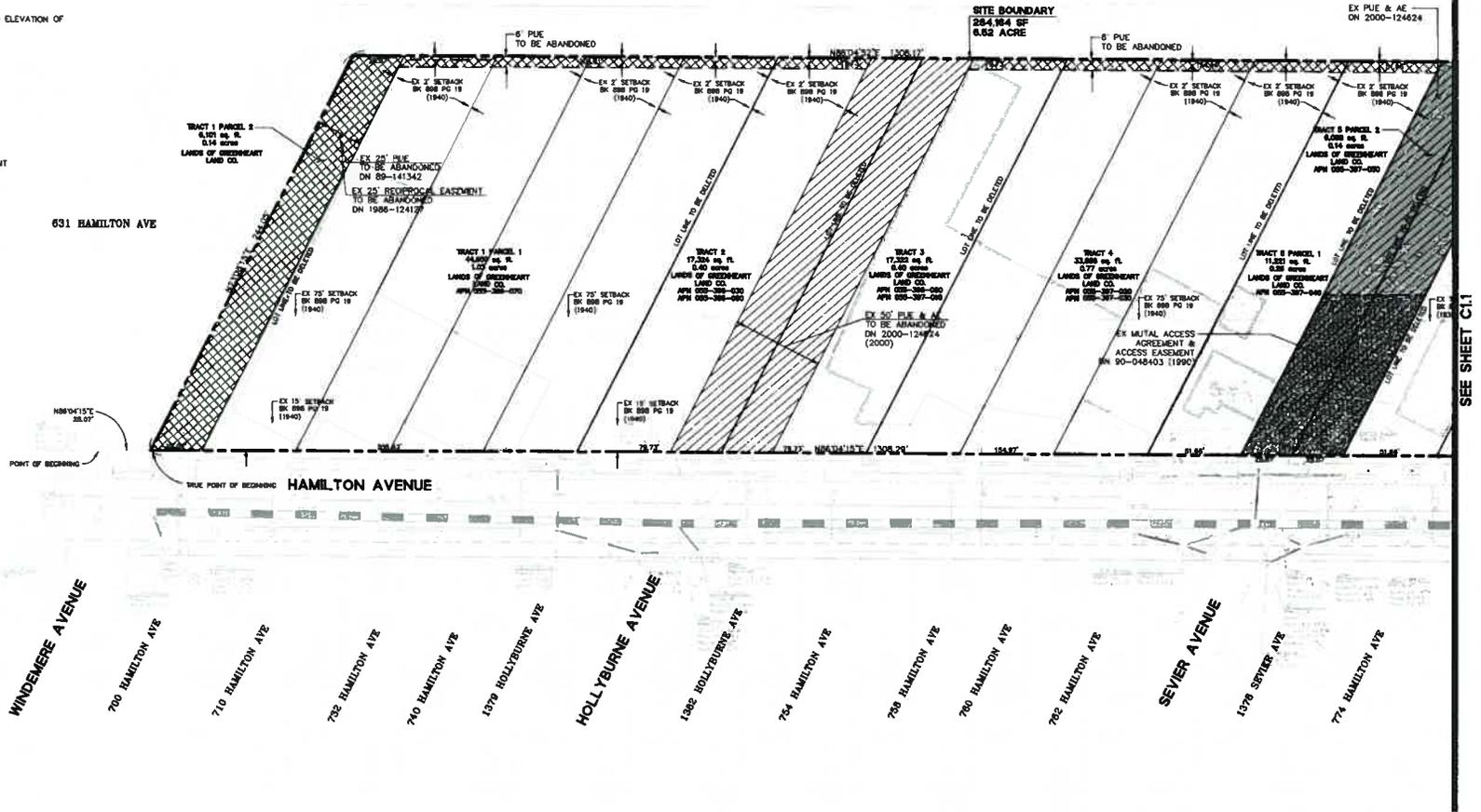
NOTES:

1. **TOPOGRAPHIC SURVEY.** EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A FIELD SURVEY BY BKF ENGINEERS DATED AUGUST 2013.
2. **BENCHMARK STATEMENT.** A FOUND BRONZE DISK SET IN THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE (CITY BM #2).
ELEVATION = 7.50 FEET
DATUM = HAVD 88
3. A VERTICAL CONVERSION OF +2.70 FEET WAS APPLIED TO THE RECORD ELEVATION OF CITY BM #2 IN ORDER TO CONVERT FROM HAVD 29 TO HAVD 88.
3. DATUM FOR THIS PROJECT IS HAVD 1988.
4. ALL EXISTING BUILDINGS TO BE DEMOLISHED

EASEMENT LEGEND:

-  EXISTING PUE & EMERGENCY ACCESS EASEMENT
-  EXISTING MUTUAL ACCESS AGREEMENT & ACCESS EASEMENT
-  EXISTING PUE & ACCESS EASEMENT
-  EXISTING PUE
-  EXISTING RECIPROCAL EASEMENT

DUMBARTON RAILWAY



B62

SEE SHEET C11

HAMILTON APARTMENTS



Greenheart Land Company
941 East Charleston Road
Palo Alto, CA 94303
650.681.9334

EXISTING CONDITIONS PLAN

MENLO PARK, CA

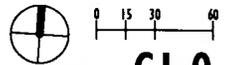
02/11/2014
02/11/2015

14.01.20 (4 Planning Submittal #1)



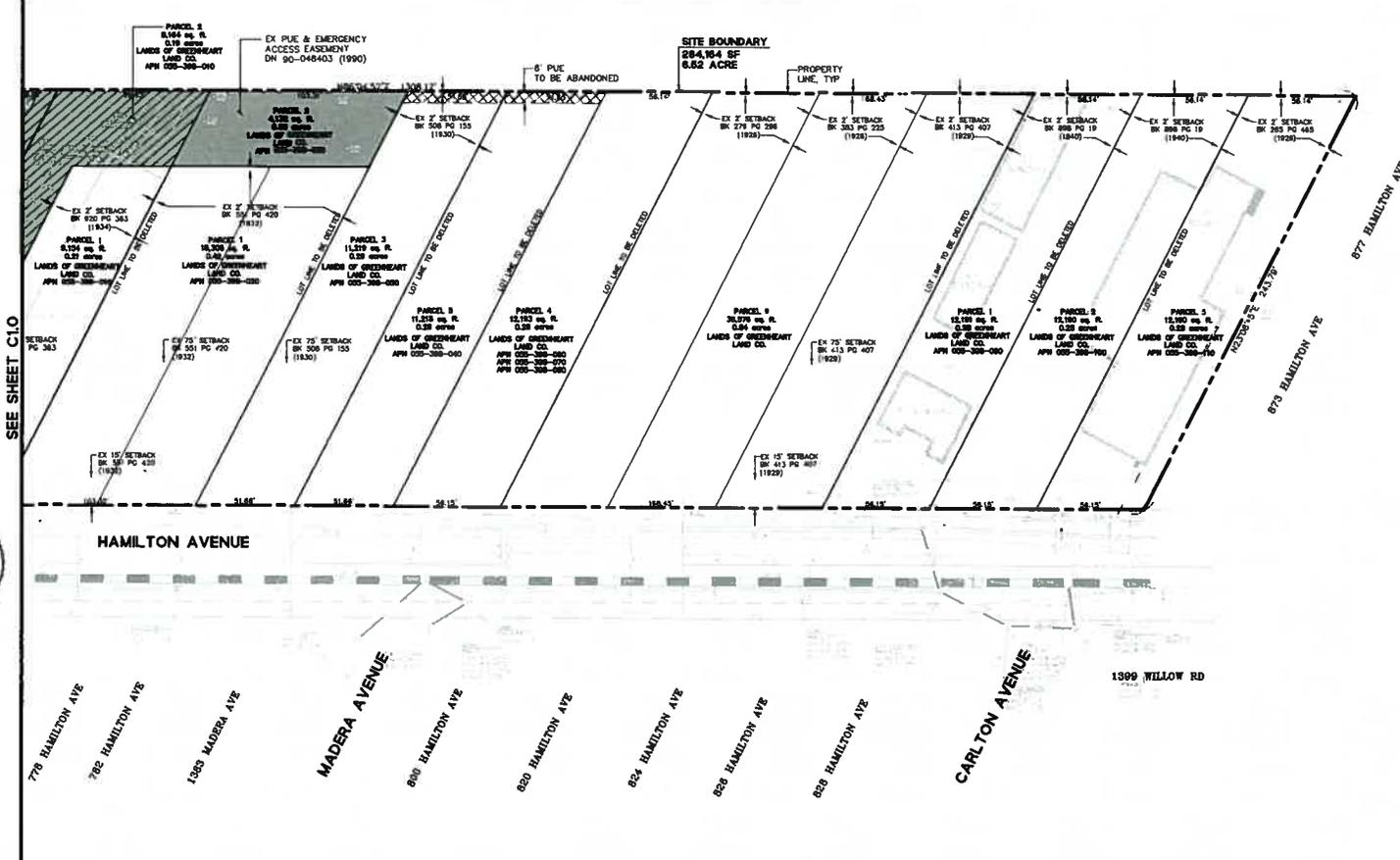
Business/Surveyors/Planners
255 SHORELINE DR. SUITE 200
REDWOOD CITY, CA 94065
650-482-6300
650-482-6399 (FAX)

KTGY Group, Inc.
Architecture+Planning
580 Second St., Suite 200
Oakland, CA 94607
510.272.2910
ktgy.com



C1.0

DUMBARTON RAILWAY



NOTES:

1. **TOPOGRAPHIC SURVEY:** EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED ON A FIELD SURVEY BY BKF ENGINEERS DATED AUGUST 2013.
2. **BENCHMARK STATEMENT:** A FOUND BRONZE DISK SET IN THE TOP OF A CONCRETE CURB AT THE EASTERLY CURB RETURN OF THE SOUTHERLY CURB LINE OF CONSTITUTION DRIVE, EASTERLY OF JEFFERSON DRIVE (CITY BM #2).
ELEVATION = 7.50 FEET
DATUM = NAVD 88
3. A VERTICAL CONVERSION OF +2.70 FEET WAS APPLIED TO THE RECORD ELEVATION OF CITY BM #2 IN ORDER TO CONVERT FROM NGVD 29 TO NAVD 88.
3. DATUM FOR THIS PROJECT IS NAVD 1988.
4. ALL EXISTING BUILDINGS TO BE DEMOLISHED.

EASEMENT LEGEND:

- EXISTING PUE & EMERGENCY ACCESS EASEMENT
- EXISTING MUTUAL ACCESS AGREEMENT & ACCESS EASEMENT
- EXISTING PUE & ACCESS EASEMENT
- EXISTING PUE
- EXISTING RECIPROCAL EASEMENT

888

HAMILTON APARTMENTS



Greenheart Land Company
941 East Charleston Road
Palo Alto, CA 94303
650.681.9334

EXISTING CONDITIONS PLAN

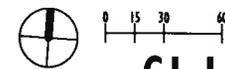
MENLO PARK, CA

ENR # 2013-0254
009 # 20120225

04.09.2014 Planning Submittal #7



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Architecture+Planning
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Oakland, CA 94607
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CI.I

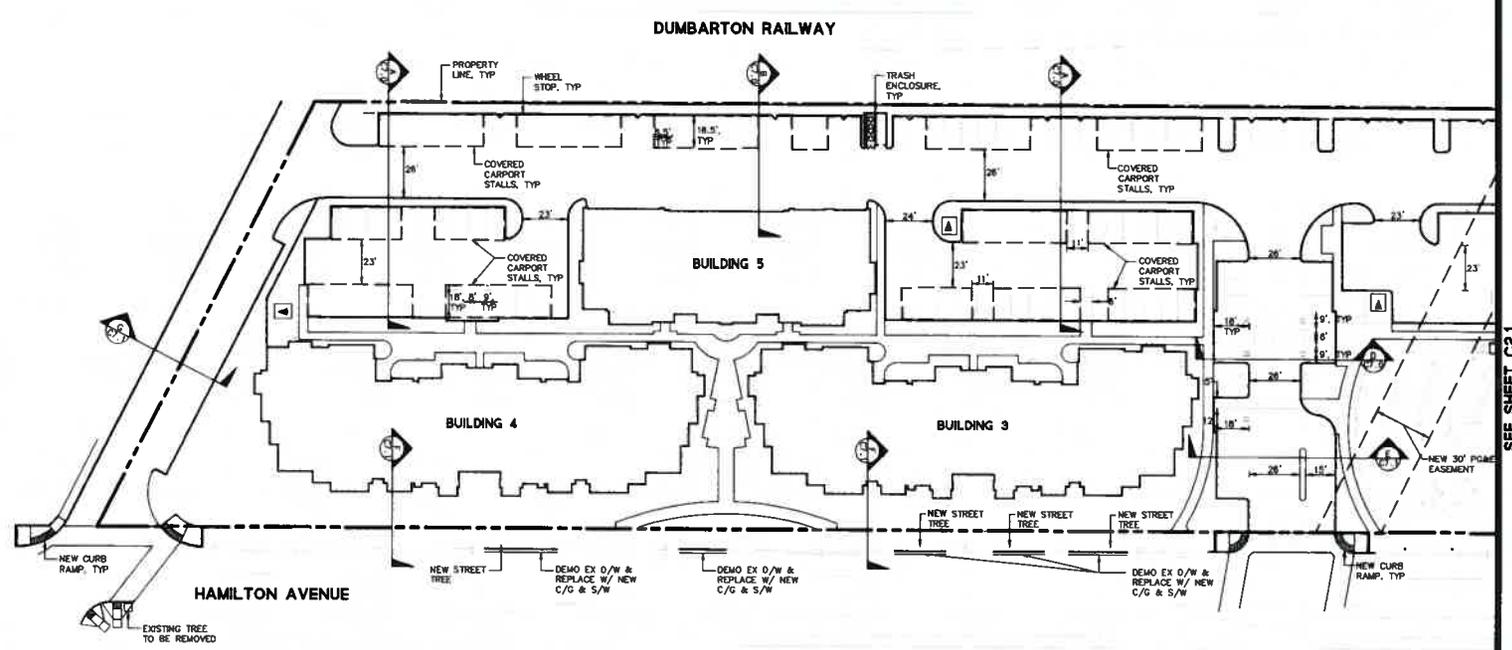


B64

WINDEMERE AVENUE

HOLLYBURNE AVENUE

SEVIER AVENUE



- NOTES:**
1. AN ENCHROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.
 2. EXISTING PROJECT FRONTAGE ON THE NORTH SIDE OF HAMILTON AVENUE SHALL BE REMOVED AND REPLACED IN KIND IF CRACKED, DEPRESSED, UPLIFTED, OR OTHERWISE DAMAGED.
 3. NEW ACCESSIBLE RAMPS SHOWN AND EXISTING ACCESSIBLE RAMPS ON THE NORTH SIDE OF HAMILTON AVENUE ALONG THE PROJECT FRONTAGE SHALL BE ADA COMPLIANT.

