

E.

LAND USE + BUILDING CHARACTER

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E.1 OVERVIEW

Based on the Specific Plan's guiding principles and urban design framework as presented in Chapter C "Plan Principles, Framework + Program", this chapter establishes the types and distribution of land uses along El Camino Real, in the station area and downtown. It also establishes standards and guidelines for land use development.

In general, the standards and guidelines encourage redevelopment of underutilized parcels of land, enhance vibrancy and transit use and increase housing supply. They also help ensure that new buildings are compatible with the existing scale and character of adjacent development, enhance the character of streets, public spaces and overall pedestrian orientation, and are environmentally sensitive.

To implement the vision as described in Chapter C, the Specific Plan establishes five land use designations (including one "overlay" area) and 10 zoning districts. The land use designations establish uses as either permitted, permitted with limits, administratively or conditionally permitted, or prohibited. The zoning districts establish detailed rules for new development, including both completely new construction and additions to existing structures. Parking standards relating to new development are discussed in Chapter F "Circulation".

This chapter covers:

- E.1 Overview
- E.2 Land Use Designations, Zoning Districts and Use Regulations
 - E.2.1 Land Use Designations
 - E.2.2 Zoning Districts
 - E.2.3 Use Regulations
 - E.2.4 Special Land Use Topics
- E.3 Development Standards and Guidelines
 - E.3.1 Intensity
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 - E.3.3 Building Setbacks
 - E.3.4 Building Massing and Modulation
 - E.3.5 Building Ground Floor, Entry and Retail Frontage Treatment
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 - E.3.8 Sustainable Practices
- E.4 Zoning Districts

E.2 LAND USE DESIGNATIONS, ZONING DISTRICTS AND USE REGULATIONS

This section of the Specific Plan addresses the land use designations, zoning districts, land use regulations and special land use topics, including uses permitted with limits, independent business, the market place concept and non-parking improvement on downtown parking plazas.

E.2.1 Land Use Designations

The Specific Plan's land use designations allow for a variety of uses, either in separate buildings or in mixed-use buildings. Figure E1 depicts the different land use designations and Table E1 summarizes the use regulations by designation. The table specifies which uses are permitted, permitted with limits, conditionally permitted, and prohibited. These distinctions in the use regulations are discussed in more detail in Sections E.2.3 "Use Regulations" and E.2.4 "Special Land Use Topics".

The five land use designations of the Specific Plan are summarized below. Following sections of this chapter provide detailed information on specific land uses and standards and guidelines for development applicable to each land use designation.

“
Vibrant locally-owned businesses keeps local character and keeps dollars spent within the community
”

- Workshop #1 Participant

“
Want more night life businesses so I can spend evenings in Menlo
”

- Workshop #3 Participant

“
Places for all ages
”

- Workshop #3 Participant

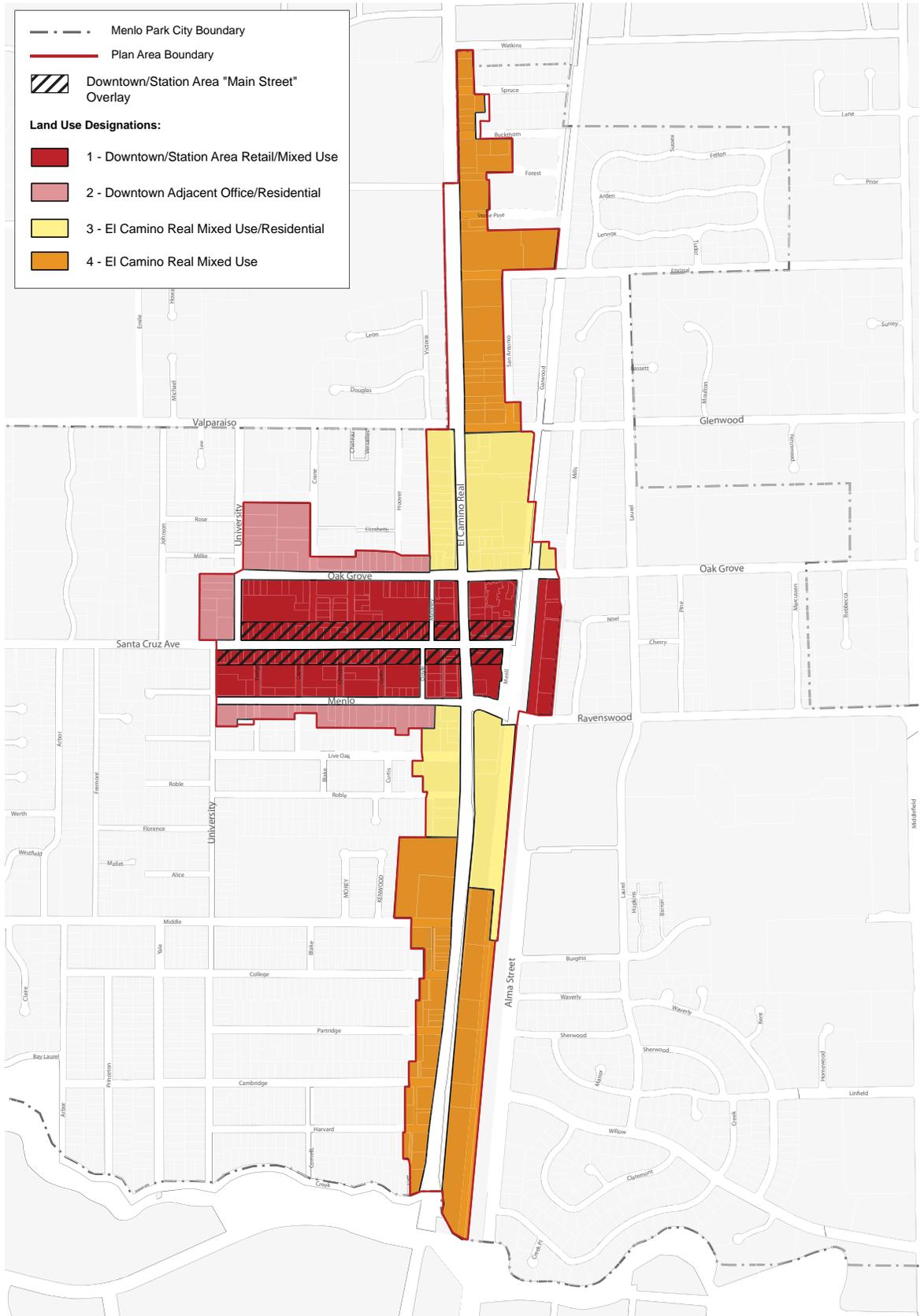


Figure E1. Land Use Designations

Land Use Designations and Allowable Uses					
Allowable Uses	El Camino Real Mixed Use	El Camino Real Mixed Use/Residential	Downtown/Station Area Retail/Mixed Use	Downtown/Station Area Main Street Overlay	Downtown Adjacent Office/Residential
Commercial					
Adult Business Establishments	C	C	-	-	-
Animal Sales & Services					
Animal Boarding	C	C	C	-	-
Animal Clinics and Hospitals	C	C	C	-	-
Animal Retail Sales and Service	P	P	P	LC (less than 5,000 SF)	-
Automobile/Vehicle Sales and Service					
Automobile/Vehicle Sales & Leasing	P	P	-	-	-
Gas Stations and Light Vehicle Service	C	C	-	-	-
Banks and Financial Institutions	P	P	LC (less than 5,000 SF)	-	LC (less than 5,000 SF)
Business Services	P	P	LC (less than 5,000 SF)	-	LC (less than 5,000 SF)
Commercial Recreation					
Small-Scale	P	C	C	-	-
Cinemas	C	P	P	-	-
Eating & Drinking Establishments					
Restaurants, Full Service	P	P	P	P	-
Restaurants, Limited Service	P	P	LC (less than 3,000 SF)	LC (less than 3,000 SF)	-
Restaurants, Full/Limited Service with Alcohol and/or Outdoor Seating	A	A	A	A	-
Restaurants, Full/Limited Service with Live Entertainment	C	C	C	C	-
Restaurants, Take-Out Only	P	P	LC (less than 3,000 SF)	-	-
Bars and Lounges	-	C	C	C	-
Funeral & Interment Service	C	C	-	-	-
Hotels and Motels	P	P	P	C	C
Offices, Business and Professional	L (no greater than one-half the base or public benefit bonus FAR)	L (no greater than one-half the base or public benefit bonus FAR)	L (no greater than one-half the base or public benefit bonus FAR)	L (no greater than one-half the base or public benefit bonus FAR and upper floors only)	L (no greater than one-half the base or public benefit bonus FAR)

Table E1. Land Use Designations and Allowable Uses

Land Use Designations and Allowable Uses					
Allowable Uses	El Camino Real Mixed Use	El Camino Real Mixed Use/Residential	Downtown/Station Area Retail/Mixed Use	Downtown/Station Area Main Street Overlay	Downtown Adjacent Office/Residential

Offices, Medical and Dental	L (no greater than one-third the base or public benefit bonus FAR)	L (no greater than one-third the base or public benefit bonus FAR)	L (no greater than one-third the base or public benefit bonus FAR)	L (no greater than one-third the base or public benefit bonus FAR and upper floors only)	L (no greater than one-third the base or public benefit bonus FAR)
Personal Improvement Services	P	LC (less than 5,000 SF)	LC (less than 5,000 SF)	L (upper floors only)	LC (less than 5,000 SF)
Personal Services					
General	P	P	LC (less than 5,000 SF)	L (upper floors only)	LC (less than 5,000 SF)
Restricted	C	C	-	-	-
Retail Sales					
General	P	P	P	P	-
Convenience Market	C	C	C	-	-
Food and Beverage Sales	P	P	P	P	-
Liquor Stores	C	C	C	C	-
Restricted	C	C	-	-	-

Public, Semipublic and Service

Clubs and Lodges	C	C	C	C	-
Community Social Service Facilities	C	C	-	-	-
Cultural Institutions	LC (less than 5,000 SF)	LC (less than 5,000 SF)	LC (less than 5,000 SF)	C	-
Day Care Center	C	C	C	-	C
Parking Facilities, Public	-	P	P	-	-
Public Safety Facilities	C	C	-	-	C
Religious Facilities	C	C	-	-	C

Residential

Residential Dwelling Units	P	P	P	L (upper floors only)	P
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P = uses permitted

L = uses permitted subject to limitations which may not be exceeded/modified

LC = uses permitted subject to limitations; limitations may be exceeded/modified following review/approval of Use Permit by Planning Commission

A = uses may be permitted following review/approval of administrative use permit by Community Development Director

C = uses may be permitted following review/approval of Use Permit by Planning Commission

Use definitions available in Chapter H "Appendix"

El Camino Real Mixed-Use

The El Camino Real Mixed-Use designation allows for a variety of retail, office, residential, and public and semipublic uses. Building character in this land use designation relates to adjacent neighborhoods, with maximum building heights of two to three stories, except for buildings up to four to five stories permitted on the southeast end of El Camino Real. The allowed development intensities vary with the lowest intensity on the far northern end of El Camino Real to moderate intensities on the southwest end of El Camino Real and the highest intensities on the southeast end of El Camino Real where parcels are separated from adjacent uses by El Camino Real and the railroad right-of-way.

El Camino Real Mixed-Use/Residential

The El Camino Real Mixed-Use/Residential designation emphasizes residential use in close proximity (approximately 1/2 mile) to the station area and downtown, in order to support area businesses, transit use and overall downtown vibrancy. This designation also allows for a variety of retail, office and public and semipublic uses. The maximum building heights vary from two to three stories in most locations up to four to five stories on the east side of El Camino Real south of Ravenswood Avenue. The majority of the area allows for moderate intensities with higher intensities on the east side of El Camino Real south of Ravenswood Avenue.