SEE SHEET C2.1

HAMILTON APARTMENTS



Greenheart Land Company
 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

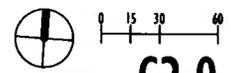
SITE PLAN

MENLO PARK, CA
 STY # 2013-0214
 RES # 20130225

05.12.2014 Planning Submittal #3

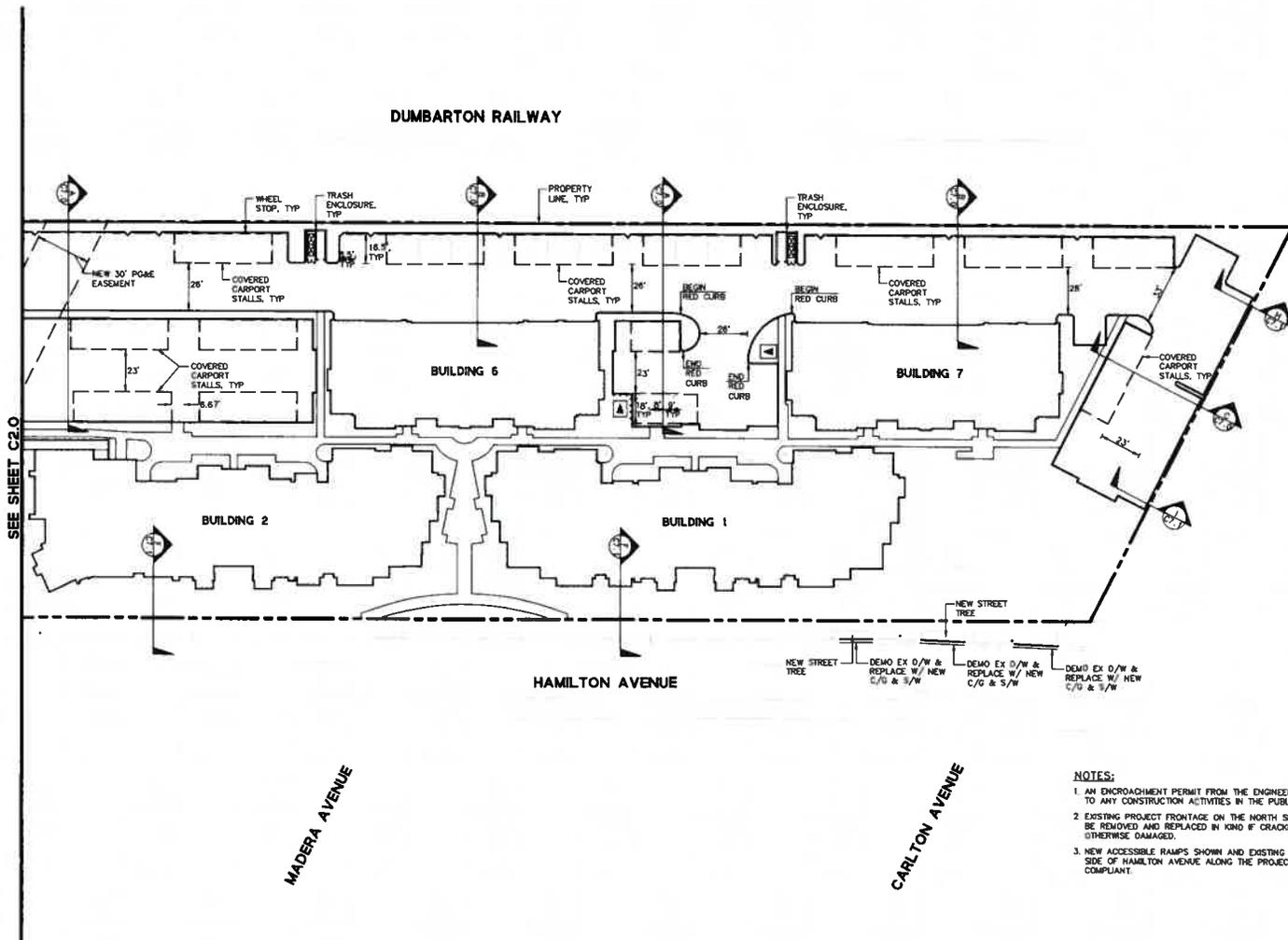


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Architecture+Planning
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 Oakland, CA 94607
 510.272.2910
 ktgy.com



C2.0

B65



- NOTES:**
1. AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY.
 2. EXISTING PROJECT FRONTAGE ON THE NORTH SIDE OF HAMILTON AVENUE SHALL BE REMOVED AND REPLACED IN KIND IF CRACKED, DEPRESSED, UPLIFTED, OR OTHERWISE DAMAGED.
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HAMILTON APARTMENTS



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 650.681.9334

SITE PLAN

MENLO PARK, CA

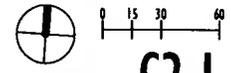
DSG # 2013-0254
 DSJ # 20120225

03.13.2014 Planning Submittal #3



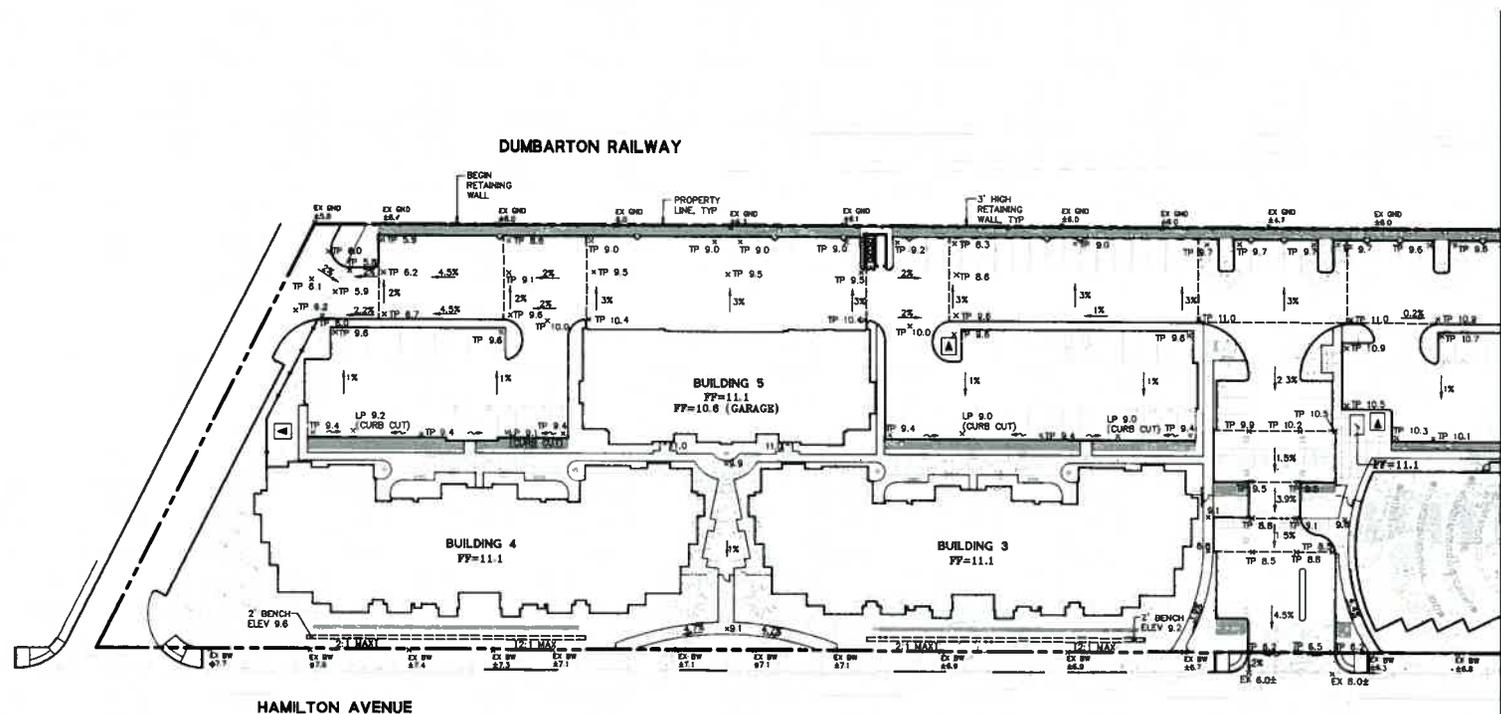
Business/Owners/Planners
 255 SHORELINE DR, SUITE 200
 REDWOOD CITY, CA 94065
 650-482-6300
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 510.272.2910
 ktgy.com



C2.1

B66



SEE SHEET C3.1

NOTES:
 1. PROJECT SITE IS WITHIN FLOOD ZONE DESIGNATION AE. BASE FLOOD ELEVATION FOR THIS AREA IS 10.3 FEET (NAVD 1988).

WINDEMERE AVENUE

HOLLBURN AVENUE

SEVIER AVENUE

HAMILTON APARTMENTS



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 Palo Alto, CA 94303
 650.681.9334

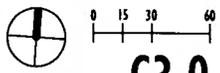
PRELIMINARY GRADING AND DRAINAGE PLAN

MENLO PARK, CA
 EXD # 20134254
 REF # 20130225

05.12.2014 Planning Submittal #3

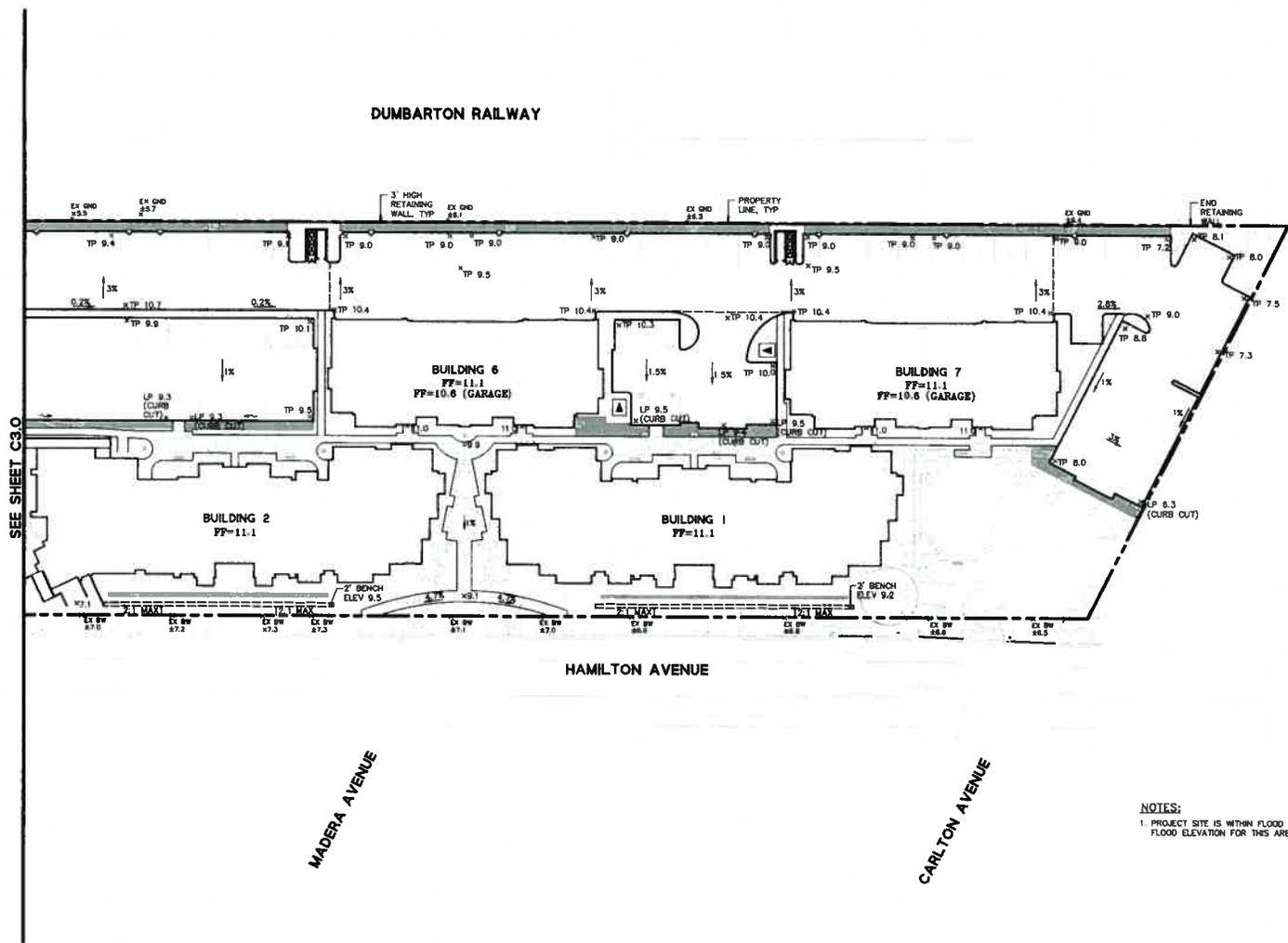


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 580 Second St., Suite 200
 Oakland, CA 94607
 510.272.2910
 ktgy.com



C3.0

B67



SEE SHEET C3.0

NOTES:
 1. PROJECT SITE IS WITHIN FLOOD ZONE DESIGNATION AE (BASE FLOOD ELEVATION FOR THIS AREA IS 10.3 FEET (NAVD 1988)).

HAMILTON APARTMENTS



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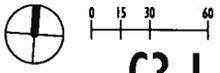
PRELIMINARY GRADING AND DRAINAGE PLAN

MENLO PARK, CA
 ENG # 201-4254
 SEE # 2010225

PL 03.2014 Planning Submittal #1



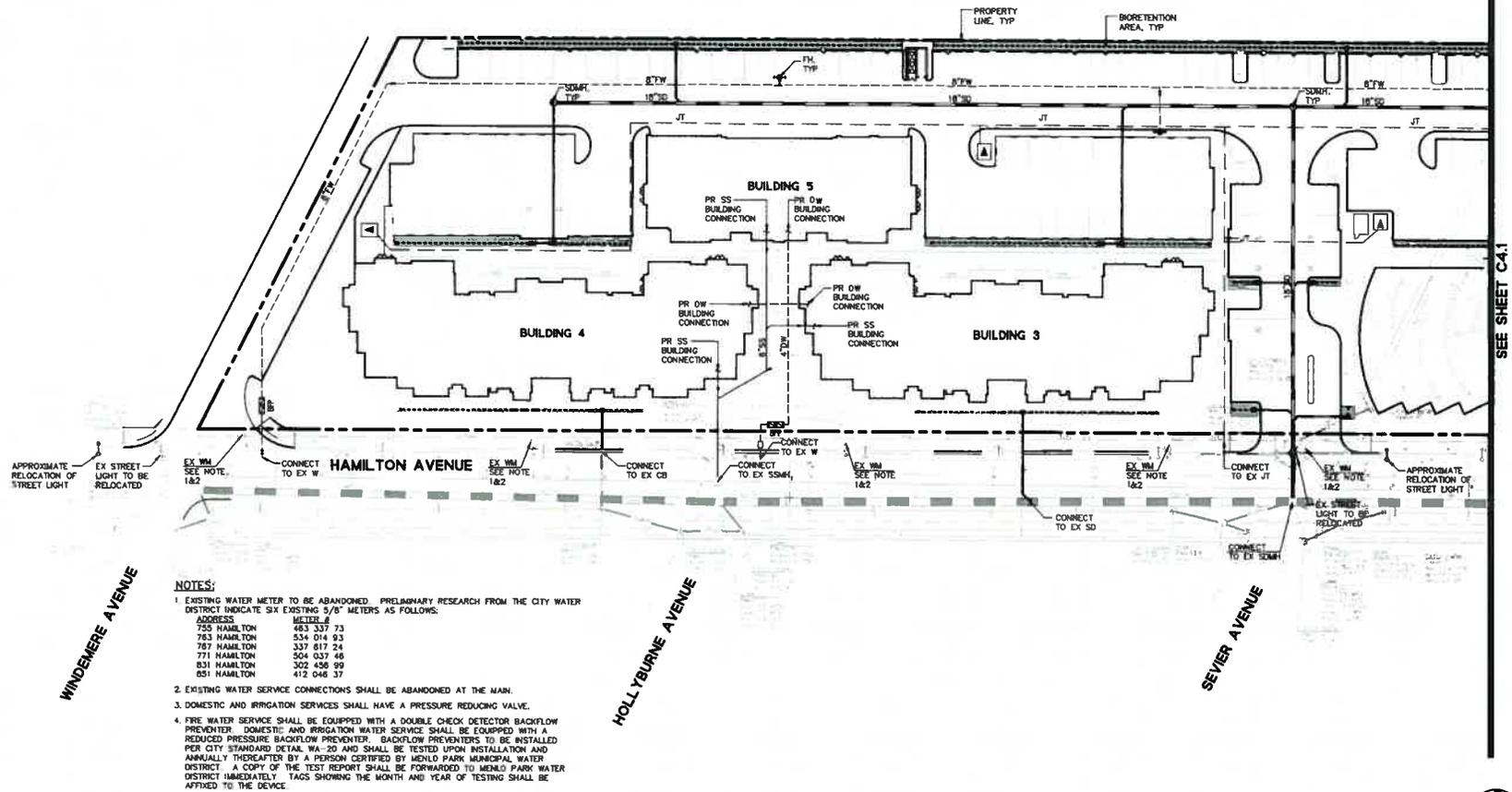
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C3.1



DUMBARTON RAILWAY



898

- NOTES:**
- EXISTING WATER METER TO BE ABANDONED. PRELIMINARY RESEARCH FROM THE CITY WATER DISTRICT INDICATE SIX EXISTING 5/8" METERS AS FOLLOWS:

ADDRESS	METER #
755 HAMILTON	463 337 73
763 HAMILTON	534 014 93
767 HAMILTON	337 817 24
771 HAMILTON	504 037 46
831 HAMILTON	302 458 99
851 HAMILTON	412 046 37
 - EXISTING WATER SERVICE CONNECTIONS SHALL BE ABANDONED AT THE MAIN.
 - DOMESTIC AND IRRIGATION SERVICES SHALL HAVE A PRESSURE REDUCING VALVE.
 - FIRE WATER SERVICE SHALL BE EQUIPPED WITH A DOUBLE CHECK DETECTOR BACKFLOW PREVENTER. DOMESTIC AND IRRIGATION WATER SERVICE SHALL BE EQUIPPED WITH A REDUCED PRESSURE BACKFLOW PREVENTER. BACKFLOW PREVENTERS TO BE INSTALLED PER CITY STANDARD DETAIL WA-20 AND SHALL BE TESTED UPON INSTALLATION AND ANNUALLY THEREAFTER BY A PERSON CERTIFIED BY MENLO PARK MUNICIPAL WATER DISTRICT. A COPY OF THE TEST REPORT SHALL BE FORWARDED TO MENLO PARK WATER DISTRICT IMMEDIATELY. TAGS SHOWING THE MONTH AND YEAR OF TESTING SHALL BE AFFIXED TO THE DEVICE.

HAMILTON APARTMENTS



Greenheart Land Company
941 East Charleston Road
Palo Alto, CA 94303
650.681.9334

PRELIMINARY UTILITY PLAN

MENLO PARK, CA

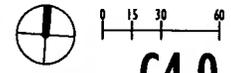
0107 # 2013-0254
001 # 20120225

01.11.2014 Planning Submittal #3



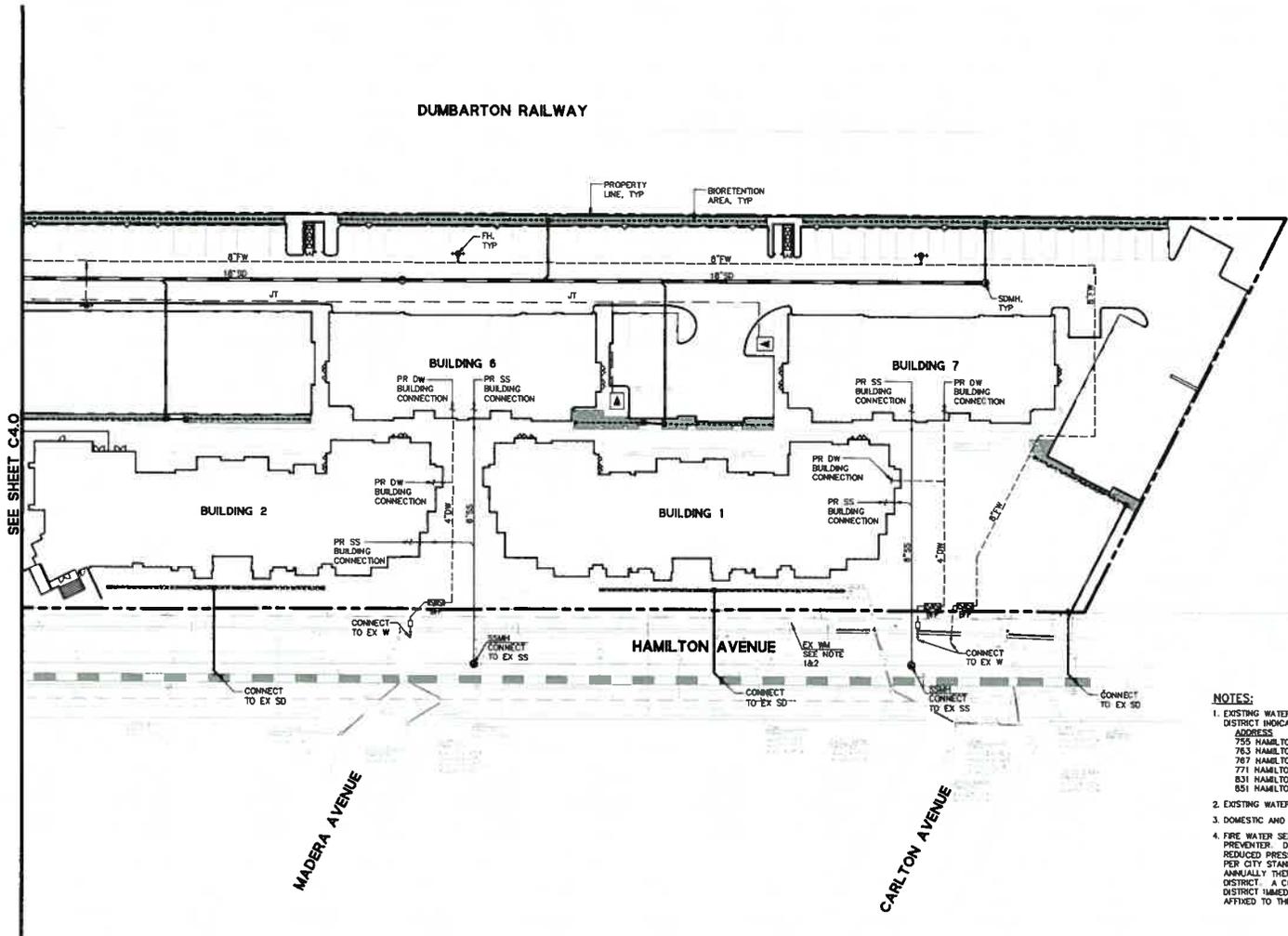
Business/Owners/Planners
255 SHORELINE DR. SUITE 200
REDBOOD CITY, CA 94068
650-482-6300
650-482-6399 (FAX)

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580 Second St., Suite 200
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ktgy.com



C4.0

SEE SHEET C4.1



699

SEE SHEET C-4.0

NOTES:

- EXISTING WATER METER TO BE ABANDONED. PRELIMINARY RESEARCH FROM THE CITY WATER DISTRICT INDICATE SIX EXISTING 5/8" METERS AS FOLLOWS:

ADDRESS	METER #
755 HAMILTON	483 337 73
763 HAMILTON	534 014 93
767 HAMILTON	337 617 24
771 HAMILTON	504 037 46
831 HAMILTON	302 458 89
851 HAMILTON	412 048 37
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- FIRE WATER SERVICE SHALL BE EQUIPPED WITH A DOUBLE CHECK DETECTOR BACKFLOW PREVENTER. DOMESTIC AND IRRIGATION WATER SERVICE SHALL BE EQUIPPED WITH A REDUCED PRESSURE BACKFLOW PREVENTER. BACKFLOW PREVENTERS TO BE INSTALLED PER CITY STANDARD DETAIL WA-20 AND SHALL BE TESTED UPON INSTALLATION AND ANNUALLY THEREAFTER BY A PERSON CERTIFIED BY MENLO PARK MUNICIPAL WATER DISTRICT. A COPY OF THE TEST REPORT SHALL BE FORWARDED TO MENLO PARK WATER DISTRICT IMMEDIATELY. TAGS SHOWING THE MONTH AND YEAR OF TESTING SHALL BE AFFIXED TO THE DEVICE.

HAMILTON APARTMENTS



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 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

PRELIMINARY UTILITY PLAN

MENLO PARK, CA

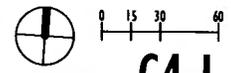
SYT # 2013-0254
 SEE # 20170215

01.13.2014 Planning Submittal #1



Business/Developers/Planners
 255 SHORELINE DR. SUITE 200
 REDWOOD CITY, CA 94065
 650-482-6300
 650-482-6399 (FAX)

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 Architecture+Planning
 580 Second St., Suite 200
 Oakland, CA 94607
 510.272.2910
 ktgy.com



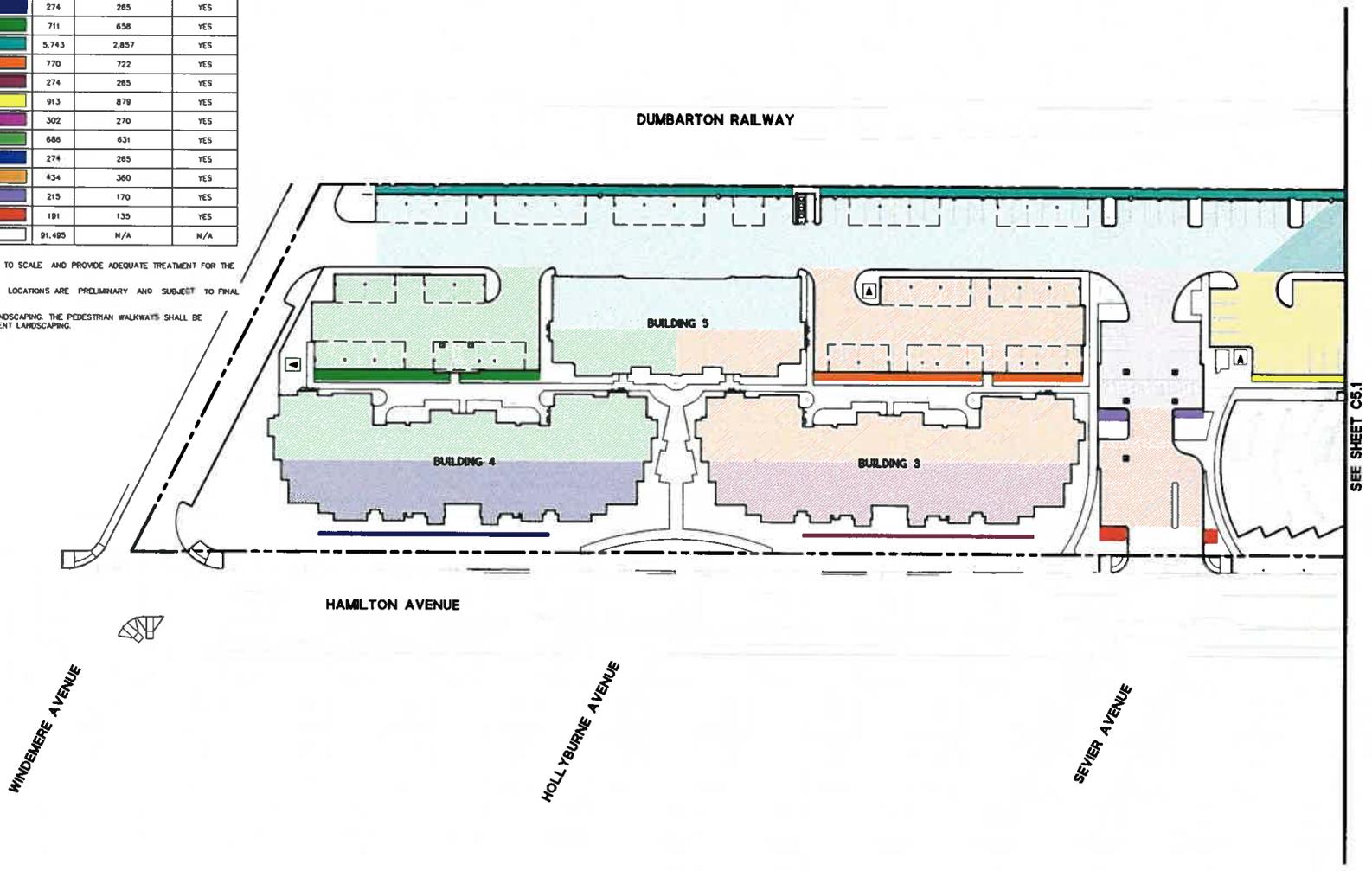
C4.1



CATCHMENT AREA IDENTIFIER/COLOR	SO. FT.	TREATMENT AREA IDENTIFIER/COLOR	SO. FT.	TREATMENT AREA REQUIRED (4%), SO. FT.	MEETS REQUIREMENT?
CA-1	6,613	TA-1	274	265	YES
CA-2	16,456	TA-2	711	656	YES
CA-3	66,416	TA-3	5,743	2,857	YES
CA-4	18,060	TA-4	770	722	YES
CA-5	6,613	TA-5	274	265	YES
CA-6	21,977	TA-6	913	879	YES
CA-7	8,747	TA-7	302	270	YES
CA-8	15,785	TA-8	686	631	YES
CA-9	6,613	TA-9	274	265	YES
CA-10	6,993	TA-10	434	360	YES
CA-11	4,244	TA-11	215	170	YES
CA-12	3,365	TA-12	191	135	YES
SELF-TREATING AREA			91,495	N/A	N/A

NOTE:
 1. TREATMENT AREAS SHOWN ARE DRAWN TO SCALE AND PROVIDE ADEQUATE TREATMENT FOR THE CONTRIBUTING CATCHMENTS.
 2. CATCHMENT AND TREATMENT SIZES AND LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL ENGINEERING AND PLUMBING DESIGN.
 3. SELF-TREATING AREA SHALL CONSIST OF LANDSCAPING. THE PEDESTRIAN WALKWAYS SHALL BE CONCRETE AND WILL DRAIN TOWARDS ADJACENT LANDSCAPING.