Downtown/Station Area Retail/Mixed-Use

The Downtown/Station Area Retail/Mixed-Use designation focuses on uses that enhance downtown vibrancy by building upon existing community-serving retail and personal services in the downtown area. While emphasizing retail for ground-floor uses, the designation allows for a mix of uses, including office and residential uses, enhancing downtown vibrancy through an increased customer base for restaurants and retail businesses. It also allows for theaters (commercial recreation), hotels, and some public and semipublic uses. This designation covers the current public parking plazas, which could accommodate other non-parking uses (discussed in more detail in Section E.2.4 “Special Land Use Topics”). To complement the size of existing downtown business establishments and building character, the size of some types of businesses are limited (discussed in more detail in section E.2.4) and allowable building heights are two to three stories for all but the area in closest proximity to the train station where heights of four to five stories are allowed. Allowed intensities in the downtown core are generally consistent with historic levels while higher intensities are allowed in the train station area.

Downtown/Station Area “Main Street” Overlay

Downtown/Station Area “Main Street” Overlay enhances the retail emphasis of the Downtown/Station Area Retail/Mixed-Use designation by specifically limiting non-retail ground floor uses on Santa Cruz Avenue. Development standards and guidelines otherwise match the underlying Downtown/Station Area Retail/Mixed-Use designation.

Downtown Adjacent (Office/Residential)

Allowing for office, limited personal services and residential uses, the Downtown Adjacent Office/Residential designation complements but does not compete with retail uses in the downtown area. The category permits offices and personal services (with certain size limitations), residential uses and public and semipublic uses. It excludes retail and hotel uses. The allowable building height is two to three stories, which complements buildings in downtown and adjacent neighborhoods.

E.2.2 Zoning Districts

The Specific Plan establishes 10 distinct zoning districts, as shown in Figure E2. The zoning districts are based on the larger land use designations and provide for a detailed approach to land use regulation through the application of standards and guidelines that work together to establish a district's unique character and identity. Section E.3 "Development Standards and Guidelines" includes a discussion of standards and guidelines used in the Specific Plan and their applicability to each of the 10 zoning districts.

E.2.3 Use Regulations

As noted previously, Table E1 establishes which uses are permitted, permitted with limits, conditionally permitted (by administrative permit or use permit), and prohibited within the various land use designations. Uses that are permitted with limits are discussed in Section E.2.4 “Special Land Use Topics” in more detail. Requests for administratively-permitted uses are reviewed and acted on by the Community Development Director in accordance with Zoning Ordinance Chapter 16.82, Section VII (Administrative Permits), and requests for conditionally-permitted uses are reviewed and acted on by the Planning Commission in accordance with Zoning Ordinance Chapter 16.82, Section I (Use Permits). Both action types have appeal processes, culminating in City Council review and action.

The use regulations govern both new development and existing buildings within the plan area. However, existing developments that are already regulated by a Use Permit, Conditional Development Permit, Planned Development Permit, or other binding limitation (such as a limited environmental review approval) would continue to be regulated by existing site-specific regulations. Any such development could pursue a revision to the previous approval, although this would be a discretionary action of the Planning Commission and/or City Council and could require additional environmental review.

The use regulations were derived primarily from the existing use regulations and historical practices, revised to reflect the Specific Plan’s guiding principles. In addition, the use regulations and associated definitions (available in the report’s appendix) leverage work that was conducted during the 2006 Commercial Zoning Ordinance Update (CZOU) project, although the CZOU draft recommendations were fully reviewed and revised to represent the current community preferences expressed through the Specific Plan process.

E.2.4 Special Land Use Topics

Uses Permitted with Limits

Community members have expressed interest in limiting certain types of uses for a variety of reasons, including limiting competition with independent retailers (discussed in more detail below), limiting uses that can generate higher amounts of traffic, such as medical and dental offices, and ensuring a desired retail mix downtown, particularly on Santa Cruz Avenue. A general principle is that limiting uses should relate to specific concerns of the community.

Several mechanisms exist for limiting uses that might dominate the land use mix and impede desirable uses in a particular area, including:

- Limiting the size of specific types of uses (i.e. individual establishments). This has the advantage of being relatively simple to enforce through individual building permit and business license review. However, it does not necessarily limit the overall number of any particular use. For example, an entire block could be occupied by a particular limited use, as long as each business was below the size limitation. Size limitations should correspond to typical tenant space sizes for the particular area.
- Limiting the number of specific types of uses (e.g., no more than “X” banks total allowed on Santa Cruz Avenue). This is also relatively easy to track, as long as the number of uses so limited is relatively small and the geographic area in question is not too large. However, determining the appropriate number of any particular use can be difficult.
- Limiting the total square footage of specific types of uses in a particular area. This can be difficult to track and enforce. As establishments of the limited use change (go out of business, expand/contract in size), maintaining an accurate database and correctly reviewing new requests against the current total can be complex. In addition, determining the appropriate total square footage amount is challenging in a 20- to 30-year plan. Also, limiting total square footage of a particular use could result in vacant space during periods of economic downturn.

- Setting density limits on specific types of uses (e.g. up to one half of allowed FAR can be used for a specific type of use in any given project) for individual new construction or conversions of use.

In general, the Specific Plan supports mechanisms that are easy to understand and monitor by the general community, developers and City staff. Therefore, the Specific Plan includes two of the limits discussed above: limits on the size of specific types of uses (primarily non-retail service and office uses); and density limits for new construction or conversions of office and, more specifically medical and dental office. Table E.1 includes the specific limitations. Section E.3.1 “Intensity” discusses these limitations in more detail. In addition, the Downtown/Station Area “Main Street” Overlay limits permitted ground-floor uses on Santa Cruz Avenue to retail establishments and restaurants. As shown in Table E.1, some limits on individual business size (LC) may be exceeded with use permit approval by the Planning Commission, but ground-floor non-retail and office density limits (L) may not be waived.

“
*Allow for development to
 be favorable to small, local
 businesses*

”
 - Workshop #3 Participant

Independent Retail

Independent retailers play an important role in the vitality of downtown and the unique character of Menlo Park. Community representatives have expressed a desire to promote independent retailers, particularly in the downtown and station areas. The Specific Plan supports independent businesses by increasing demand for their goods and services and by limiting the size of certain categories of uses that might compete with independent businesses.

Context

During the Specific Plan process, concerns were raised about the future of downtown’s independent businesses. In the short term, some independent retailers may struggle or even fail due to the dramatic drop in consumer spending in the current recession. Unlike larger retailers, these businesses do not typically have large cash reserves, and cannot easily obtain or extend credit to ride out a sustained economic recession. The independent retailers that are able to survive the tremendous competition from internet sales, discount retailers and big-box stores, as well as the current economic woes, will be those businesses that have a large, loyal and local consumer base, and a reasonable rent structure. The real strengths of successful small independent retail revolve around specialization, differentiation and finding profitable, defensible and sustainable niches.

A common concern is that if independent retailers fail, national retail chains occupy the places left vacant. However, simply because spaces become available does not guarantee that they will be occupied by national retailers as the space needs of national retailers are different from the needs of independent retailers. In downtown Menlo Park, in particular, opportunities to accommodate larger format stores are limited. These types of retailers typically prefer regionally positioned locations on El Camino Real, which has much higher traffic counts, greater visibility and various redevelopment opportunities to accommodate their marketing needs.

Increasing Demand

One of the best ways to protect existing downtown businesses is to increase the supply of local shoppers by encouraging more residential development in the downtown and station areas. Downtown districts with large resident populations can help support convenience and specialty retail. Many households seek to reduce the amount of time spent on congested roadways for non-commute trips. For these types of residents, areas with abundant retail and services like downtown Menlo Park are attractive places to live and shop.

Regulating Uses

The Specific Plan proposes two ways to regulate competition from formula or chain retailers and to limit competition for space from non-retail uses, such as banks: 1) limit the size of particular establishments, and 2) limit the location of particular establishments. As noted previously, the Specific Plan establishes size limits for certain types of uses, as summarized in Table E1. This discourages larger chain retailers from locating in the downtown and station areas. The plan also limits ground-floor uses in the Downtown/Station Area “Main Street” retail/mixed use designation to primarily retail and restaurant uses. The Specific Plan includes use limits and also suggests that the City continue to monitor changes in the composition of uses over time and, as necessary, institute additional regulations that restrict formula or chain retailers.

“
*Make downtown housing
sized for walkable buyers*

”
- Workshop #3 Participant

Market Place Concept on Chestnut Street

One concept included in the Specific Plan is a permanent market place on either side of Chestnut Street south of Santa Cruz Avenue. The intent of the market place in this locale is to reinforce and activate this area as the center of downtown, in conjunction with the network of paseos, widened sidewalks, pocket parks and the Central Plaza.

In general, the terms “public market”, “market place” or “market hall” describe a wide range of development projects, and they can be designed to encompass a range of uses consistent with the goals of the community and real estate market conditions. A public market typically consists of a single building with a variety of small- to- mid-sized retailers (often food-related) and restaurants.

The Emerybay Public Market in Emeryville, for example, focuses almost exclusively on prepared foods for immediate consumption, functioning as an upscale food court. The Emerybay Public Market is relatively large, incorporating approximately 20 unique food vendors representing a variety of cuisines. As another example, the Market Hall in the Rockridge district of Oakland focuses on grocery-related uses, including a wine store, bakery, pasta store, fish and meat market and produce market, as well as a restaurant and florist. Another example is the Ferry Building Marketplace in San Francisco. This project is significantly larger, has a greater focus on prepared food and restaurants, and incorporates a national retailer that specializes in gourmet cooking utensils and appliances (Sur La Table). The project also successfully accommodates three weekly farmer’s markets on plazas outside the building, including a large farmer’s market on Saturday.

“
*Love all the great, creative,
bold ideas like the covered
market, pocket parks, plazas*

”
- Workshop #3 Participant

“
*Landmark destinations are
important*

”
- Workshop #3 Participant

A market place in Menlo Park needs to be tailored to the local market and existing character of the downtown and a program needs to be more effectively defined at the time that the City solicits a developer for the project. It should be relatively small (4,000 square feet or so) and complement the successful Sunday morning Farmer’s Market, as well as nearby Draeger’s Market and Trader Joe’s that provide an excellent foundation for the many functions typical of a market hall. For example, a Menlo Park market place could include uses similar to those of the Emerybay Public Market, offering a range of food stalls that cater to a variety of tastes. A project of this type would appeal to both local residents (especially families) and daytime office workers, and provide increased local foot traffic to benefit other retailers in the downtown.

If the community decides to pursue this type of improvement, the City should engage a consulting firm, or perspective developer, to work with the community in determining the appropriate size, character and tenant mix of such a facility, with the primary goals of increasing foot traffic and complementing both existing grocers and the weekly Farmer’s Market. If pursued, the City can prepare a Request for Proposal (RFP) for distribution to perspective consulting firms or developers.

Non-Parking Improvements on Downtown Parking Plazas

The Specific Plan calls for enhanced public spaces and increased development intensities to increase downtown vibrancy, foot traffic and transit use. The plan considers the publicly-owned parking plazas as opportunities for public open space and selective infill, including retail and residential, in conjunction with new parking structures that satisfy parking demand in downtown Menlo Park for both visitors and employees. In all cases, parking in support of businesses must be the City's top priority when considering how, when and if to pursue development on public parking plazas.

The Specific Plan allows for non-parking uses on City-owned lots. Depending on the exact type of improvement, the change could potentially require approval by a majority of the property owners in the former parking assessment district that originally acquired and improved the parking plaza parcels. If the community decides it is in the city's best interest to enhance the parking plaza parcels with new improvements, it can prepare a Request for Proposal (RFP) for distribution to perspective developers. Prior to issuing the RFP, it is important that the City have a parking strategy in place to ensure an adequate parking supply; be clear on what it wants in public benefits from such a deal; and conduct an economic analysis to properly structure such an arrangement. Based on market conditions and limitations on the amount of development that is allowed, it is unlikely that a private developer would be willing to construct a parking structure for public use. At the point of a specific proposal, the City should verify whether approval of the former parking assessment district property owners is required.

E.3 DEVELOPMENT STANDARDS AND GUIDELINES

The Specific Plan uses a combination of both standards and guidelines to manage the design and construction of new buildings. The standards and guidelines are intended to encourage infill development on underutilized parcels of land while respecting the smaller scale, fine grain character of the downtown and the Specific Plan area's proximity to existing residential uses.