B70



HAMILTON APARTMENTS



Greenheart Land Company
 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

PRELIMINARY STORMWATER MANAGEMENT PLAN

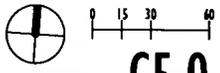
MENLO PARK, CA

ISSUE # 2013-0254
 REV # 20130225

PL 13.1014 Planning Submittal #1

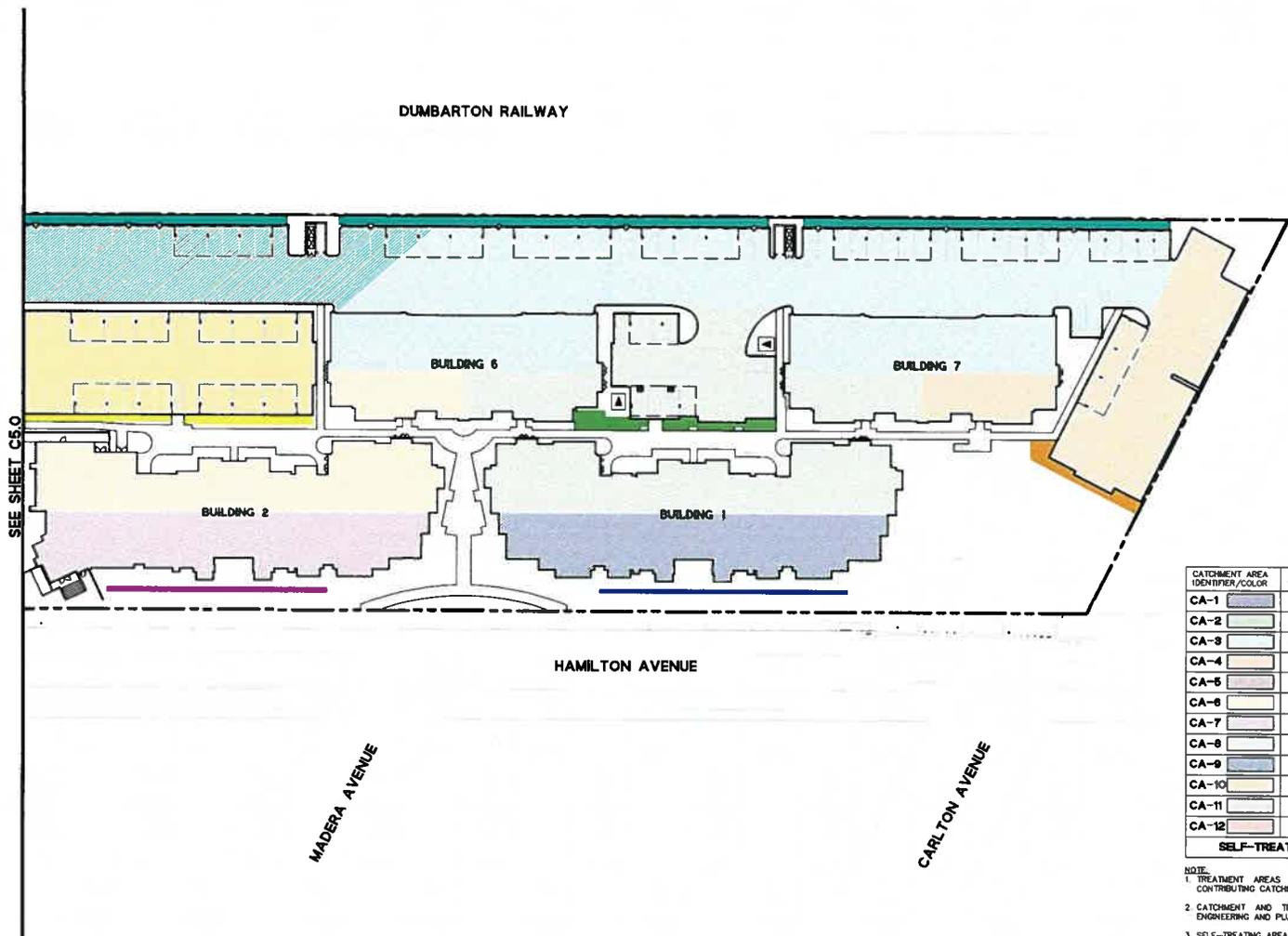


KTGY Group, Inc.
 Architecture+Planning
 580 Second St., Suite 200
 Oakland, CA 94607
 510.272.2910
 ktgy.com



C5.0

SEE SHEET CS.1



SEE SHEET C5.0

871

CATCHMENT AREA IDENTIFIER/COLOR	SO. FT.	TREATMENT AREA IDENTIFIER/COLOR	SO. FT.	TREATMENT AREA REQUIRED (%), SO. FT.	MEETS REQUIREMENT?
CA-1	6,613	TA-1	274	265	YES
CA-2	16,456	TA-2	711	656	YES
CA-3	66,418	TA-3	5,743	2,657	YES
CA-4	18,060	TA-4	770	722	YES
CA-5	6,613	TA-5	274	265	YES
CA-6	21,977	TA-6	913	679	YES
CA-7	6,747	TA-7	302	270	YES
CA-8	15,785	TA-8	686	631	YES
CA-9	6,613	TA-9	274	265	YES
CA-10	8,993	TA-10	434	360	YES
CA-11	4,244	TA-11	215	170	YES
CA-12	3,365	TA-12	191	135	YES
SELF-TREATING AREA			91,495	N/A	N/A

- NOTE:
1. TREATMENT AREAS SHOWN ARE DRAWN TO SCALE AND PROVIDE ADEQUATE TREATMENT FOR THE CONTRIBUTING CATCHMENTS.
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 3. SELF-TREATING AREA SHALL CONSIST OF LANDSCAPING. THE PEDESTRIAN WALKWAYS SHALL BE CONCRETE AND WILL DRAIN TOWARDS ADJACENT LANDSCAPING.

HAMILTON APARTMENTS



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 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

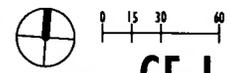
PRELIMINARY STORMWATER MANAGEMENT PLAN

MENLO PARK, CA
 EXIST # 2013-0254
 ISS # 2013-0225

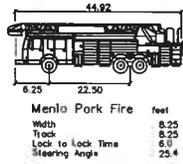
05.15.2014 Planning Submitted #3



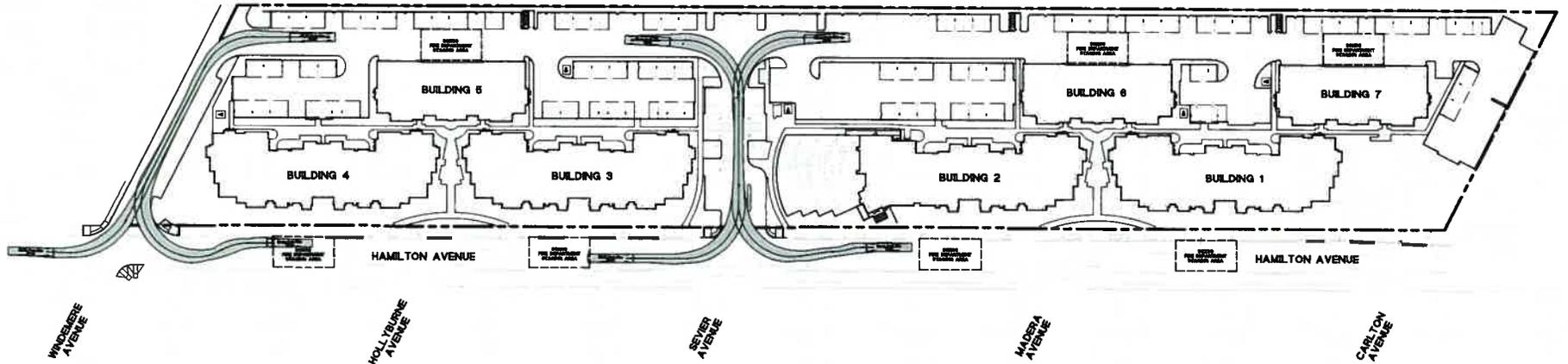
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C5.1



DUMBARTON RAILWAY



B72

HAMILTON APARTMENTS



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Palo Alto, CA 94303
650.681.9334

FIRE TRUCK CIRCULATION PLAN - ENTER

MENLO PARK, CA

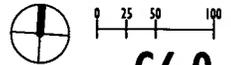
ENR # 2013-0254
02 # 20120225

PL 11.2014 Planning Submittal #1

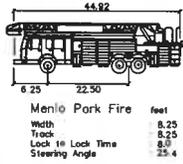


Business/Surveyors/Planners
265 SHORELINE DR. SUITE 200
REDWOOD CITY, CA 94065
650-482-8300
650-482-6399 (FAX)

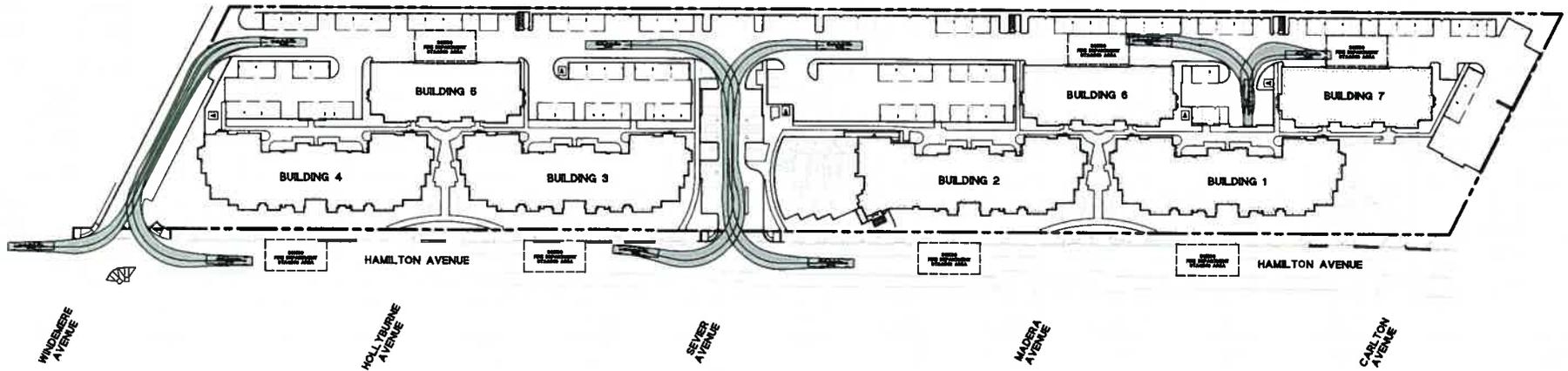
KTGY Group, Inc.
Architecture+Planning
580 Second St., Suite 200
Oakland, CA 94607
510.272.2910
ktgy.com



C6.0



DUMBARTON RAILWAY



B713

HAMILTON APARTMENTS



Greenheart Land Company
 941 East Charleston Road
 Palo Alto, CA 94303
 650.681.9334

FIRE TRUCK CIRCULATION PLAN - EXIT

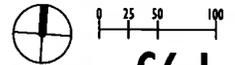
MENLO PARK, CA

0707 # 2013-0254
 02 # 20130225

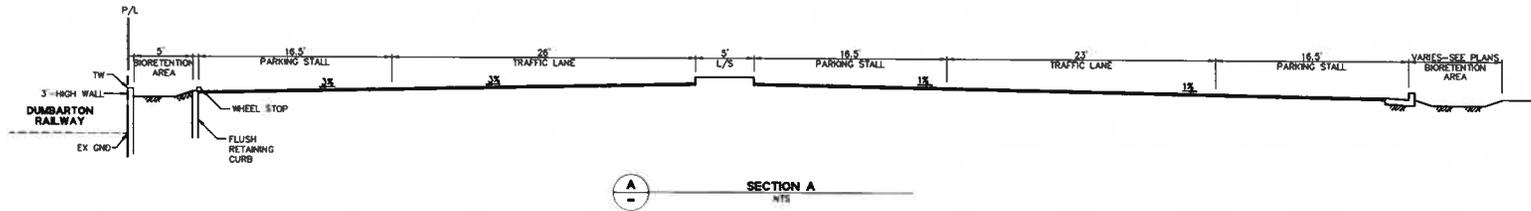
05.11.2014 Planning Submittal #1



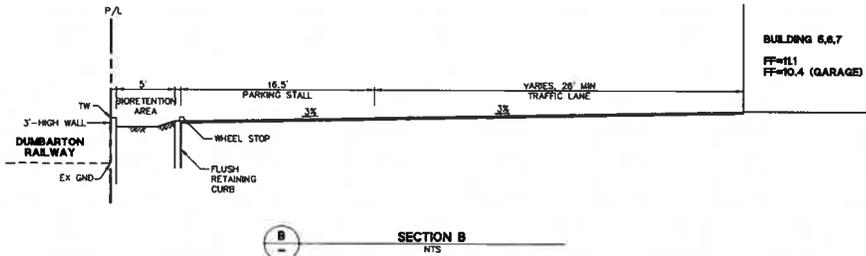
KTGY Group, Inc.
 Architecture+Planning
 580 Second St., Suite 200
 Oakland, CA 94607
 510.272.2910
 ktgy.com