Standards are the rules that new development is required to follow. Standards set the basic framework within which new development takes place, regulating building placement, size and height through objective and measurable rules. Guidelines serve to encourage features of good design and may include elements that are not as easily defined or measured but are essential to creating an overall character within the Specific Plan area. Standards and guidelines are both critical elements in the review of new development. Development projects will be required to adhere to applicable standards, while consistency with applicable guidelines will be a key component of the discretionary review of a development proposal.

The categories of standards included in the Specific Plan are listed below, followed by a discussion of each category and its general applicability. The discussions incorporate applicable guidelines. Section E.4 “Zoning Districts” applies specific standards to individual zoning districts.

- Intensity
- Height
- Building Setbacks
- Building Massing and Modulation
- Building Ground Floor, Entry and Retail Frontage Treatment
- Parking
- Private Open Space
- Sustainable Practices

Two of the above listed standards; intensity and height, are key factors in establishing the overall size of buildings. In the Specific Plan, they are used to help define the character of the El Camino Real corridor, station area and downtown by highlighting those areas where higher intensities and heights serve to enhance vibrancy, support transit use, and encourage the redevelopment of underutilized properties, as well as to enhance and protect those areas where it is important to strengthen the existing smaller scale, fine grain pattern of development. Table E2 summarizes the intensity and height standards for all of the zoning districts within the Specific Plan area in order to highlight the relationships between the different areas.

Development Standards									
			DEVELOPMENT INTENSITY			BUILDING HEIGHTS			
AREA			LAND USE	FAR*	DU/ACRE	HEIGHT MAX.	FAÇADE HEIGHT MAX.		
El Camino Real	El Camino Real North	ECR NW	El Camino Real North-West	Mixed Use/ Residential	1.10 (1.50)	25.0 (40.0)	38'	N.A.	
		ECR NE-L	El Camino Real North-East - Low Density	Mixed Use	0.75 (1.10)	20.0 (30.0)	38'	30'	
		ECR NE	El Camino Real North-East	Mixed Use	1.10 (1.50)	25.0 (40.0)	38'	N.A.	
		ECR NE-R	El Camino Real North-East - Residential Emphasis	Mixed Use/ Residential	1.10 (1.50)	32.0 (50.0)	38'	N.A.	
	El Camino Real South	ECR SW	El Camino Real South-West	Mixed Use/ Residential	1.10 (1.50)	25.0 (40.0)	38'	30' (rear side)	
		ECR SE	El Camino Real South-East	Mixed Use/ Residential	1.25 (1.75)	40.0 (60.0)	60	45'	
Station	SA W	Station Area West	Retail/ Mixed Use	2.00 (2.25)	50.0 (60.0)	60'	45'		
	SA E	Station Area East	Retail/ Mixed Use	1.35 (1.75)	50.0 (60.0)	60'	45'		
Downtown	DA	Downtown Adjacent	Office/ Residential	0.85 (1.00)	18.5 (25.0)	38'	30'		
	D	Downtown Santa Cruz Avenue	Retail/ Mixed Use	2.00 (2.25)	25.0 (40.0)	38', 48' for Parking Plazas 1 & 3	30', 38' for Parking Plazas 1 & 3		

*Specific Plan limits the amount of general office allowed and the amount of medical office, based on community concerns, to the following:

Office, General - shall not exceed one half of the base FAR or public benefit bonus FAR

Office, Medical and Dental - shall not exceed one third of the base FAR or public benefit bonus FAR

FAR and DU/acre include both Base and Public Benefit Bonus standards, discussed in more detail in Section E.3.1 "Intensity"

Table E2. Development Standards and Guidelines

E.3.1 Intensity

The Specific Plan defines the permitted development intensity using both the floor area ratio (FAR) system and, for residential uses, dwelling units per acre, also referred to as density. FAR, which determines the amount of building permitted on a parcel, is the ratio of gross floor area of all buildings and structures to lot area, expressed in square feet. Gross floor area is defined in Section 16.04.325 of the Zoning Ordinance, and includes detailed descriptions of what portions of a building are included and excluded in the calculation of gross floor area. Density is the ratio of dwelling units to lot size, expressed in acres.

Table E2 and Figure E3 depict a base FAR and density and a public benefit bonus FAR and density for each of the Specific Plan Zoning Districts. The base figures represent FAR and density that are permitted under the Specific Plan. The difference between the base amounts and the public benefit bonus amounts represent the amount of intensity that could be achieved by a developer in exchange for more housing or other public benefits (explained below). Under no circumstances may development exceed the public benefit bonus FAR and density amounts shown in Table E2 and Figure E3.

The allowable FARs and densities reflect the community preferences and comfort as explored through the planning for this Specific Plan. At the three community workshops, participants commented on overall building character for the plan area, as depicted in precedent photographs, photo-montages, sections and sketches, and indicated their preferences. Examples of precedent photographs and photo-montages appear to the right. Simultaneously, the consultant team conducted a market analysis to understand market demand for various uses (summarized in Chapter B “Plan Context”); site accommodation studies to test potential development programs, reflecting community input, on representative parcels; and a planning-level financial pro forma to gauge project viability and financial return of various development programs. This iterative process of presenting at community workshops, analyzing, refining and presenting again resulted in development prototypes, inclusive of building setbacks, upper-story setbacks and heights, as reflected in this Specific Plan. The final step was to “translate” the prototypes into allowable development FARs and densities (dwelling units per acre or DU/Acre), as depicted in Table E2 and Figure E3.



Santa Cruz Avenue at Curtis: 2-3 stories



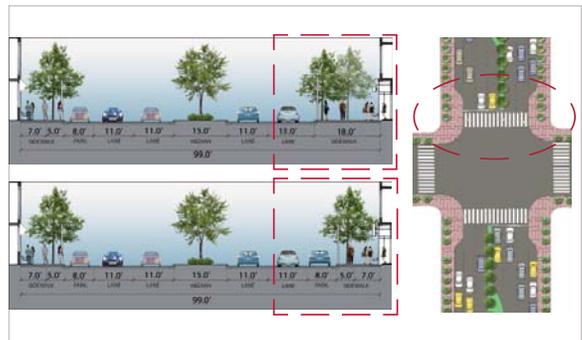
Santa Cruz Avenue at Curtis: 3-4 stories



At Valparaiso looking south: 2-3 stories



At Valparaiso looking south: 3-5 stories



Examples of photo-montages, precedent photographs, sections and plan views as used in a community workshop to depict possible building character, height and massing and street improvements

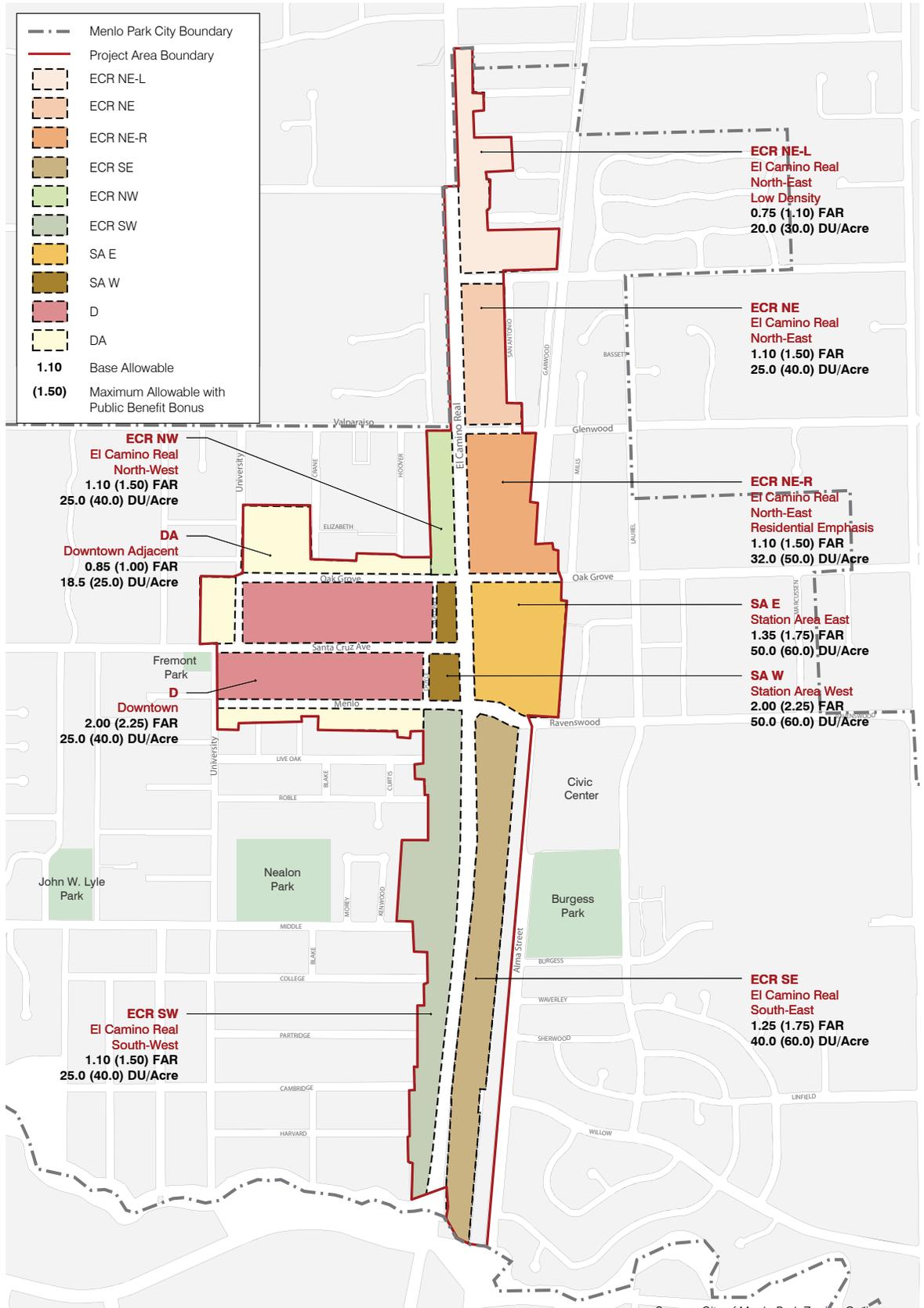


Figure E3. Development Density and FAR Map

In addition to reflecting community input, the Specific Plan's increased allowable FARs and density also help achieve several plan goals, including: stimulating redevelopment of underutilized parcels; activating the train station area and increasing transit use; enhancing downtown vibrancy and retail sales; and increasing residential opportunities. The plan FARs and density help finance public improvements (e.g. streetscape improvements) and produce more Below Market Rate (BMR) housing. They also increase the potential value to be shared between the City and private developers in terms of public benefits.

The Specific Plan places the highest intensity of development around the train station, consistent with goals mentioned in the paragraph above. It also focuses higher development intensities on the parcels on the east side of El Camino Real south of Ravenswood Avenue. These larger parcels can accommodate more development, and they are isolated from adjacent residential neighborhoods by El Camino Real to the west and the railroad tracks and Alma Street to the east. The plan also emphasizes residential uses closest to downtown and the train station.

In addition to the base FAR and public benefit bonus FAR summarized in Table E2 and Figure E3, the Specific Plan limits the amount of business and professional office allowed, similar to existing City policy, and the amount of medical and dental office, based on community concerns, to the following:

- Office, Business and Professional - shall not exceed one half of the base FAR or public benefit bonus FAR (whichever is applicable); and
- Office, Medical and Dental – shall not exceed one third of the base or public benefit bonus FAR (whichever is applicable).

“
*Keep the village feel but with
more vibrancy*

”
- Workshop #3 Participant

Public Benefit Bonus and Structured Negotiation

A public benefit bonus is the additional development permitted beyond the base intensity for a project in exchange for public benefit. It is important to note that the potential value to be shared from private developers will vary on a case-by-case basis and fluctuate over time, depending on market conditions, construction costs, land costs, lot size and configuration, among other variables. In some cases, developers may choose to forgo the public benefit bonus because of perceived costs and risks.

Two common approaches for sharing the benefits of increased development include bonuses for on-site improvements and bonuses achieved through individual developer “structured” negotiations. These two approaches are distinct from, and not to be confused with, impact fees on development, which have a direct link between the proposed fee and specific impacts of the project (e.g. more residents equal more need for parks).

The first bonus approach, for on-site improvements, is a prescriptive one and clearly stated, with a specific amount of additional FAR (e.g. 0.5) or density granted to a developer in exchange for a specific on-site benefit (e.g. publicly-accessible open space). This approach provides more certainty for both the community and developer. However, due to the variety of site conditions and vagaries of the market place as summarized above, developing such a prescriptive approach can be challenging.

“

Encourage new development

”

- Workshop #3 Participant

“

Certain amenities might be considered community investments and funded through taxes to preserve character

”

- Workshop #3 Participant

Individual Developer Structured Negotiation

The Specific Plan recommends an individual developer structured negotiation approach, for the sharing of the benefits from increased development above the base FAR and/or density. This approach is the most flexible and effective way to negotiate contributions from developers. The downside is that it creates some uncertainty and often delays the approval process, which can increase cost and risk for developers.

Like the first approach, the structured negotiation approach works best when desired improvements are clearly understood by potential developers. Based on community input and Specific Plan goals, an intensity bonus, achieved through a structured negotiation, could be considered for:

- Senior Housing
- Additional Residential Units, including affordable units, and/or lower affordability levels, particularly in areas nearest the station area/downtown (see Figures C3 and C5)
- Hotel Facility, which generates higher tax revenue for the City while also enhancing downtown vibrancy
- Platinum LEED Certified Buildings, which exceeds the policy recommendations for sustainable practices found in Section E.3.8 “Sustainable Practices”
- Preservation and reuse of historic resources.

The City can refine this approach over time by establishing general expectations for public benefit levels and identifying other desired improvements throughout the Specific Plan area. In addition, the City could negotiate other non-specific contributions from developers, to be made to a “public amenity fund” (see Chapter G “Implementation”). Such a fund could be used to finance public improvements in downtown, such as widened sidewalks.

E.3.2 Height

Based on community input, the Specific Plan allows for buildings up to 38 feet tall in most locations and up to 60 feet in selected locations, principally in the station area and along the eastern side of El Camino Real south of Ravenswood Avenue. Figure E4 illustrates allowable maximum building heights in the Specific Plan area.

A 38 foot height limit can accommodate a two story commercial building or commercial mixed-use building (e.g. office above ground-floor retail) or a three story residential or residential mixed-use building (e.g. residential above ground floor retail). The need for taller interior heights in commercial buildings effectively reduces the number of stories that can be accommodated. The 38 foot height limit is generally consistent with the 35 foot height limit currently found in many of the neighborhoods adjacent to the Specific Plan area. The plan also accommodates slightly taller buildings (up to 48 feet tall) on the public parking plazas in downtown if the community chooses to develop these sites. Such a height limit could accommodate, for example, a parking garage with housing above.

A 60 foot height limit can accommodate a four story commercial building or commercial mixed-use building or a five story residential building or residential mixed-use building. In general, higher intensity development and taller buildings can enhance downtown vibrancy, support transit use, increase housing supply and make redevelopment of underutilized lots more attractive. The 60 foot height limit is similar to some existing buildings within the Specific Plan area, including Menlo Center at 46 feet tall and the building at 800 El Camino Real at 56 feet tall.

“
Support increased heights so long as architectural style of the 4-5 story buildings is diverse and not solid dark lumps

”
- Workshop #3 Participant

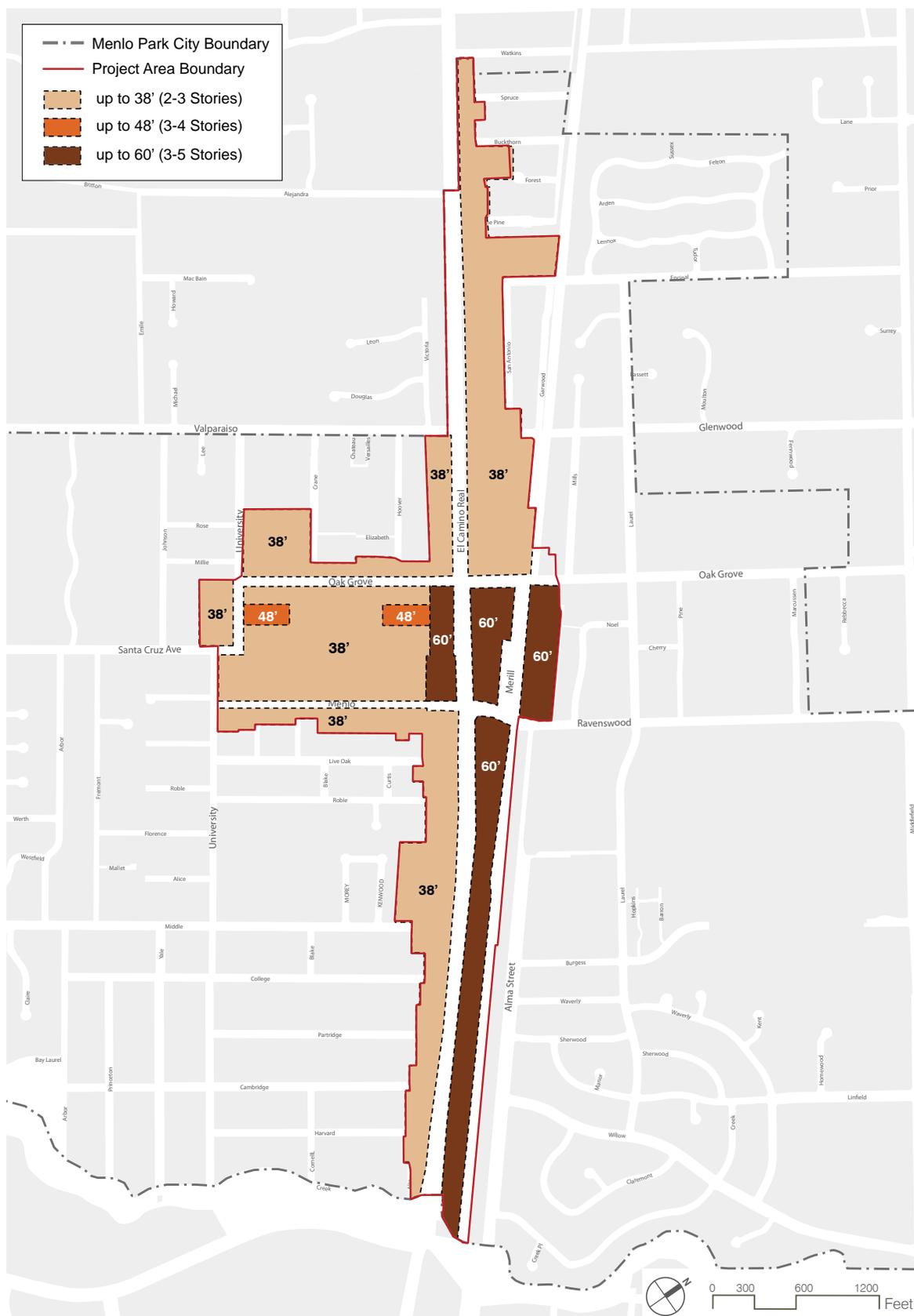


Figure E4. Maximum Building Heights

In addition to overall building heights, the Specific Plan includes standards for maximum façade heights along public rights-of-way, sidewalks and other public spaces and sensitive areas. The limits on façade heights help to mitigate the visual impact of taller buildings. Additionally, upper floor setbacks and massing and modulation controls will be required as discussed in E.3.3 “Setbacks” and E.3.4 “Building Massing and Modulation”. Similar to current height regulations, rooftop and mechanical equipment and solar panels would be allowed to exceed the height limits provided they are screened from view and integrated into the design of the building.

At the three community workshops in 2009, the community generally accepted taller buildings, as noted, with the strong proviso that building massing is modulated. Standards and guidelines presented in Section E.3.4 “Building Massing and Modulation” help to effectively address massing, resulting in development programs that allow for taller buildings to be arranged in a vertical format, for example a narrower five-story building with adjacent open space, rather than a horizontal format, such as a long three-story building with no adjacent open space.

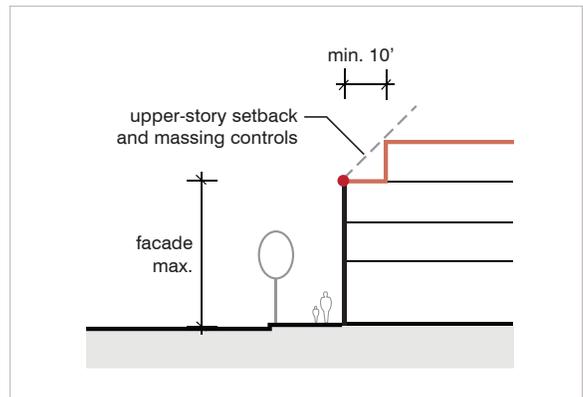


Figure E5. Upper-story setbacks and maximum facade height

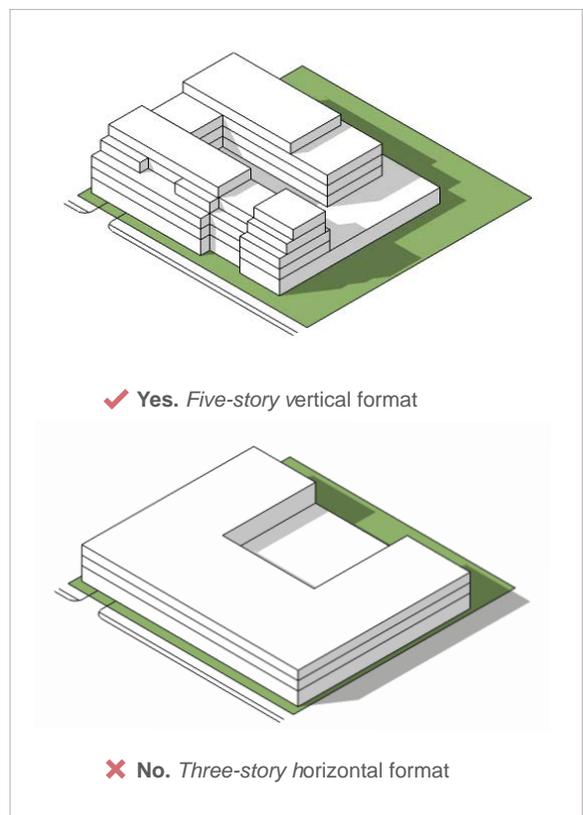


Figure E6. For a given program coupled with effective standards to modulate massing, taller buildings allow for a given development program to be arranged in a vertical format rather than a horizontal format

E.3.3 Building Setbacks

The Specific Plan uses several methods for controlling building placement within the plan area, with a focus on strengthening historic patterns while creating opportunities for widened sidewalks, plazas and landscaped open spaces. The most common of those methods is the use of setbacks which is the focus of this section. The Specific Plan also uses other techniques such as building breaks and façade modulation which are addressed in Section E.3.4 “Building Massing and Modulation”.

Setbacks are used to establish the minimum, and in some cases maximum, distance between a property line and wall of a building. The minimum and maximum setbacks provide flexibility to allow each development to optimize the building placement according to a specific situation such as sidewalk condition or ground floor use. Setbacks can serve multiple purposes including helping to define a street edge, providing adequate space for sidewalks, plazas and landscaped open spaces, and helping to manage building design and massing to ensure buildings fit well within the context of their specific location. Setbacks along a public right-of-way help establish the character of a street and neighborhood. Most buildings in Menlo Park are parallel to the street and have a consistent setback. Buildings in the downtown area and along El Camino Real closest to downtown have minimal or no setbacks, which is consistent with the historic character of the area. Newer developments along El Camino Real have larger setbacks.