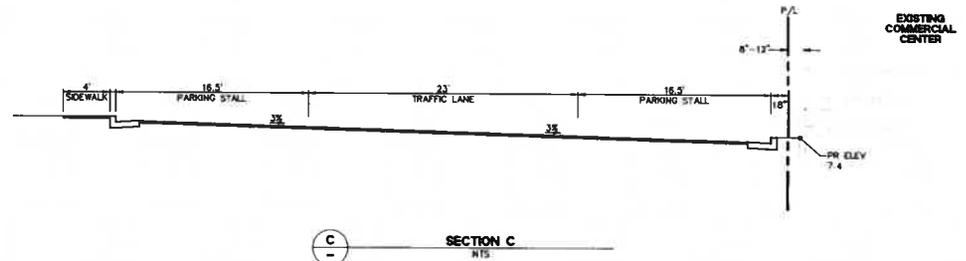
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SECTION A
NTS

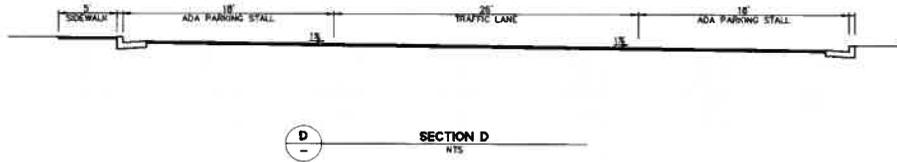


SECTION B
NTS

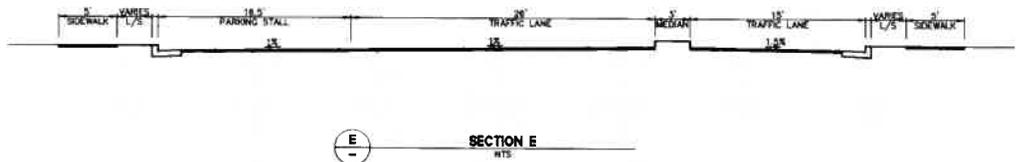


SECTION C
NTS

B7A



SECTION D
NTS



SECTION E
NTS

HAMILTON APARTMENTS



Greenheart Land Company
941 East Charleston Road
Palo Alto, CA 94303
650.681.9334

TYPICAL SECTIONS

MENLO PARK, CA

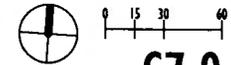
03/07/14 2013-0214
02/10/2015

11.11.2014 Planning Submittal #1

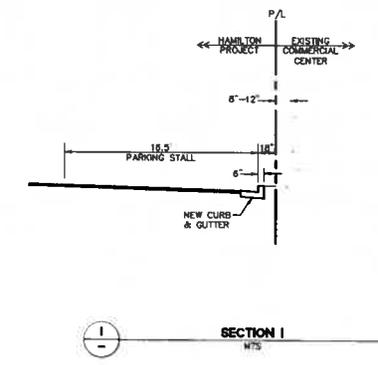
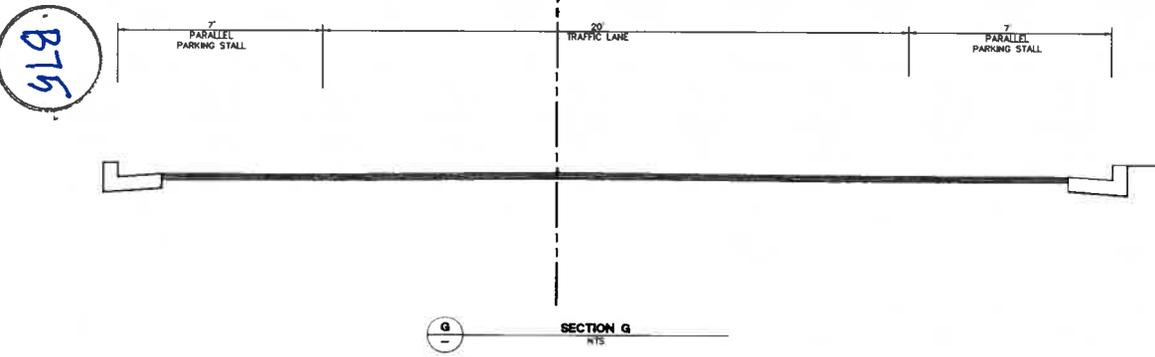
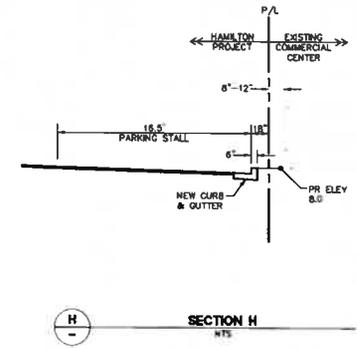
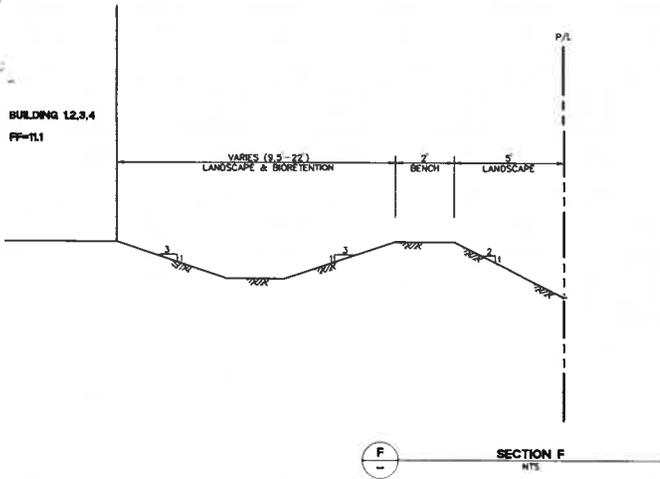


Engineers/Architects/Planners
255 SHORELINE DR. SUITE 200
REDWOOD CITY, CA 94065
650-482-8300
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ktgy.com



C7.0



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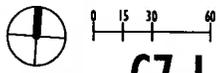
TYPICAL SECTIONS

MENLO PARK, CA
0107 # 2013-0254
002 # 20130225

05.11.2014 Planning Submittal #3

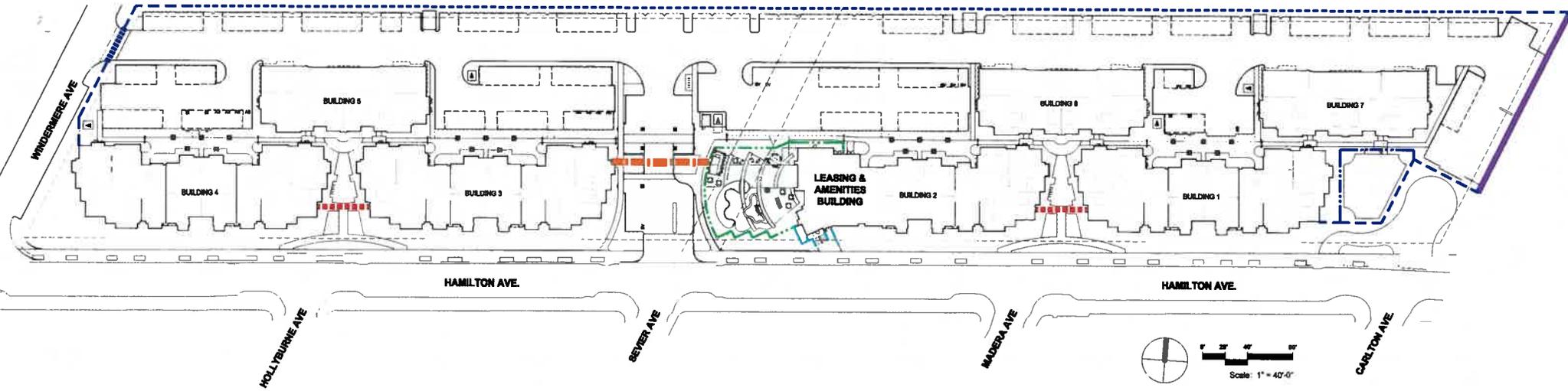


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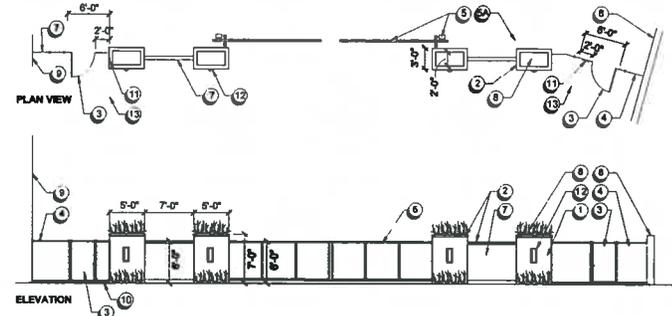
C7.1

TRAIN TRACKS



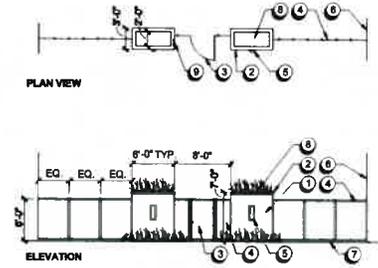
B77

FENCE & WALL LEGEND	
	8" TUBE STEEL FENCE SEE DETAIL A, SHEET L-4.
	4" TUBE STEEL FENCE ON RETAINING WALL.
	4" TUBE STEEL FENCE AND GATE, SEE DETAIL A & B, SHEET L-4.
	WINDERMERE AVE VEHICULAR SLIDING GATE, SEE DETAIL C, SHEET L-4.
	LOW RETAINING WALL, PER ARCHITECT.
	SCREEN WALL AT AMENITY AREA, SEE DETAIL C, SHEET L-4.
	VEHICULAR PORTAL ENTRY WALL, SEE DETAIL A, THIS SHEET.
	COURTYARD PORTAL ENTRY WALL, SEE DETAIL B, THIS SHEET.
	EXISTING WALL AT ADJACENT PROPERTY TO REMAIN. LOW GRASSES PLANTED IN FRONT.



A VEHICULAR PORTAL WALL
SCALE: 1/8" = 1'-0"

- ① WALL WITH SIDING TO MATCH ARCHITECTURE.
- ② PRECAST WALL CAP.
- ③ SELF-CLOSING GATE, WITH METAL PANELS TO MATCH ARCHITECTURE.
- ④ ADJACENT FENCE WITH METAL PANELS TO MATCH ARCHITECTURE.
- ⑤ 6' HIGH AUTOMATIC VEHICULAR SLIDE GATE WITH METAL PANELS TO MATCH ARCHITECTURE.
- ⑥A VEHICULAR SLIDE GATE LOCATION WHEN FULLY OPEN.
- ⑥ WALL AT AMENITIES AREA, SEE DETAIL C, SHEET L-6.
- ⑦ GREENWALL WITH DECORATIVE PLANTING SET IN MODULES.
- ⑧ RECESSED PLANTER AT TOP OF WALL.
- ⑨ ADJACENT BUILDING.
- ⑩ FINISH GRADE.
- ⑪ PEDESTRIAN GATE CALL BOX LOCATION.
- ⑫ WALL LIGHT.
- ⑬ ADJACENT WALKWAY.



B COURTYARD PORTAL WALL
SCALE: 1/8" = 1'-0"

- ① WALL WITH SIDING TO MATCH ARCHITECTURE.
- ② PRECAST WALL CAP.
- ③ SELF-CLOSING GATE, WITH METAL PANEL TO MATCH ARCHITECTURE.
- ④ ADJACENT FENCE WITH METAL PANEL TO MATCH ARCHITECTURE.
- ⑤ WALL LIGHT, MOUNTED ON METAL PLATE.
- ⑦ FINISH GRADE.
- ⑧ RECESSED PLANTER AT TOP OF WALL.
- ⑨ GATE CALL BOX LOCATION.

HAMILTON APARTMENTS



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Palo Alto, CA 94303
650.681.9334

MENLO PARK, CA
05.13.2014 Planning Submittal #3
KTGY # 2013-0254
VTA # 04113

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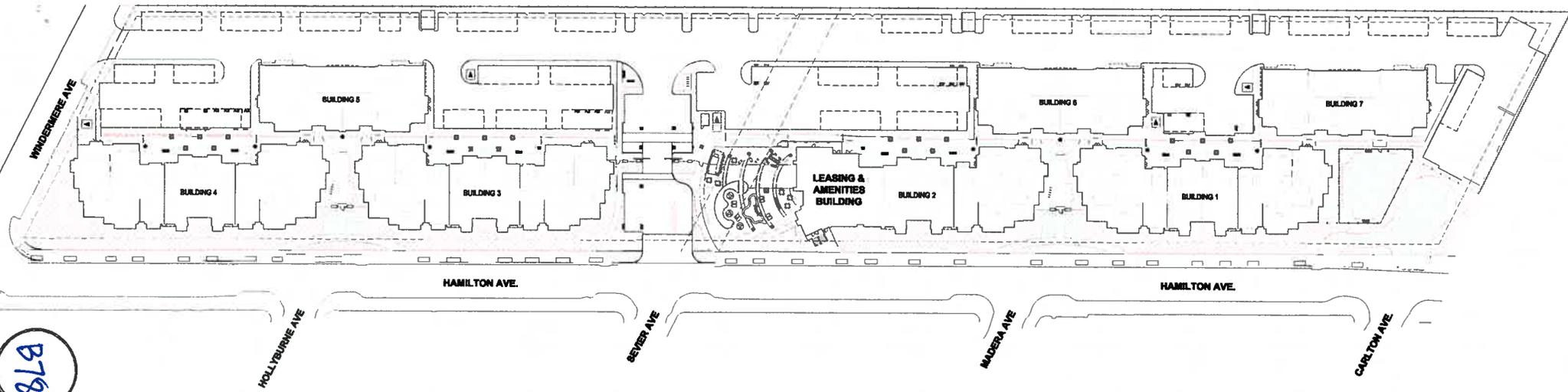


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ktgy.com



L-1.1
FENCE & WALL PLAN

TRAIN TRACKS



LANDSCAPE AREA

PLANTING TYPE	SQUARE FOOTAGE	PERCENT OF LANDSCAPE
SHRUB	51,000 SF	72%
TURF	7,170 SF	10%
BIO TREATMENT	12,940 SF	18%
TOTAL LANDSCAPE AREA	71,110 SF	100%

NOTE: CALCULATIONS BASED ON CURRENT SITE PLAN. FINAL BREAKDOWN TO BE DETERMINED WITH PD AND FINAL DESIGN.