Building placement with minimum setback helps define street edge and establish a downtown character (San Jose, California)



Building placement with larger setback (Santa Cruz, California)



Building placement with treatment (Emeryville, California)

“
*We need design guidelines
 so there is enough
 detail – not dull blocks of
 urban structures – need
 landscaping and setbacks*
 ”

- Workshop #1 Participant

Buildings with minimal setbacks have a special relationship with the sidewalk and street. In these cases, buildings frame the street and form a well defined street edge. Activities within the building, if seen, particularly at ground level, can provide visual interest and a degree of safety to passersby. Activities outside the building, such as outdoor dining, can enliven adjacent sidewalks. These are desirable attributes in areas with high levels of activity such as the downtown and station area. Other areas, such as the northern and southern portions of El Camino Real can benefit from greater setbacks as a way to help widen sidewalks and provide plazas and landscaped open spaces. This is particularly true of the east side of El Camino Real (outside of the station area) where parcels are deeper and can accommodate wider sidewalks. Where larger setbacks are established, the Specific Plan also requires wider sidewalks with differentiated clear zones for walking and for furnishings (see Chapter D “Public Space”, Guidelines D.2.07 through D.2.14).

Figure E7 depicts front and corner side setbacks for the Specific Plan area that maintain and enhance existing patterns. The Specific Plan places buildings close to the street with no or minimum setbacks in the downtown and station area to help create a strong street edge or street wall. One exception to this is for El Camino Real within the Station Area where setbacks are established that allow for widening the sidewalks along El Camino Real between Oak Grove Avenue and Menlo Avenue, consistent with setbacks for other sections of El Camino Real. The Specific Plan calls for a range of setbacks in other areas.

Specific front, side (both interior and corner), rear and upper story setbacks for each Zoning District are provided in Section E.4 “Zoning Districts”. Similar to front setbacks, side, rear and upper floor setbacks provide adequate space for plazas and landscaped open spaces and help to manage building design and massing to ensure buildings fit well within the context of their specific location. Upper floor setbacks in particular help to mitigate the visual impact of taller buildings and to reduce building scale.

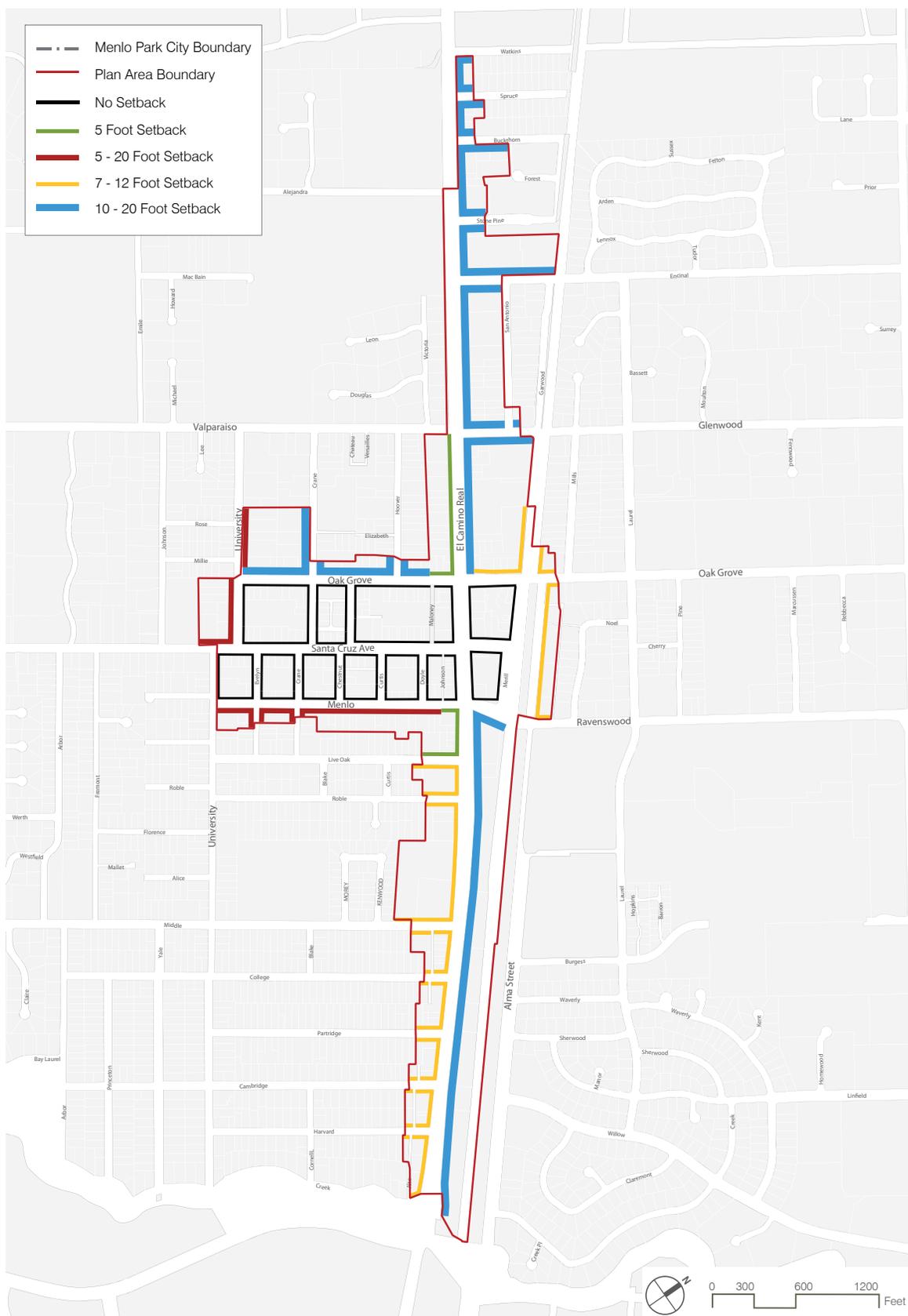


Figure E7. Building Placement Setback

In order to allow for features that help articulate the building design and provide for necessary operational features such as mechanical equipment, the Specific Plan allows for some variations and encroachments in the required setbacks as noted below. Section E.4 identifies the specific zoning districts where these may be applied.

- In areas where no or a minimal setbacks is required, limited setbacks may be allowed for store or lobby recesses and to create additional outdoor seating opportunities.
- Volumetric projections, such as bay windows, may encroach into the sidewalk clear walking zone, public right-of-way or public spaces a maximum of 6 feet from the building face provided they have a minimum 8 foot clearance above the sidewalk clear walking zone, public right-of-way or public space and the total area of the volumetric projections shall not exceed 35% of the building façade built at the property or setback line.
- Canopies and awnings may project beyond the property or minimum setback line a maximum of 6 feet from the building face provided they have a minimum 8 foot clearance above the sidewalk, public right-of-way and other public spaces.

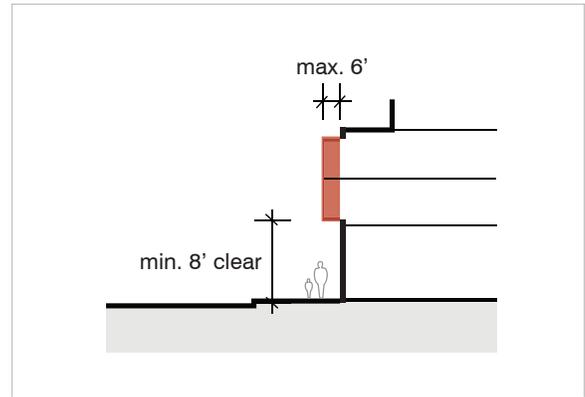


Figure E8. Volumetric projections

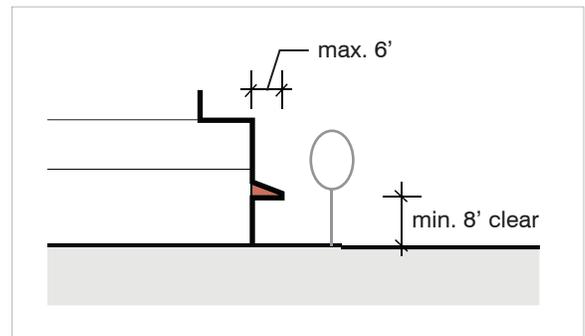


Figure E9. Canopies/awnings projection dimensions

E.3.4 Building Massing and Modulation

The Specific Plan’s standards and guidelines for building massing and modulation help to reduce the monolithic character of a building, ensure that all new buildings complement the existing character of the area, ensure appropriate transitions to adjacent neighborhoods and provide variety and visual interest. The standards and guidelines address a building’s relationship with the street and other public spaces as well as its relationship to adjacent buildings and uses. The following guidelines establish overall concepts for consideration of building massing and modulation.

Guidelines

E.3.4.01 Buildings should be sensitive to the scale and character of adjacent buildings on rear property lines.

E.3.4.02 Buildings should complement the low-scale, horizontal character of the Specific Plan area, and ensure a basic horizontal articulation, by differentiating the ground floor from the upper floors or roof.

E.3.4.03 Buildings should consider sun shading as part of a modulation and articulation strategy.

E.3.4.04 Buildings downtown should maintain a tight and varied rhythm of façades compatible with the existing character. In particular, they should relate to the typical 50 foot wide parcel width through building vertical modulation and façade articulation. Such techniques could include the use of change in façade rhythm, façade recesses, or change in materials or color.

E.3.5.05 Potential future developments or parking garages on downtown parking plazas should integrate with adjacent existing buildings and avoid monolithic massing by employing modulation strategies.



Guideline E.3.4.03. Sun shading (Mountain View, California)



✗ No. Monolithic character of building

“
Want variability along length
of buildings, not just a long
wall
”

- Workshop #3 Participant

“
Varied massing is important
”

- Workshop #3 Participant

Building massing and modulation considers both vertical and horizontal modulations. The modulation of buildings refers to change or variety across a building plane to provide distinction in the building as well as provide visual interest. Vertical modulation is the introduction of façade articulation that creates a rhythm or pattern across the façade of a building. Horizontal modulation provides visual clarity between ground floors, upper stories and roofs. The Specific Plan incorporates four standards that help to accomplish vertical and horizontal modulation: building and frontage breaks, façade modulation, building profiles and bulk.



Figure E10. Example of facade modulation (Denver, Colorado)

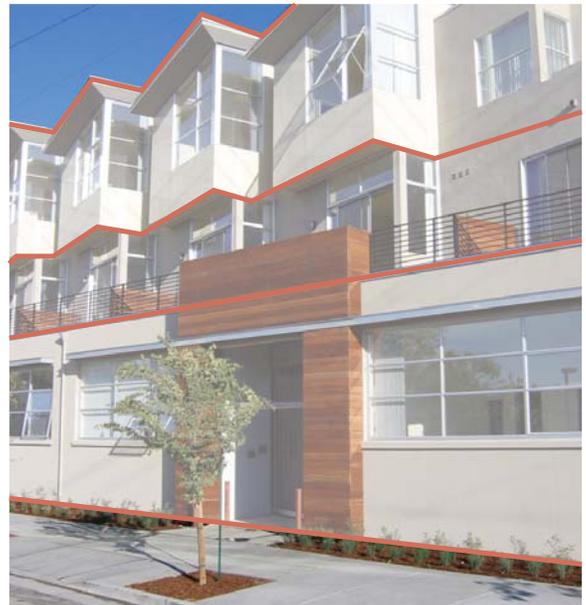


Figure E11. Example of facade modulation (Emeryville, California)



Building with vertical modulation (Menlo Park, California)

Building and Frontage Breaks

Building and frontage breaks are visual breaks in the building plane that provide for additional street edge modulation, variety and visual interest and help to avoid excessive uninterrupted facades. The building and frontage breaks extend through the entire property and act to separate buildings and create open spaces. Building and frontage breaks are more appropriate along El Camino Real than in the station area or downtown given the potential for development of larger buildings on larger parcels of land. With the exception of the southeast area of El Camino Real (where breaks are required), building and frontage breaks are encouraged, especially in cases where parcels are merged into larger tracts of land. If breaks are included in the design, the breaks are limited to a maximum of 50 feet in width for a single break and 25% maximum of the parcel frontage for all breaks. Section E.4 “Zoning Districts” identifies the zoning districts in which building and frontage breaks are encouraged.