HYDROZONE LEGEND

- TREES, SHRUBS & GROUNDCOVERS - DRIP IRR SOUTH/WEST EXPOSURE
- TREES, SHRUBS & GROUNDCOVERS - DRIP IRR NORTH/EAST EXPOSURE
- TURF - MP ROTATOR

IRRIGATION CONCEPT STATEMENT

THE IRRIGATION DESIGN FOR THE SITE SHALL COMPLY WITH THE STATE OF CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (TITLE 25 - DIVISION 2-CHAPTER 2.7) AND THE CITY OF MENLO PARK WATER EFFICIENT LANDSCAPE ORDINANCE (MUNICIPAL CODE 12.44)

THE IRRIGATION SYSTEMS WILL BE AUTOMATICALLY CONTROLLED BY AN ET IRRIGATION CONTROLLER CAPABLE OF MULTIPLE PROGRAMMING AND INDEPENDENT TRIGGING OF INDIVIDUAL IRRIGATION SYSTEMS. THE CONTROLLER WILL HAVE A 24-HOUR CLOCK TO ALLOW MULTIPLE START TIMES AND REPEAT CYCLES TO ADJUST FOR SOIL PERCOLATION RATES.

THE IRRIGATION SYSTEMS WILL CONSIST PRIMARILY OF LOW VOLUME, LOW FLOW BUBBLERS FOR TREES, POINT SOURCE DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVERS, AND SUB-SURFACE DRIP IRRIGATION FOR TURF PLANTINGS.

PLANTS WILL BE GROUPED ONTO SEPARATE VALVES ACCORDING TO SUN EXPOSURE AND WATER USE TO ALLOW FOR IRRIGATION APPLICATION BY HYDROZONE. THE IRRIGATION SCHEDULING WILL REFLECT THE REGIONAL EVAPOTRANSPIRATION RATES. THE ENTIRE SITE WILL BE DESIGNED TO RUN DURING NIGHTTIME HOURS WHEN IRRIGATION IS MOST EFFICIENT.

IRRIGATION NOTES

- IRRIGATION ZONES:** ALL LANDSCAPED AREAS HAVE AN IRRIGATION ZONE DESIGNATION OF SHRUBS / GROUNDCOVERS / TREES OR TURF + NO IRRIGATION ZONES FOR ANNUALS AND TURFED SLOPES EXCEEDING 10% ARE PROHIBED.
- DEPTH OF IRRIGATION LINES:** ALL ON-GRADE LATERAL LINES SHALL BE BURIED TO A DEPTH OF 18" MIN. ALL ON-GRADE MAINLINES SHALL BE BURIED TO A DEPTH OF 36" MIN.
- BACKFLOW PREVENTER:** BACKFLOW PREVENTER SHALL BE A REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER (PESCO BEST OR EQUAL) TYPE AS APPROVED BY WATER PURVEYOR.
- IRRIGATION SPRINKLER TYPES:** ALL SPRINKLERS SHALL UTILIZE MATCHED PRECIPITATION, PRESSURE COMPENSATING NOZZLES FOR MAXIMUM UNIFORMITY OF DISTRIBUTION. IRRIGATION SYSTEMS TO BE INSPECTED PERIODICALLY FOR BROKEN OR DEFICIENT EQUIPMENT.
- IRRIGATION CONTROLLERS:** CONTROLLER SHALL BE AN AUTOMATIC ET (EVAPOTRANSPIRATION) WITH MULTIPLE PROGRAMMING CAPABILITY. CONTROLLER TO BE REPROGRAMMED SEASONALLY TO MINIMIZE RUNOFF OR OVER WATERING. MOISTURE SENSING DEVICES SHALL BE UTILIZED TO CONTROL IRRIGATION CYCLES ACCORDING TO SPECIFIC IRRIGATION REQUIREMENTS.
- CLASS OF IRRIGATION PIPE:** ALL MAINLINE SHALL BE CLASS 316 PVC. ALL LATERAL LINE SHALL BE CLASS 200 PVC.
- IRRIGATION EMITTERS:** ALL TURF AREAS SHALL BE IRRIGATED USING SUB-SURFACE DRIP TYPE IRRIGATION SYSTEM. ALL SHRUB/ GROUNDCOVER AREAS SHALL BE IRRIGATED USING DRIP IRRIGATION SYSTEM. ALL TREE AREAS SHALL BE IRRIGATED USING BUBBLER IRRIGATION SYSTEM.
- RECLAIMED WATER:** IRRIGATION SYSTEM SHALL BE DESIGNED TO MEET SOUTH BAY WATER RECYCLING PROGRAM REQUIREMENTS FOR FUTURE RECLAIMED WATER SYSTEM.

WATER USE CALCULATIONS

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASED ON THE FOLLOWING FORMULA:

$$MAWA = (ETo) \times (0.62) \times [(0.7 \times LA) + (0.3 \times SLA)]$$

THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:

$$ETWU = (ETo) \times (0.62) \times [(PF) \times (HA)] + SLA$$

- ETo = ANNUAL EVAPOTRANSPIRATION RATE
- LA = TOTAL LANDSCAPE AREA (INCLUDES SLA)
- SLA = SPECIAL LANDSCAPE AREA
- HA = HYDROZONE PLANT AREA
- PF = PLANT FACTOR
(0.7 FOR TURF & BIOTREATMENT; 0.35 FOR SHRUBS)
- IE = IRRIGATION EFFICIENCY FACTOR (0.71 MINIMUM)
- 0.7 = ET ADJUSTMENT FACTOR
- 0.62 = CONVERSION FACTOR (TO GALLONS/SQUARE FOOT)
- 0.3 = ADDITIONAL ADJUSTMENT FACTOR FOR SLA

$$MAWA = (49.7)(0.62)(0.7 \times 70,810) = 1,527,358 \text{ GAL/YEAR}$$

$$ETWU = (49.7)(0.62)(0.35 \times 63,640) + (0.7 \times 7,170) = 1,184,516 \text{ GAL/YR}$$



HAMILTON APARTMENTS



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vTA # 04113

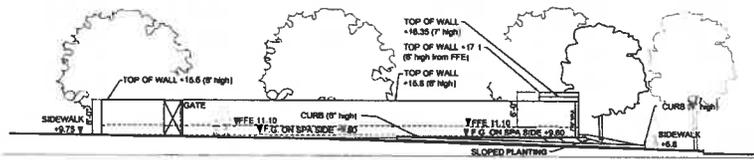
Vandaele Associates
855 Bondwood Way, Ste. 200
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700 Ygnacio Valley Rd, Ste. 213
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fax: 707.234.5621
www.vandaele.com



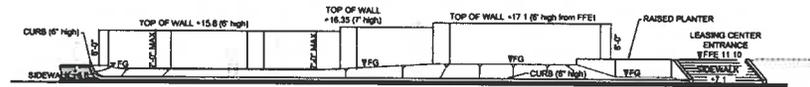
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Architecture+Planning
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Oakland, CA 94607
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ktgy.com



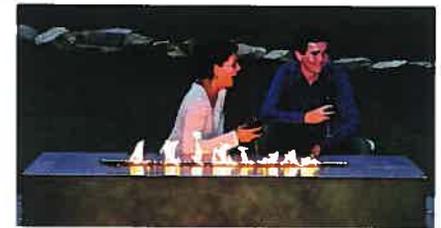
**L-1.2
HYDROZONE PLAN**



A AMENITIES WALL ELEVATION-WEST SIDE
SCALE: 1" = 10'-0"



B AMENITIES WALL ELEVATION-SOUTH SIDE
SCALE: 1" = 10'-0"



HAMILTON APARTMENTS

**L-2
ENTRY & AMENITIES CENTER**



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MENLO PARK, CA

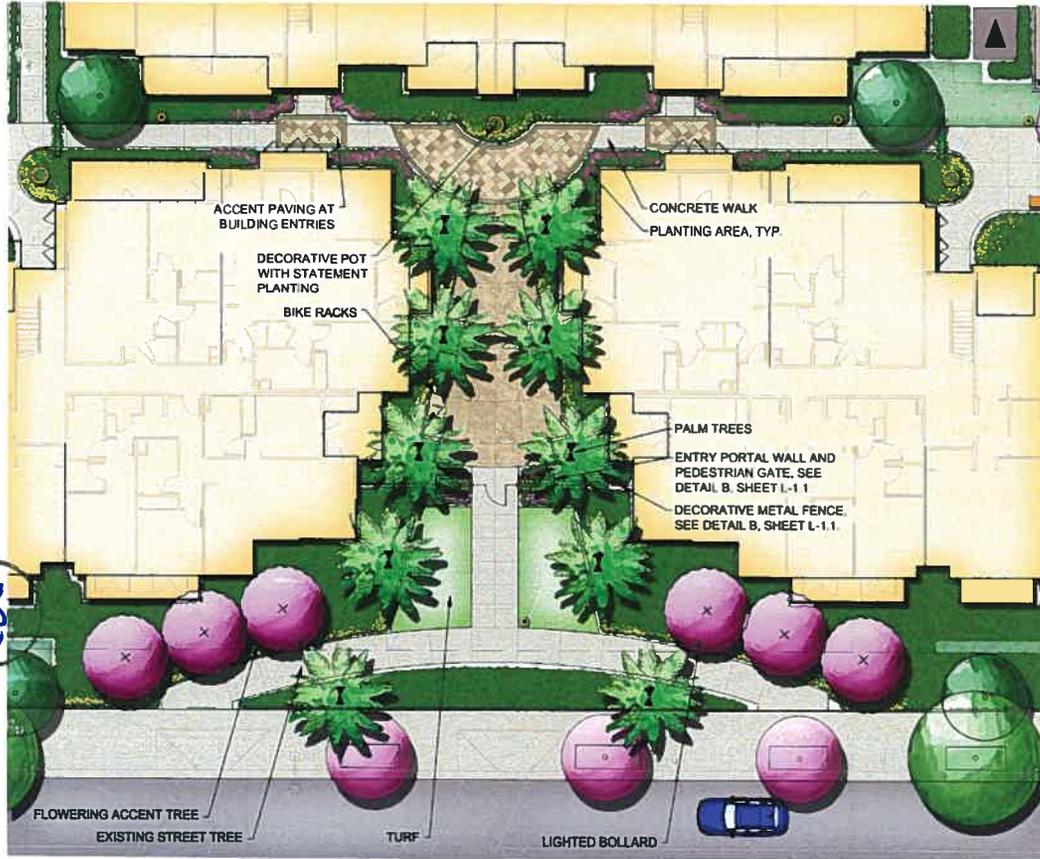
05.13.2014 Planning Submittal #3
KTGY # 2013-0254
VTA # 04113

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TYPICAL COURTYARD ENLARGEMENT



HAMILTON APARTMENTS



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 650.681.9334

MENLO PARK, CA

08.03.2014 Planning Submittal #3
 KTYG # 2013-0254
 VTA # 04113

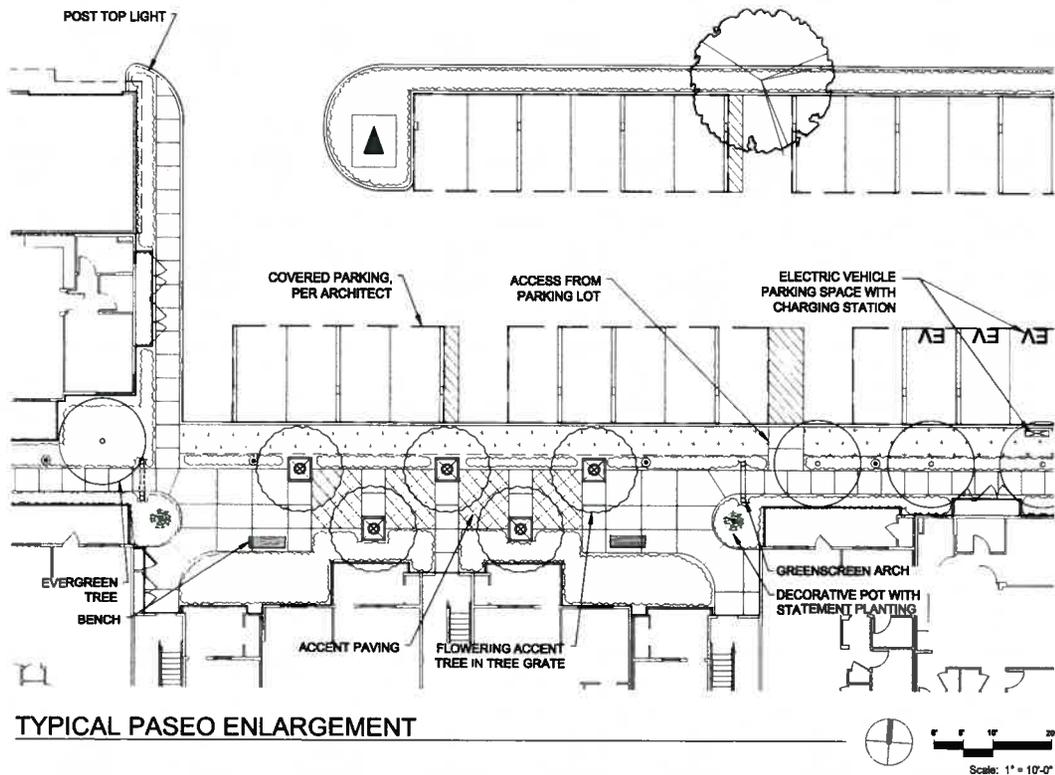
vanderToelen Associates
 855 Bordeaux Way, Ste. 240
 Napo, CA 94358
 700 Spruce Valley Rd, Ste. 211
 Walnut Creek, CA 94596
 tel: 707.214.2279
 fax: 707.226.6821
 www.vanderToelen.com



L-3
TYPICAL COURTYARD LANDSCAPE

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TYPICAL PASEO ENLARGEMENT

HAMILTON APARTMENTS



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 650.681.9334

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 KTGy # 2013-0254
 VTA # 04113