As noted above, the El Camino Real Southeast Zoning District (ECR SE) is a unique area because, with the exception of one small parcel, it is owned by three entities, including Stanford University. Stanford University owns the southern two-thirds of the area or 12.8 acres, and it intends to prepare a comprehensive plan for the 8.5 acres of its site north of the Stanford Park Hotel once ground lease agreements have expired. In addition, this area is unique because the rear edges of the properties are bordered by the railroad tracks and Alma Street providing a large buffer to neighborhoods directly to the east. The Specific Plan includes requirements for breaks between buildings to break up building mass and to provide publically accessible open space, essential linkages and an improved pedestrian environment. In this area, breaks are required to be a minimum of 50 feet in width as illustrated in Figure E12 as opposed to a maximum of 50 feet in width in other zoning districts. The specific building break requirements are provided in the ECR SE District in Section E.4. In addition, Figure E12 provides a diagram of required and recommended building breaks that are aligned with streets on the west side of El Camino Real.



Frontage break (Victoria, British Columbia)



Publicly-accessible open spaces providing seating areas, planting and shade (Portland, Oregon)

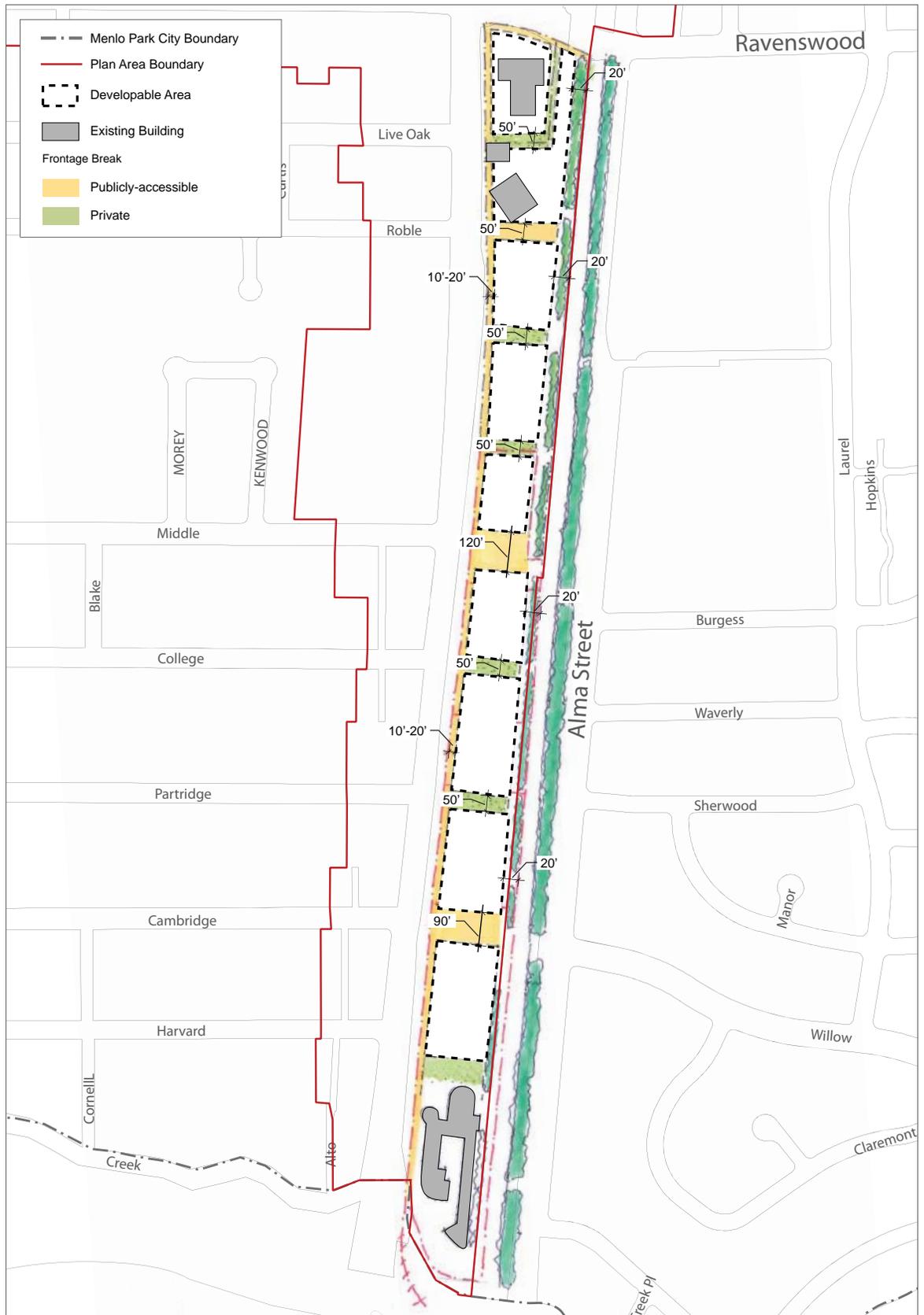


Figure E12. El Camino Real South/Stanford Property

Façade Modulation

The Specific Plan includes standards that require larger developments to avoid long stretches of continuous or monotonous street frontage and provide visual interest by varying the building façade. Specifically, all zoning districts include a requirement that building facades in excess of 100 feet in length provide a change such as a recess, projection, or change in materials and/or colors, with the exception of downtown, where the limit is 50 feet. The change in the façade is required to be a minimum of 4 feet in depth and 6 feet in width. The 50 and 100 foot dimension are based on the analysis of existing buildings commonly found in the area. The requirement would provide particular benefit for development on larger parcels, such as the Stanford University-owned property on El Camino Real.

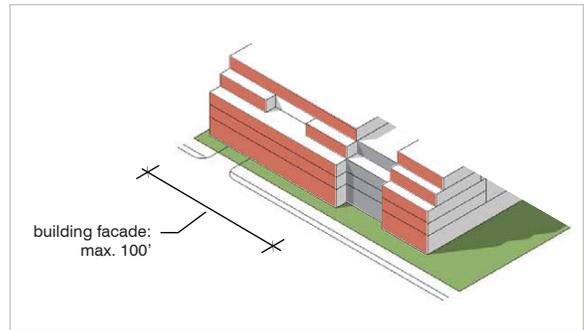


Figure E13. Building facade main plane maximum



✗ No. Continuous street frontage
(Redwood City, California)



✓ Yes. Varied building facade main plane
(Kirkland, Washington)

Figure E14. Vary building facade main plane

Building Profiles

The Specific Plan includes a standard for a building profile at upper stories that would require a building to comply with a 45-degree building profile for all portions of a building above the façade maximum height specified for the zoning district. Figure E15 demonstrates the 45-degree building profile. Similar to the height restrictions, the Specific Plan includes allowed encroachments for rooftop mechanical equipment, solar panels and balconies.

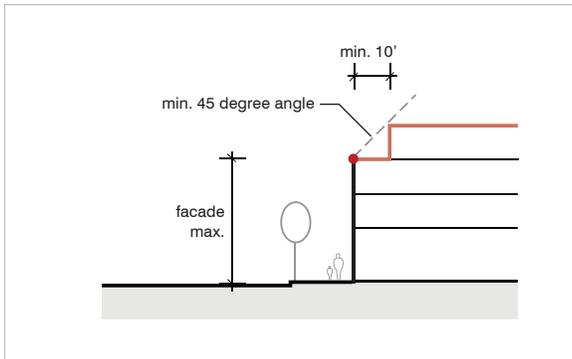


Figure E15. 45-degree building profile at upper stories

Bulk

The bulk standard addresses the potential visual impact of taller buildings' upper floors by requiring buildings to comply with a maximum dimension for stories above a certain height. To further integrate future developments, the Specific Plan's standards include bulk controls for a building's upper stories above 45 feet in Figure E16.

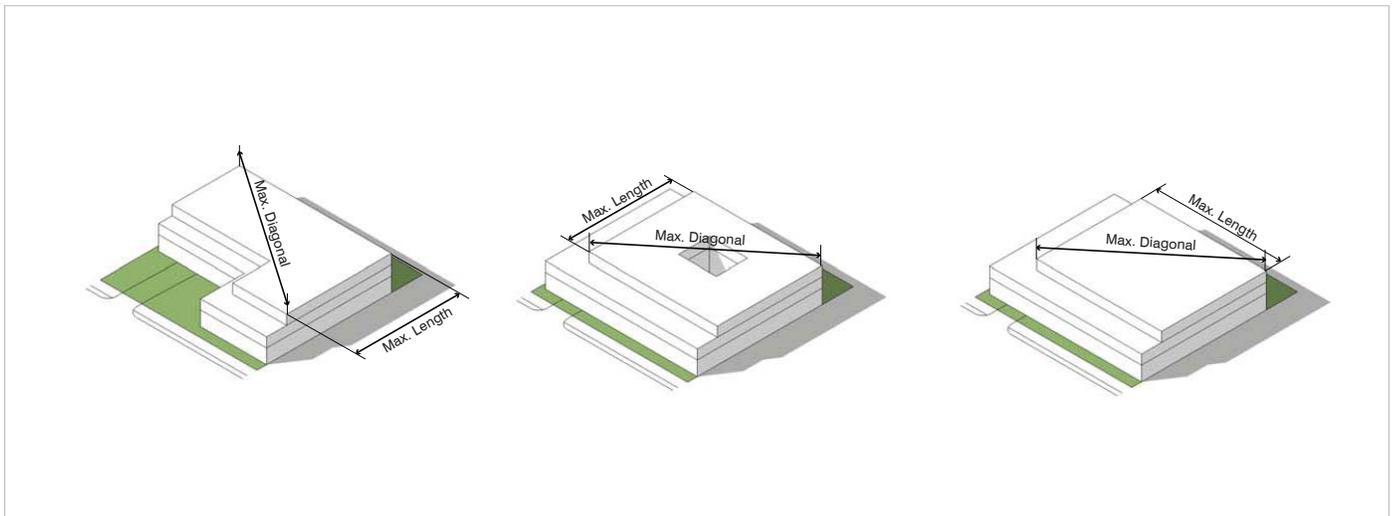


Figure E16. Bulk standards

E.3.5 Building Ground Floor, Entry and Retail Frontage Treatment

A building's ground floor is the portion of the building most experienced by the pedestrian. Its treatment can affect the overall experience and feeling of safety of the passerby. Well designed ground floor treatments, building entries and retail frontage help ensure a pleasant and safe pedestrian experience and help create a successful retail environment and an appropriate transition between buildings and sidewalks and other public places. The careful design of these features, either in isolated locations or along a shopping street such as Santa Cruz Avenue, is an essential component to overall building design.

The Specific Plan encourages use of the following guidelines in order to maximize the strategies that lead to a vibrant and welcoming street and successful retail environment.

Guidelines

Ground Floor Treatment

E.3.5.01 Buildings should orient ground-floor retail uses, entries and direct-access residential units to the street.

E.3.5.02 Buildings should activate the street by providing visually interesting and active uses, such as retail and personal service uses, in ground floors that face the street. If office and residential uses are provided, they should be enhanced with landscaping and interesting building design and materials. Blank walls at ground floor are discouraged and should be minimized.

E.3.5.03 For buildings where ground floor retail, commercial or residential use are not desired or viable, other project-related uses, such as a community room, fitness center, daycare facility or sales center, should be located at the ground floor to activate the street.



Well designed ground floor treatment and retail frontage ensuring a pleasant and safe pedestrian experience (Vancouver, Canada)



Guideline E.3.5.01. Ground-floor uses and entries oriented to the street (Portland, Oregon)



Guideline E.3.5.02. Active uses at ground-floor (San Francisco, California)



Guideline E.3.5.07. *Ground floor visual permeability (Portland, Oregon)*



Guideline E.3.5.09. *Example of awning integrated into overall building design*

E.3.5.04 Larger developments should avoid a long stretch of continuous or monotonous street frontage and provide visual interest by varying the building façade main plane. When unavoidable, continuous lengths of blank wall at the street should use other appropriate measures such as landscaping or artistic intervention.

E.3.5.05 The retail or commercial ground floor shall be designed for optimal flexibility.

E.3.5.06 Residential units located at ground level should have their floors elevated above street level for better transition and privacy, provided that local accessibility codes are met.

E.3.5.07 Buildings should provide ground floor transparency (i.e., windows) for retail uses, office uses and lobbies to enhance the visual experience from the sidewalk and street.

E.3.5.08 Buildings should avoid small recesses or setbacks treatments that are conducive to security issues for pedestrians.