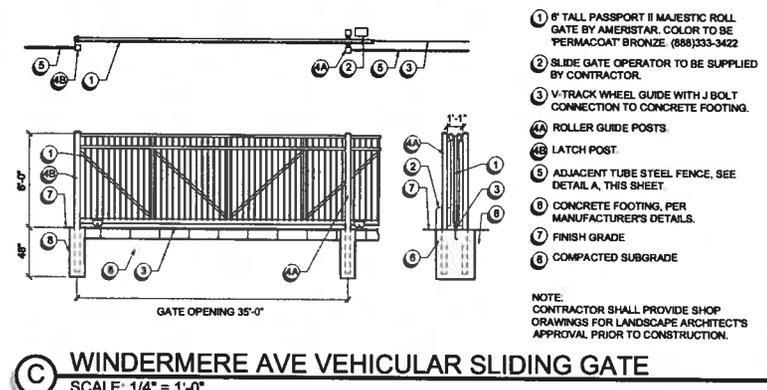
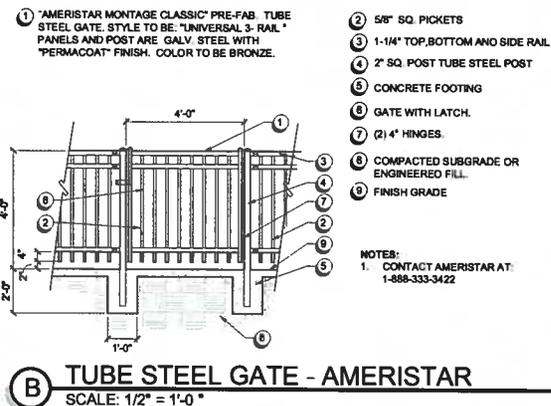
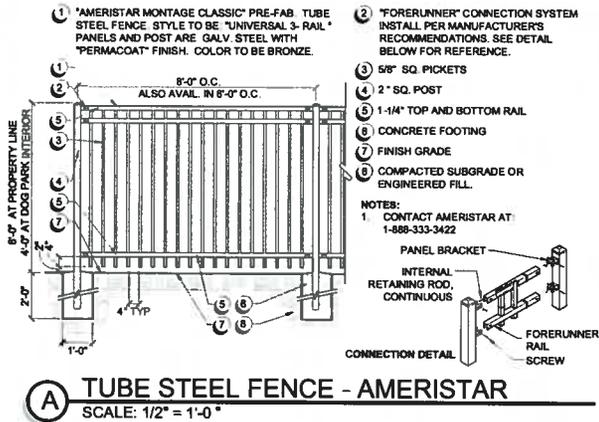
vanderTooles Associates
 855 Bordeaux Way, Ste. 2140
 Napa, CA 94558
 700 Ygnacio Valley Rd. Ste. 275
 Walnut Creek, CA 94596
 tel: 707.224.2299
 fax: 707.216.6621
 www.vanderTooles.com



L-4
 TYPICAL PASEO LANDSCAPE

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 ktgy.com





B&B



D BIKE RACK
FORMS + SURFACES
TRIO BIKE RACK



E BENCH
FORMS + SURFACES
TRIO COLLECTION



F POST TOP LIGHT & BOLLARD
LUMINIS: MAYA LED LIGHT, MA14
LUMINIS: ECLIPSE LED BOLLARD, W786



G DOG PICK-UP STATION
MUTT MITT

HAMILTON APARTMENTS



Greenheart Land Company
941 East Charleston Road
Palo Alto, CA 94303
650.681.9334

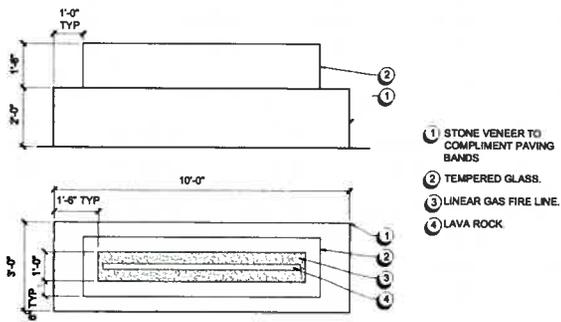
MENLO PARK, CA
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KTGY # 2013-0254
VTA # 04113

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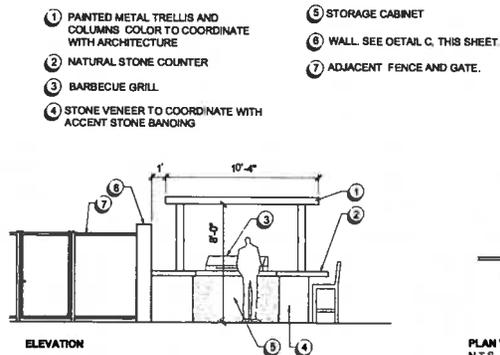
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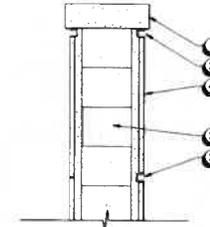
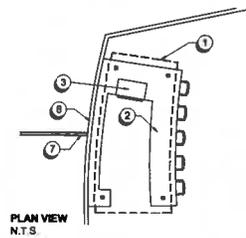
- ① STONE VENEER TO COMPLEMENT PAVING BANDS
- ② TEMPERED GLASS.
- ③ LINEAR GAS FIRE LINE.
- ④ LAVA ROCK.

A LINEAR FIREPLACE
SCALE: 1/2" = 1'-0"



- ① PAINTED METAL TRELLIS AND COLUMNS COLOR TO COORDINATE WITH ARCHITECTURE
- ② NATURAL STONE COUNTER
- ③ BARBECUE GRILL
- ④ STONE VENEER TO COORDINATE WITH ACCENT STONE BANDING
- ⑤ STORAGE CABINET
- ⑥ WALL. SEE DETAIL C, THIS SHEET.
- ⑦ ADJACENT FENCE AND GATE.

B TRELLIS AND BARBECUE
SCALE: 1/4" = 1'-0"



- ① PRECAST CONCRETE CAP COLOR TO MATCH WALL
- ② PAINTED METAL REGLET COLOR TO MATCH ARCHITECTURE
- ③ CMU BLOCK WALL
- ④ STUCCO FINISH, COLOR TO MATCH ARCHITECTURE

NOTE:
HEIGHT VARIES, REFER TO AMENITIES WALL ELEVATIONS SHEET L-2.

C SCREEN WALL WITH REGLET
SCALE: NTS

488

HAMILTON APARTMENTS



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MENLO PARK, CA

05.13.2014 Planning Submittal #3
KTGY # 2013-0254
VTA # 04113

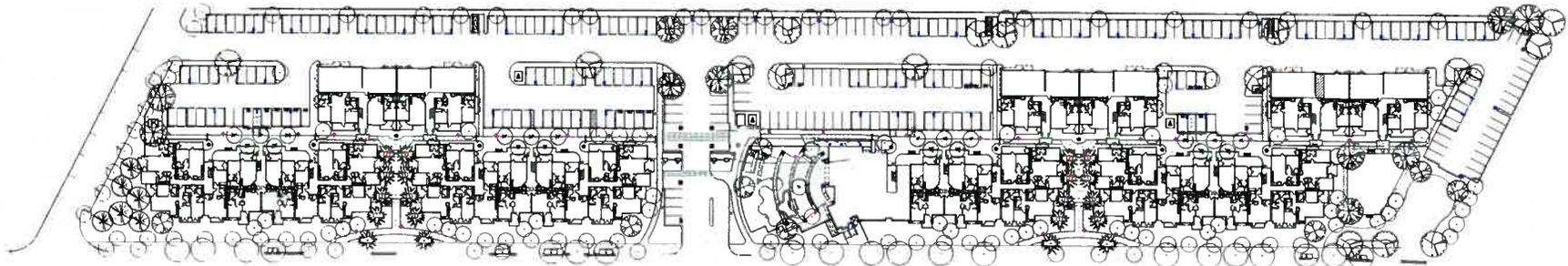
Sender/Toolen Associates
855 Bondeau Way, Ste. 240
Napa, CA 94558
700 Ygnacio Valley Rd, Ste. 275
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fax: 707.224.6621
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L-6
LANDSCAPE DETAILS - AMENITY AREA

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B84

LIGHTING LEGEND



70W LED 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
WITH EXTERNAL HOOD SIDE SHEILD
1854 LUMENS - 4000° KELVIN



60W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
4710 LUMENS - 4000° KELVIN

50W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
4445 LUMENS - 4000° KELVIN

40W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
1140 LUMENS - 4000° KELVIN

47W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
2970 LUMENS - 4000° KELVIN



30W LED 1.5FT DOLLAR
TYPE 1 LIGHTING DISTRIBUTION
1540 LUMENS - 4000° KELVIN

40W LED RECESSED STEP LIGHT
11 LUMENS - 4000° KELVIN

30W LED CARPORT GARAGE HOOD
3040 LUMENS - 4100° KELVIN



(2) 20W METAL BALANCE
RECESSED CYLINDER WALL LIGHT
2000 LUMENS (EQ) - 4000° KELVIN

15W LED WALL PACK
2,470 LUMENS - 4000° KELVIN



4W LED WALL LIGHT
154 LUMENS - 4000° KELVIN

17W LED WALL LIGHT
479 LUMENS - 4000° KELVIN

24W FLUORESCENT
WALL LIGHT
1800 LUMENS - 4000° KELVIN



(12) 12W LED PALM TREE HUNG HOODDED
ACCENT LIGHT (EQ) (EQ) (EQ) (EQ)
158 LUMENS (EQ) - 4000° KELVIN

HAMILTON APARTMENTS

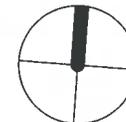


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OVERALL SITE LIGHTING PLAN

MENLO PARK, CA
REV # 2013-0254

01.11.2014



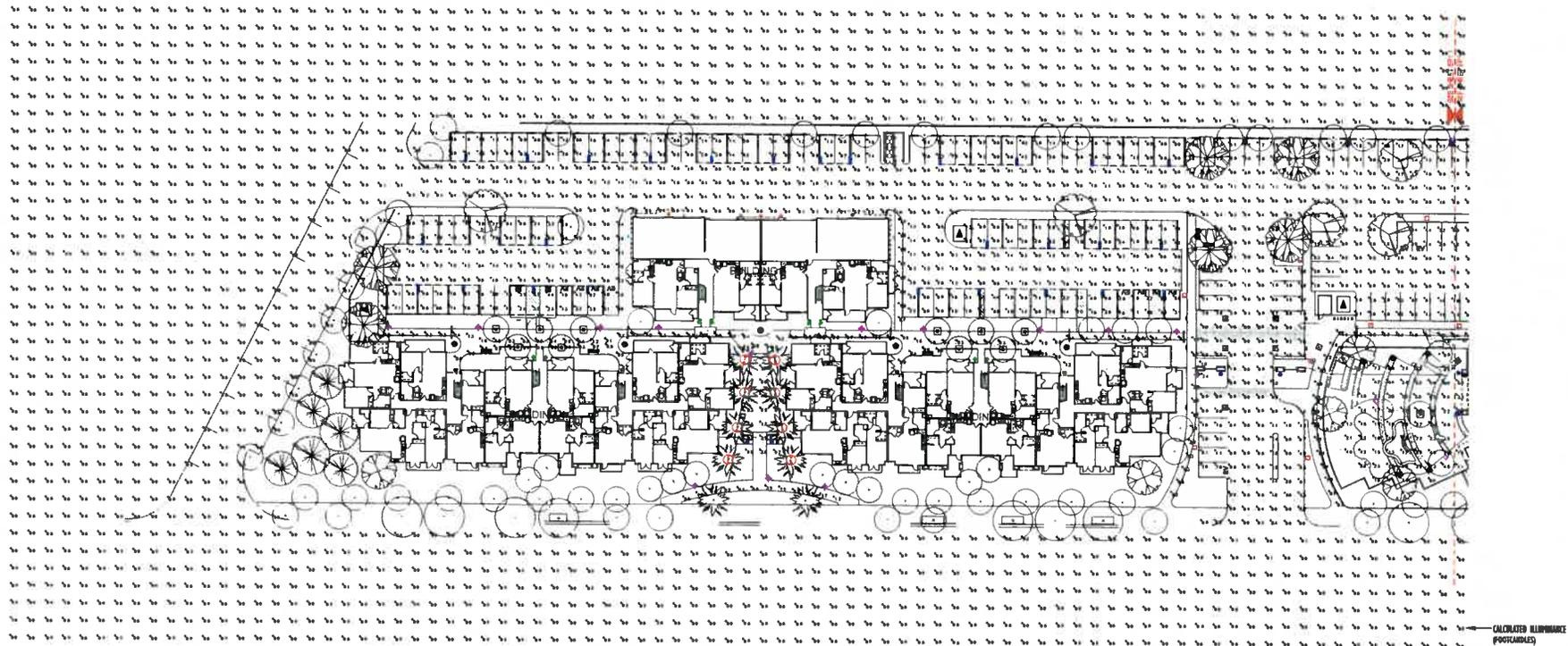
LIGHTING DESIGN | ELECTRICAL ENGINEERING

CANDELA # 74-002
25655 Calle La Fuente
San Juan Capistrano, CA 92675
PH: 949.201.1333
candelaengineering.com

0 25 50 100

EPI.0

B85



Photometric Statistics - Illuminance

Area	Area	Avg	Min
Parking / Entry	2.00	16.30	0.10
Walkways	1.00	13.00	0.20
Open	0.00	0.30	0.00

CALCULATED ILLUMINANCE FOOTCANDLES

LIGHTING LEGEND

- 

70W LED 14FT POST LIGHT
TYPE IV LIGHTING DISTRIBUTION
WITH EXTERNAL HOUSING SIDE SHIELD
5164 LUMENS - 4000° KELVIN
- 

60W LED DECONATIVE 14FT POST LIGHT
TYPE IV LIGHTING DISTRIBUTION
4710 LUMENS - 4000° KELVIN
- 

58W LED DECONATIVE 14FT POST LIGHT
TYPE I LIGHTING DISTRIBUTION
4441 LUMENS - 4000° KELVIN
- 

40W LED DECONATIVE 10FT POST LIGHT
TYPE IV LIGHTING DISTRIBUTION
1160 LUMENS - 4000° KELVIN
- 

47W LED DECONATIVE 10FT POST LIGHT
TYPE I LIGHTING DISTRIBUTION
2970 LUMENS - 4000° KELVIN
- 

30W LED 1.5FT BOLLARD
TYPE I LIGHTING DISTRIBUTION
1587 LUMENS - 4000° KELVIN
- 

4W LED RECESSED STEP LIGHT
11 LUMENS - 4000° KELVIN
- 

30W LED COMPACT RECESSED HOOKY
3040 LUMENS - 4100° KELVIN
- 

(2) 30W METAL HALIDE
UP/DOWN CYLINDER WALL LIGHT
2800 LUMENS (EA) - 4000° KELVIN
- 

15W LED WALL PANEL
2,476 LUMENS - 4000° KELVIN
- 

6W LED WALL LIGHT
154 LUMENS - 4000° KELVIN
- 

13W LED WALL LIGHT
479 LUMENS - 4000° KELVIN
- 

26W FLUORESCENT
WALL LIGHT
1000 LUMENS - 4000° KELVIN
- 

(4) 20W LED PALM TREE RING HOOKED
ACERTY LIGHT (2) UP, (2) DOWN
550 LUMENS (EA) - 4000° KELVIN

HAMILTON APARTMENTS

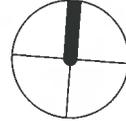


Greenheart Land Company
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PARTIAL PHOTOMETRIC SITE PLAN

MENLO PARK, CA
EIR # 2013-0254

05.15.2014

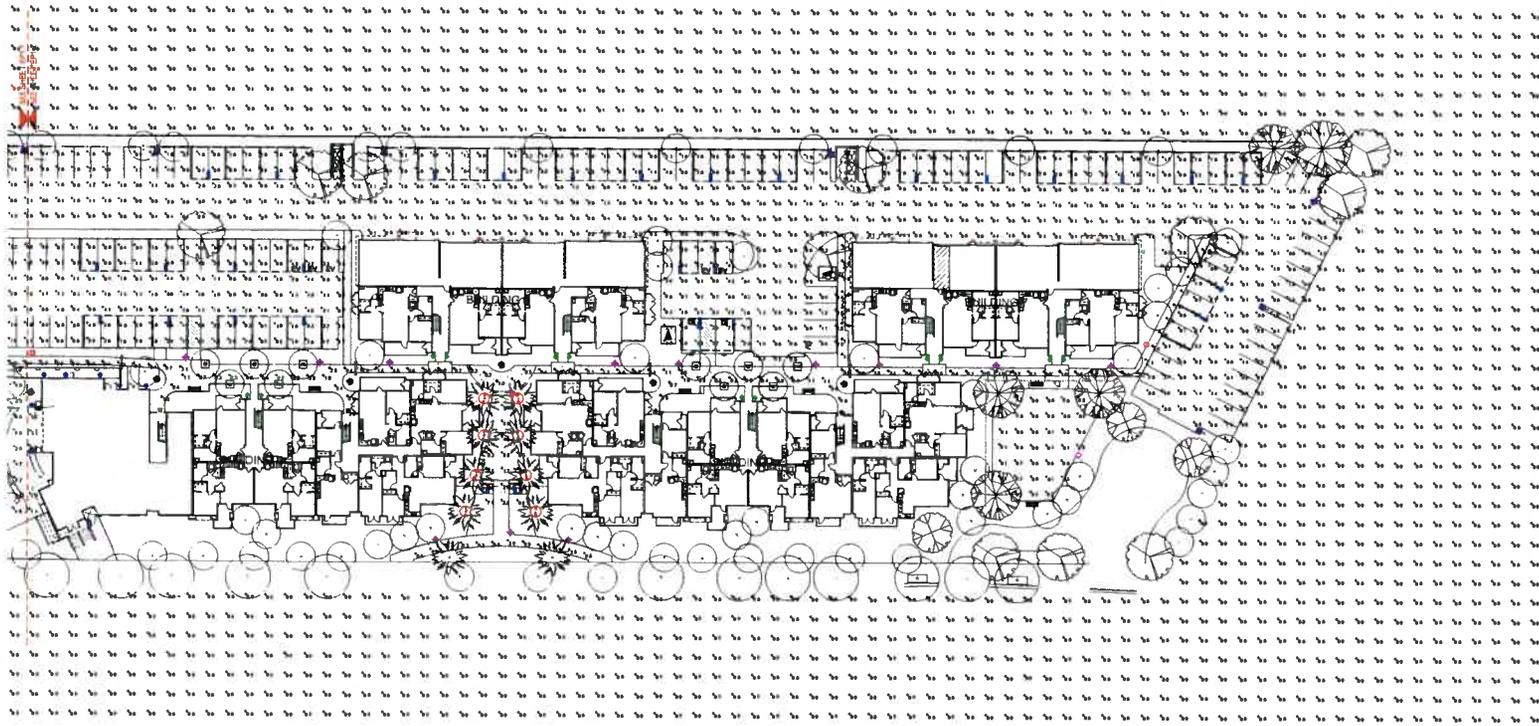


LIGHTING DESIGN | ELECTRICAL ENGINEERING

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23855 Calle La Puente
San Juan Capistrano, CA 92675
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← CALCULATED ILLUMINANCE (FOOTCANDLES)

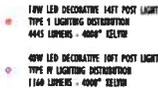
Photometric Statistics - Illuminance			
Area	Area	Min	Max
Parking / Entry	2.50	18.30	0.10
Walkways	1.80	93.00	0.20
Roof	0.00	0.30	0.10

986

LIGHTING LEGEND

- 

70W LED 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
WITH EXTERNAL BONGE SHOE SHIELD
5854 LUMENS - 4000° KELVIN
- 

60W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
4713 LUMENS - 4000° KELVIN
- 

18W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
4445 LUMENS - 4000° KELVIN
- 

40W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
1168 LUMENS - 4000° KELVIN
- 

47W LED DECORATIVE 14FT POST LIGHT
TYPE 1 LIGHTING DISTRIBUTION
2976 LUMENS - 4000° KELVIN
- 

30W LED 3.5FT BOLLARD
TYPE 1 LIGHTING DISTRIBUTION
1539 LUMENS - 4000° KELVIN
- 

4W LED RECESSED STEP LIGHT
11 LUMENS - 4000° KELVIN
- 

30W LED CABOPOST SURFACE MOUNT
3044 LUMENS - 4100° KELVIN
- 

(2) 30W METAL HALIDE
UP/DOWN CYLINDER WALL LIGHT
2000 LUMENS (EA) - 4000° KELVIN
- 

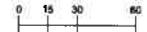
4W LED WALL LIGHT
154 LUMENS - 4000° KELVIN
- 

13W LED WALL LIGHT
479 LUMENS - 4000° KELVIN
- 

24W FLUORESCENT
WALL LIGHT
1800 LUMENS - 4000° KELVIN
- 

35W LED WALL PACE
2,496 LUMENS - 4000° KELVIN
- 

(4) 12W LED PALM TREE BING MOUNTED
ACCENT LIGHT (2) UP, (2) DOWN
556 LUMENS (EA) - 4000° KELVIN



HAMILTON APARTMENTS

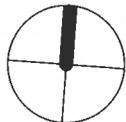
PARTIAL PHOTOMETRIC SITE PLAN

EPI.2

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MENLO PARK, CA
02/17/14

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LIGHTING DESIGN | ELECTRICAL ENGINEERING

R-4-S Compliance Review Checklist

	Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met
	Y	N	N/A		
16.23.050 Development Regulations					
Minimum Lot Area: 20,000 sf.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2
Minimum Lot Width: 100 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C1.0, C1.1, A1.0
Minimum Lot Depth: 100 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		C1.0, C1.1, A1.0
Minimum Density: 20 du/ac	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2
Maximum Density: 30 du/ac	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2
Minimum Front Yard: 10 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A1.0-A1.2
Minimum Interior Side Yard: 10 ft., except may be reduced to 5 ft. abutting a private access easement	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A1.0-A1.2
Minimum Corner Side Yard: 10 ft.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A
Minimum Rear Yard: 10 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A1.0-A1.2
Maximum Floor Area Ratio: Increase on an even gradient from 60% for 20 du/ac to 90% for 30 du/ac	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2
Maximum Building Coverage: 40%	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2, A6.1a-c
Minimum Open Space (Landscaping): 25%	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2
Maximum building height: 40 ft.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A4.1-A4.7
Building Profile: Starting at a height of 25 feet, a 45-degree building profile shall be set at the minimum setback line contiguous with a public right-of-way or single-family zoned property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A4.1-A4.4
Parking					
Vehicular: 2 spaces for units w/ 2 or more bedrooms; 1.5 spaces for 1 bedroom unit; 1 space per studio. Spaces cannot be located in required front yard setbacks or in tandem.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2, T1.5
Electric Vehicle: A minimum of 3 percent of the required number of parking spaces shall provide dedicated electric vehicle/plug-in hybrid electric charging stations and a minimum of 2 percent of the required number of parking spaces shall be pre-wired for such equipment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2, T1.5, L-1

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	Does the project meet the requirement?			If no, please explain the proposed modification and reason for the request.	If yes, list the plan sheet(s) where the development regulation is met	
	Y	N	N/A			
Bicycle						
Long term – 1 space per unit where a private garage (per unit) is not provided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2, T1.5, A5.0-A5.6	
Short term (visitor) – 1 space per every 10 units	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		T1.2, T1.5, L-1	
16.23.060 Mitigation Monitoring						
All development within the R-4-S zoning district shall comply, at a minimum, with the Mitigation Monitoring and Report Program (MMRP) established through Resolution No. 6149 associated with the Housing Element Update, General Plan Consistency Update, and Zoning Ordinance Amendments Environmental Assessment prepared for the Housing Element adopted on twenty-first day of May, 2013.					Mitigation Monitoring Measures	
16.23.070 Design Standards						
(1) Building Setbacks and Projections within Setbacks						
1a.	Min. of one (1) 15 gallon tree per 20 linear feet for the length of the property frontage along a public right-of-way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		L-1
1b.	Existing trees in the ROW shall count towards the minimum tree requirement for that frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		L-1
1c.	Min. of one (1) 15 gallon tree per 40 linear feet of property frontage not along a public right-of-way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		L-1
2.	Building projections, such as balconies and bay windows, at or above the 2 nd floor shall not project more than 5 feet into the setback area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A3.1
3.	Where a property is contiguous with a single-family zoned property, no projections into the setback are permitted for balconies or decks at or above the second floor.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A

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		Y	N	N/A		
4.	The total of all horizontal and vertical projections shall not exceed 35% of the building façade area, and no one projection shall exceed 15% of the façade area on which the projections are located. Where such projections enclose interior living space, 85 percent of the vertical surface of the projection shall be windows or glazed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A3.1
(2) Façade Modulation and Treatment						
1.	Building façades facing public rights-of-way or public open spaces shall not exceed 50 feet in length without a minor building façade modulation. At a minimum of every 35 feet of façade length, the minor vertical façade modulation shall be a minimum 2 feet deep by 5 feet wide recess or a minimum 2 foot setback of the building plane from the primary building façade.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A6.0a, b, c
2.	Building façades facing public rights-of-way or public open spaces shall not exceed 100 feet in length without a major building facade modulation. At a minimum of every 75 feet of façade length, a major vertical façade modulation shall be a minimum of 6 feet deep by 20 feet wide recess or a minimum 6 foot setback of building plane from primary building façade for the full height of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A6.0a, b, c
3.	In addition, the major building façade modulation shall be accompanied with a 4 foot minimum height modulation and a major change in fenestration pattern, material and/or color.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A6.0a, b
(3) Building Profile						
1.	The façade of a building shall be limited to one major step back.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A

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		Y	N	N/A		
2.	Horizontal building and architectural projections, like balconies, bay windows, dormer windows beyond the 45-degree building profile shall comply with the standards for Building Setbacks & Projections within Setbacks section and shall be architecturally integrated into the design of the building.		<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A
3.	Vertical building projections like parapets and balcony railings shall not extend more than 4 feet beyond the 45-degree building profile and shall be architecturally integrated into the design of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A4.1-A4.4
4.	Rooftop elements that may need to extend beyond the 45-degree building profile due to their function, such as stair and elevator towers, shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A

(4) Height

1.	Vertical building projections such as parapets and balcony railings may extend up to 4 feet beyond the maximum building height, and shall be architecturally integrated into the design of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A4.1-A4.7
2.	Rooftop elements that may need to exceed the maximum building height due to their function, such as stair and elevator towers, shall not exceed 14 feet beyond the maximum building height. Such rooftop elements shall be architecturally integrated into the design of the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		Mechanical Screening shown on A2.0-2.7 Elevations; A4.1-A4.7 Sections
3.	Towers, cupolas, spires, chimneys, and other architectural features not exceeding 10 percent of the roof area may exceed the maximum building height limit by a maximum of 10 feet. Such rooftop elements shall be architecturally integrated into the design of the building.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A

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(5) External Materials						
1.	Buildings shall be designed and incorporate materials that discourage graffiti. Windows, doors, and small architectural features are exempt from this requirement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		stucco/siding can be repainted; A2.1-A2.7
2.	All external stucco shall be completed in textures that are smooth, sanded, or fine-scraped. Heavy-figuring or rough cast stucco are not permitted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A2.1-A2.7; materials board
3.	Stucco on the external façade shall be limited to no more than 80% of the entire area of an elevation, inclusive of all windows and doors.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A6.5-A6.8
4.	All external windows where in solid walls shall be inset by a minimum of 2.inches from the face of the external finishes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A2.1-A2.7, A2.8, A7.0
5.	When simulated divided light windows are included in a development, the windows shall include mullions on the exterior of the glazing and contain internal dividers (spacer bars) between the window panes.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		N/A
(6) Building Entries						
1.	When a residential building is adjacent to a public street or other public space, the building shall provide entries, access points or features oriented to the street that are visible from the public right-of-way or public space and provide visual cues to denote access into the building. For larger residential buildings with shared entries, the main entry shall be through prominent entry lobbies or central courtyards facing the street.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A7.0, L-1, L-1.1, L-3

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(7) Open Space					
1.	Residential developments shall have a minimum of 100 square feet of open space per unit created as common open space or a minimum of 80 square feet of open space per unit created as private open space, where private open space shall have a minimum dimension of 6 feet by 6 feet. In case of a mix of private and common open space, such common open space shall be provided at a ratio equal to 1.25 square feet for each one square foot of private open space that is not provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T1.2, A5.0-A5.6
2.	Depending on the number of dwelling units, common open space shall be provided to meet the following criteria:				
i.	10-50 units: Minimum of one space, 20 feet minimum dimension (400 sf. total, minimum).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
ii.	51-100 units: Minimum of one space, 30 feet minimum dimension (900 sf. total, minimum).	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	N/A
iii.	101 or more units: Minimum of one space, 40 feet minimum dimension (1,600 sf. total, minimum).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	T1.2, A1.1
(8) Parking – See Development Regulations					
(9) Bicycle Parking					
1.	Each long term bicycle parking space shall consist of a locker or locked enclosure, such as a secure room or controlled access area, providing protection for each bicycle from theft, vandalism and weather. A private locked storage unit that can accommodate a bicycle satisfies this requirement. Within a common residential building garage, bicycle parking shall be located within 40 feet of common access points into the building.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A5.0-A5.6

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2.	Short-term bicycle parking shall consist of a bicycle rack or racks at street level and is meant to accommodate visitors.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A1.5, L-1, L-5
3.	Bicycle parking facilities shall not impede pedestrian or vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		L-1
(10) Shade and Shadow						
1.	Development shall be designed so that shadow impacts on adjacent shadow-sensitive uses (e.g. residential, recreational, churches, schools, outdoor restaurants, historic buildings, and pedestrian areas) are minimized to the best extent possible. Shadow-sensitive uses shall not be shaded by project-related structure for more than three hours between the hours of 9:00 a.m. and 3:00 p.m. Pacific Standard Time (between late October and early April), or for more than four hours between the hours of 9:00 a.m. and 5:00 p.m. Pacific Daylight Time (between early April and late October).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		A6.9a, A6.9b
(11) Lighting						
1.	Exterior lighting fixtures shall use fixtures with low cut-off angles, appropriately positioned, to minimize glare into dwelling units and light pollution into the night sky.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		EP 1.0-1.2
2.	Lighting in parking garages shall be screened and controlled so as not to disturb surrounding properties, but shall ensure adequate public security.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		EP 1.0-1.2