E.3.5.09 Canopies and awnings should be integrated to the ground floor and overall building design to break up building mass, to add visual interest to the building and provide shelter and shade.

Building Entries

E.3.5.10 Building entries should be oriented to a public street or other public space. Their treatment should be prominent and visually distinctive from the rest of the façade with creative use of scale, materials, glazing, projecting or recessed forms, architectural details, color, and/or awnings.

E.3.5.11 Multiple entries at street level are encouraged where appropriate.

E.3.5.12 Ground floor residential units are encouraged to have their entrance from the street.

E.3.5.13 For larger residential buildings with shared entries, the main entry should be through prominent entry lobbies or central courtyards facing the street. From the street, these entries and courtyards provide additional visual interest, orientation, and a sense of invitation.

E.3.5.14 Stoops and entry steps from the street are encouraged for individual unit entries when compliant with applicable accessibility codes. Stoops associated with landscaping create inviting, usable, and visually attractive transitions from private spaces to the street.



Guideline E.3.5.12. Ground floor residential units encouraged to have their entrance from the street



Guideline E.3.5.13. For larger residential buildings with shared entries, main entry should be through prominent entry lobbies or central courtyards facing the street (Portland, Oregon)

Retail Frontage



Guideline E.3.5.15. Storefront design consistent with the building's overall design (San Francisco, California)

E.3.5.15 Storefront design should be consistent with the building's overall design and contribute to establishing a well defined ground floor for the facades along streets

E.3.5.16 The distinction between individual storefronts, entire building façade, and adjacent properties should be maintained.

E.3.5.17 Storefront elements (windows, entrances, and signage) should provide clarity and lend interest to facades.

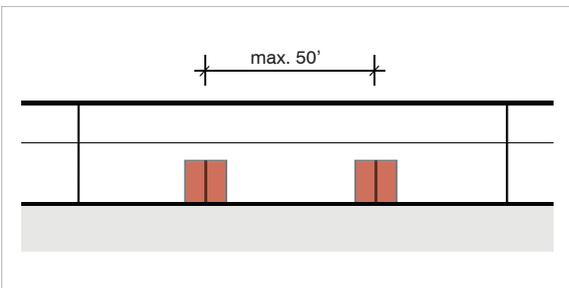
E.3.5.18 Individual storefronts should be clearly defined by architectural elements, such as piers and separations of glass.

E.3.5.19 Ground floor retail should have a primary entry from the sidewalk.

E.3.5.20 All individual retail uses should have direct access from the public sidewalk. For larger retail tenants, entries should generally occur at a minimum of every 50 feet, consistent with the typical lot size in downtown.



Guideline E.3.5.17. Storefront clarity (San Francisco, California)



Guideline E.3.5.20. Retail entries for larger tenants

E.3.5.21 Recessed doorways for retail uses are encouraged and should be a minimum of two feet in depth. Recessed doorways provide cover or shade, help identify the location of store entrances, provide a clear area for out-swinging doors and offer the opportunity for interesting paving patterns, signage and displays.

E.3.5.22 Retail frontage, whether ground floor or upper floor, should have a minimum 50% transparency with clear vision glass; not heavily tinted or highly mirrored glass.

E.3.5.23 Storefronts should remain un-shuttered at night and provide clear views of interior spaces lit from within. If storefronts must be shuttered for security reasons, the shutters should be located on the inside of the store windows and allow for maximum visibility of the interior.

E.3.5.24 Storefronts should not be completely obscured with display cases that prevent customers and pedestrians from seeing inside.

E.3.5.25 Signage should not be attached to storefront windows.



Guideline E.3.5.21. Recessed doorways (Vancouver, Canada)



Guideline E.3.5.22. Clear vision glass for retail frontage (Los Angeles, California)

E.3.6 Parking, Service and Utilities

This section addresses the design-related aspects (i.e., elements that could affect the orientation and footprint of a building) of parking, related service access and utilities for private development. The overall objective of these guidelines is that parking, service access and utilities be carefully considered to improve a building's character and to minimize impacts to the pedestrian realm.

Off-street parking standards and policies are described in more detail in Chapter F "Circulation", in particular Sections F.5 – F.7. The following guidelines apply to all zoning districts, although as noted in Chapter F, parcels within the downtown may not be required to provide on-site off-street parking, subject to availability in public facilities.

Guidelines

General Parking and Service Access

E.3.6.01 The location, number and width of parking and service entrances should be limited to minimize breaks in building design, sidewalk curb cuts and potential conflicts with streetscape elements.

E.3.6.02 In order to minimize curb cuts, shared entrances for both retail and residential use are encouraged. In shared entrance conditions, secure access for residential parking should be provided.

E.3.6.03 When feasible, service access and loading docks should be located on secondary streets or alleys and to the rear of the building.

E.3.6.04 The size and pattern of loading dock entrances and doors should be integrated with the overall building design.

E.3.6.05 Loading docks should be screened from public ways and adjacent properties to the greatest extent possible. In particular, buildings that directly adjoin residential properties should limit the potential for loading-related impacts, such as noise. Where possible, loading docks should be internal to the building envelope and equipped with closable doors. For all locations, loading areas should be kept clean.

E.3.6.06 Surface parking should be visually attractive, address security and safety concerns, retain existing mature trees and incorporate canopy trees for shade. See Section D.5 for more complete guidelines regarding landscaping in parking areas.

Utilities

E.3.6.07 All utilities in conjunction with new residential and commercial development should be placed underground.

E.3.6.08 Above ground meters, boxes and other utility equipment should be screened from public view through use of landscaping or by integrating into the overall building design.

Parking Garages

Due to their size, above ground parking garages, whether free-standing or incorporated into overall building design, can be highly visible and affect the character of the surrounding area. Guidelines for parking garages help minimize their visual impact and integrate them into the surrounding area. For guidelines regarding public garages and their relationship to adjacent uses and businesses, pedestrian access, vehicular access and loading areas for businesses, reference Section F.7 “Downtown Parking”, where the topic is discussed in more detail. Additional standards for garages on the public parking plazas are included in the Zoning District table for the Downtown (D) district.

E.3.6.09 To minimize or eliminate their visibility and impact from the street and other significant public spaces, parking garages should be underground, wrapped by other uses (i.e. parking podium within a development), and/or screened from view through architectural and/or landscape treatment. Where appropriate, active retail uses should be placed at the ground floor of a parking garage along the façade facing the street.

E.3.6.10 Whether free-standing or incorporated into overall building design, garage facades should be designed with a modulated system of vertical openings and pilasters, with design attention to an overall building façade that fits comfortably and compatibly into the pattern, articulation, scale and massing of surrounding building character.

E.3.6.11 Shared parking is encouraged where feasible to minimize space needs, and is effectively codified through the plan’s off-street parking standards and allowance for shared parking studies.

E.3.6.12 Lighting in parking garages should provide adequate security, but should be screened and controlled so as not to disturb surrounding properties.

E.3.6.13 A parking garage roof should be approached as a usable surface and an opportunity for sustainable strategies, such as installment of a green roof, solar panels or other measures that minimize the heat island effect.

E.3.6.14 To promote the use of bicycles, secure bicycle parking should be provided at the street level of public parking garages.



Guideline E.3.6.09. Screening of parking garage with seating areas and landscaping (Sacramento, California)



Guideline E.3.6.10. Overall building facade compatible with surrounding building character

“
Develop parking structures
that resemble village
buildings

”
- Workshop #3 Participant

“
We must have some creative
parking structures that can
serve multiple uses, then we
can have more opportunities
for pedestrians on Santa
Cruz

”
- Workshop #1 Participant

E.3.7 Private Open Space

The provision and treatment of private open space on individual parcels can enhance the character of public streets and sidewalks and private development. It can add to available public open space in the area.

The Specific Plan encourages use of the following guidelines when incorporating open space in private developments.

Guidelines

E.3.7.01 Private and/or common open spaces are encouraged as part of building modulation and articulation to enhance building facades.

E.3.7.02 Private developments should provide accessible and usable common open space for building occupants and/or the general public.

E.3.7.03 For residential developments, private open space should be designed as an extension of the indoor living area, providing an area that is usable and has some degree of privacy.

E.3.7.04 Landscaping in setback areas should define and enhance pedestrian and open space areas. It should provide visual interest to streets and sidewalks, particularly where building facades are long.

E.3.7.05 Landscaping of private open spaces should be attractive, durable and drought resistant.



Guideline E.3.7.01. Private or common spaces as part of building articulation



Guideline E.3.7.03. Private open space as an extension of the indoor living area (Cambridge, England)

E. 3.8 Sustainable Practices

Sustainable practices for new construction support community and environmental well-being by utilizing finite resources in a responsible way, creating healthy environments for building inhabitants and minimizing impacts to both natural systems and existing utilities (i.e. water, wastewater and energy systems). The City of Menlo Park supports sustainable practices through its 2009 Climate Action Plan.

Sustainable practices address: 1) the environmental impacts of site development and building construction; and 2) the long-term environmental impacts of the operation of buildings resulting in the emission of greenhouse gases (GHGs), in particular carbon dioxide (CO₂), which is causing the global climate to change. Currently, there are excellent tools to measure ways to reduce environmental impacts caused by building construction, and new tools are emerging to measure greenhouse gas emissions caused by building operations over the long term.

To address impacts caused by construction, the U.S. Green Building Council's (USGBC) Leadership in Energy and Environmental Design (LEED) rating system measures specific site development and new building construction methods related to environmental issues, such as energy savings, water efficiency, CO₂ emissions reduction, improved indoor environmental quality and stewardship of resources and sensitivity to their impacts.

To address GHG emissions, the world's leading green building organizations have agreed to adopt a common global language for the measurement of the carbon footprint of buildings. The "common carbon metric" will be piloted by the leading green building rating tools. This should lead to the cost-effective GHG mitigation potential of buildings, which account for around 40% of the world's energy use and 33% of global GHG emissions.

3.8.1 Measurement Tools

Development and Construction Tools

The LEED program has performance levels from “Certified” to “Platinum” and rating systems that address different types of construction and building operation, including LEED for Neighborhood Development, LEED for New Construction, and LEED for existing buildings, operations and maintenance. Many municipalities in the Bay Area have adopted Green Building Ordinances that require certain levels of LEED certification for different types of projects.

Greenhouse Gases/Carbon Tools

The 2030 Challenge is an initiative by Edward Mazria and Architecture 2030 asking the global architecture and construction community to adopt a series of greenhouse gas reduction targets for new and renovated buildings. Architecture 2030, a non-profit, non-partisan and independent organization established in 2002 by architect Edward Mazria in response to the global-warming crisis, issued the 2030 Challenge. 2030’s mission is to rapidly transform the US and global Building Sector from the major contributor of greenhouse gas emissions to a central part of the solution to the global-warming crisis.

The “carbon metric” measurement device is currently being developed and will be integrated into the LEED program in the future.

3.8.2 Initiatives

Local and regional initiatives address sustainable development and reduction of greenhouse gases.

Local Initiatives

Menlo Park published a Climate Action Plan (CAP) in 2009. The CAP includes recommendations for environmentally responsible development and ways to reduce greenhouse gas emissions. The CAP’s recommendations for sustainable building and development practices refer to a phased program for submittals of Green Building Checklists related to development projects. The CAP also recommends early adoption of the California Green Building Code. However, the City has since learned from recent information released from the California Energy Commission in November 2009 that jurisdictions seeking to amend local ordinances to adopt the State Green Building Code would be required to apply for approval from the Energy Commission. State mandatory compliance will become effective in 2011.

Regional Initiatives

San Mateo County has adopted a Green Building Ordinance that applies to County Buildings only and requires LEED certification. The State of California has adopted a green building code (CALGREEN) which will take effect on January 1, 2011. The CALGREEN Code is a comprehensive and uniform regulatory code for all residential, commercial, hospital and school buildings, and is intended to ensure that every new building in California is built using environmentally advanced construction practices. Among the requirements of the code are the following:

- 20 percent mandatory reduction in indoor water use, with voluntary goal standards for 30, 35 and 40 percent reductions;
- Separate water meters for nonresidential buildings' indoor and outdoor water use, with a requirement for moisture-sensing irrigation systems for larger landscape projects;
- Requiring diversion of 50 percent of construction waste from landfills, increasing voluntarily to 65 and 75 percent for new homes and 80 percent for commercial projects;
- Mandatory inspections of energy systems (i.e. heat furnace, air conditioner, mechanical equipment) for nonresidential buildings over 10,000 square feet to ensure that all are working at their maximum capacity according to their design efficiencies; and
- Requiring low-pollutant emitting interior finish materials such as paints, carpet, vinyl flooring and particle board.

“
I am for progress and new ideas and a “Gold LEED” business area

”
- Workshop #3 Participant

“
Need to be concerned about the greenhouse gas emission increases' impact on climate change. Require green buildings minimum thresholds

”
- Workshop #3 Participant

3.8.3 Recommendations

The Specific Plan recommends that the City adopt the following policies regarding sustainable practices for the plan area. The policies reflect best practices as adopted by other cities. The costs relating to sustainable practices are absorbed by developers, which has become standard practice for developers. However, the policies reflect the potential of financial hardship for smaller buildings by establishing two sets of requirements -- one for larger buildings and one for smaller buildings as noted below.

E.3.8.3.01 The recommendations in Menlo Park's Climate Action Plan (CAP) relating to environmentally responsible construction and development and the reduction of GHG emissions should be supported.

E.3.8.3.02 LEED certification, at a silver level or higher, should be required for the types of projects listed below. The applicable LEED® versions of performance standards are: LEED®- v3 (2009) New Construction; LEED®- v3 (2009) Core and Shell; LEED®- v3 (2009) Schools; and LEED®- v3 (2009) Commercial Interiors. LEED certification, at a silver level or higher, should be required for:

- Newly constructed Group R (Residential) occupancy buildings with three or more dwelling units;
- Newly constructed commercial buildings of Group B (occupancies including among others office, professional and service type transactions) and Group M (occupancies including among others display or sale of merchandise such as department stores, retail stores, wholesale stores, markets and sales rooms) that are 5,000 gross square feet or more;
- New first-time build-outs of commercial interiors that are 20,000 gross square feet or more in buildings of Group B and M occupancies; and
- Major alterations that are 20,000 gross square feet or more in existing buildings of Group B, M and R occupancies, where interior finishes are removed and significant upgrades to structural and mechanical, electrical and/or plumbing systems are proposed.

E.3.8.3.03 Because the development of larger parcels provides the ability to incorporate cost effective carbon reduction features and renewable energy sources, development projects over 4 acres of land should have more stringent sustainability requirements and GHG reduction targets. These could include being certified at a LEED ND (neighborhood development) level of gold, and mandating a phased reduction of GHG emissions over a period of time, such as those prescribed in the 2030 Challenge.

E.3.8.3.04 Because green building standards are constantly evolving, the requirements in this section should be reviewed and updated on a regular basis of at least every two years.

3.8.4 Guidelines

The sustainable guidelines listed below are also relevant to the project area. They relate to but do not replace LEED certification requirements.

Solar Access Guidelines

E.3.8.4.01 Buildings should incorporate narrow floor plates to allow natural light deeper into the interior.

E.3.8.4.02 Buildings should reduce use of daytime artificial lighting through design elements, such as bigger wall openings, light shelves, clerestory lighting, skylights, and translucent wall materials.

E.3.8.4.03 Buildings should allow for flexibility to regulate the amount of direct sunlight into the interiors. Louvered wall openings or shading devices like *bris soleils* help control solar gain and check overheating. *Bris soleils*, which are permanent sun-shading elements, extend from the sun-facing facade of a building, in the form of horizontal or vertical projections depending on sun orientation, to cut out the sun's direct rays, help protect windows from excessive solar light and heat and reduce glare within.

E.3.8.4.04 Where appropriate, buildings should incorporate arcades, trellis and appropriate tree planting to screen and mitigate south and west sun exposure during summer. This guideline would not apply to downtown and the station area where buildings have a minimum setback and street trees provide shade.

E.3.8.4.05 To maximize use of solar energy, buildings should consider integrating photovoltaic panels on roofs.



Guideline E.3.8.4.03. Bris soleil



Guideline E.3.8.4.06. *Green roofs*



Guideline E.3.8.4.07. *Porous materials*



Guideline E.3.8.4.09. *Planting supporting passive heating and cooling*

Stormwater and Wastewater Management Guidelines

E.3.8.4.06 Buildings should incorporate intensive or extensive green roofs in their design. Green roofs harvest rain water that can be recycled for plant irrigation or for some domestic uses. Green roofs are also effective in cutting-back on the cooling load of the air-conditioning system of the building and reducing the heat island effect from the roof surface.

E.3.8.4.07 Projects should use porous material on driveways and parking lots to minimize stormwater run-off from paved surfaces.

E.3.8.4.08 Effective stormwater management techniques are recommended. Such techniques could include bioswales on surface parking lots and rain gardens in landscaped areas.

Landscaping Guidelines

E.3.8.4.09 Planting plans should support passive heating and cooling of buildings and outdoor spaces.

E.3.8.4.10 Regional native and drought resistant plant species are encouraged as planting material.

E.3.8.4.11 Provision of efficient irrigation system is recommended, consistent with the City’s Municipal Code Chapter 12.44 “Water-Efficient Landscaping”.

Lighting Guidelines

E.3.8.4.12 Energy-efficient and color-balanced outdoor lighting, at the lowest lighting levels possible, are encouraged to provide for safe pedestrian and auto circulation.

E.3.8.4.13 Glare into dwelling units and light pollution into the night sky should be minimized by use of fixtures with low cut-off angles.

E.3.8.4.14 Improvements should use ENERGY STAR-qualified fixtures to reduce a building's energy consumption.

E.3.8.4.15 Installation of high-efficiency lighting systems with advanced lighting control, including motion sensors tied to dimmable lighting controls, are recommended.

Green Building Material Guidelines

E.3.8.4.16 The reuse and recycle of construction and demolition materials is recommended. The use of demolition materials as a base course for a parking lot keeps materials out of landfills and reduces costs.

E.3.8.4.17 The use of products with identifiable recycled content, including post-industrial content with a preference for post-consumer content, are encouraged.

E.3.8.4.18 Building materials, components, and systems found locally or regionally should be used, thereby saving energy and resources in transportation.

E.3.8.4.19 A design with adequate space to facilitate recycling collection and to incorporate a solid waste management program, preventing waste generation, is recommended.

E.3.8.4.20 The use of material from renewable sources is encouraged.

E.4 ZONING DISTRICTS

The Specific Plan includes five land use designations and 10 zoning districts that together provide land uses, standards and guidelines governing building size, placement and design. Section E.1 “Overview” provides a discussion of the relationship between the land use designations and zoning districts. Additionally, Sections E.2 “Land Use Designations, Zoning Districts and Use Regulations” and E.3 “Development Standards and Guidelines” discuss guidelines and general standards applicable to all zoning districts. The following tables provide the specific standards applicable on a district-by-district basis.

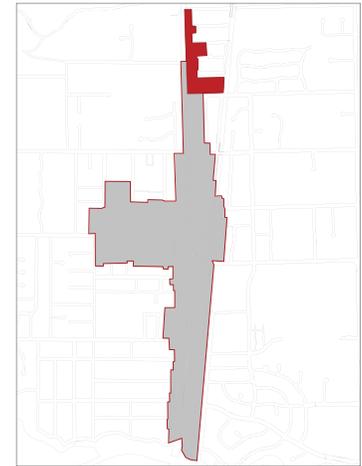
Development projects are required to adhere to both the general and specific standards applicable to the zoning district in which a project site is located. Although the specific standards are provided below for the zoning districts, Sections E.2 and E.3 should also be consulted for general standards as well as guidelines that may apply to a development project. Standards and guidelines are both critical elements in the review of new development. Development projects will be required to adhere to applicable standards, while consistency with applicable guidelines will be a key component in the review of a project.

El Camino Real North-East - Low Density (ECR NE-L)

The ECR NE-L District is located on the east side of El Camino Real at the northerly boundary of the City of Menlo Park and is characterized by a mix of smaller format retail, restaurant and personal service uses, office uses, motel and residential uses. The area is directly adjacent to single-family and medium density residential uses.

The District is located in the El Camino Real Mixed Use land use designation which supports a variety of retail uses, personal services, business and professional offices, and residential uses while including development guidelines and standards to ensure that building character relates to the adjacent residential neighborhoods.

The following table provides the standards for the ECR NE-L District. Illustrations are provided to help demonstrate the standards.



Key Map. El Camino Real North-East - Low Density (ECR NE-L)

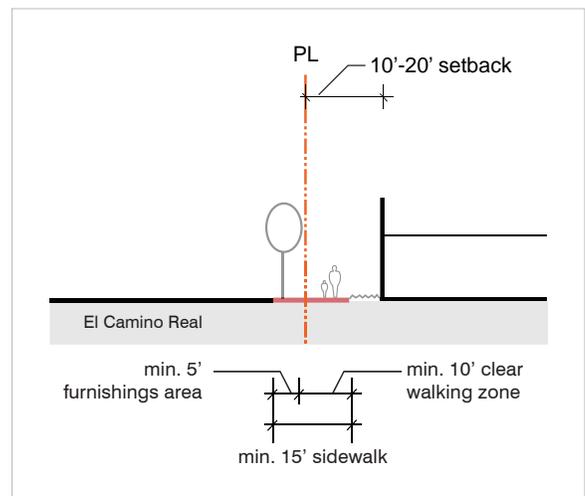


Figure E17. Setback

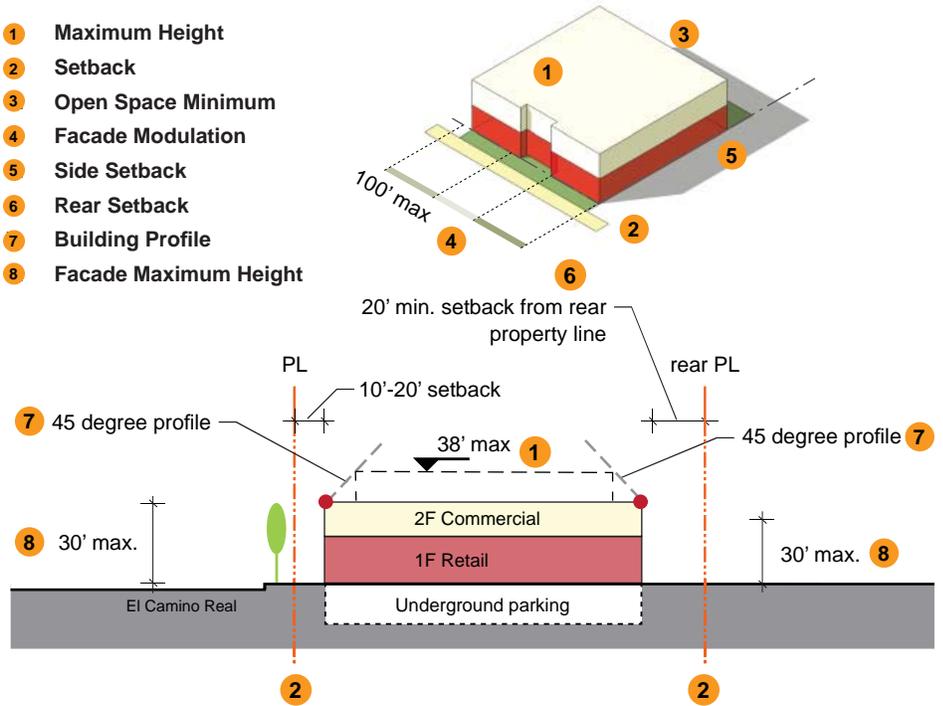
Illustration of Standards + Guidelines

Mixed-use Commercial Project



El Camino Real North-East - Low Density (ECR NE-L), 2 stories Mixed-use: ground floor retail with commercial above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback
- 7 Building Profile
- 8 Facade Maximum Height



Mixed-use Residential Project



El Camino Real North-East - Low Density (ECR NE-L), 3 stories Mixed-use: ground floor retail with residential above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Upper-story Setback
- 6 Side Setback
- 7 Rear Setback
- 8 Building Profile
- 9 Facade Maximum Height

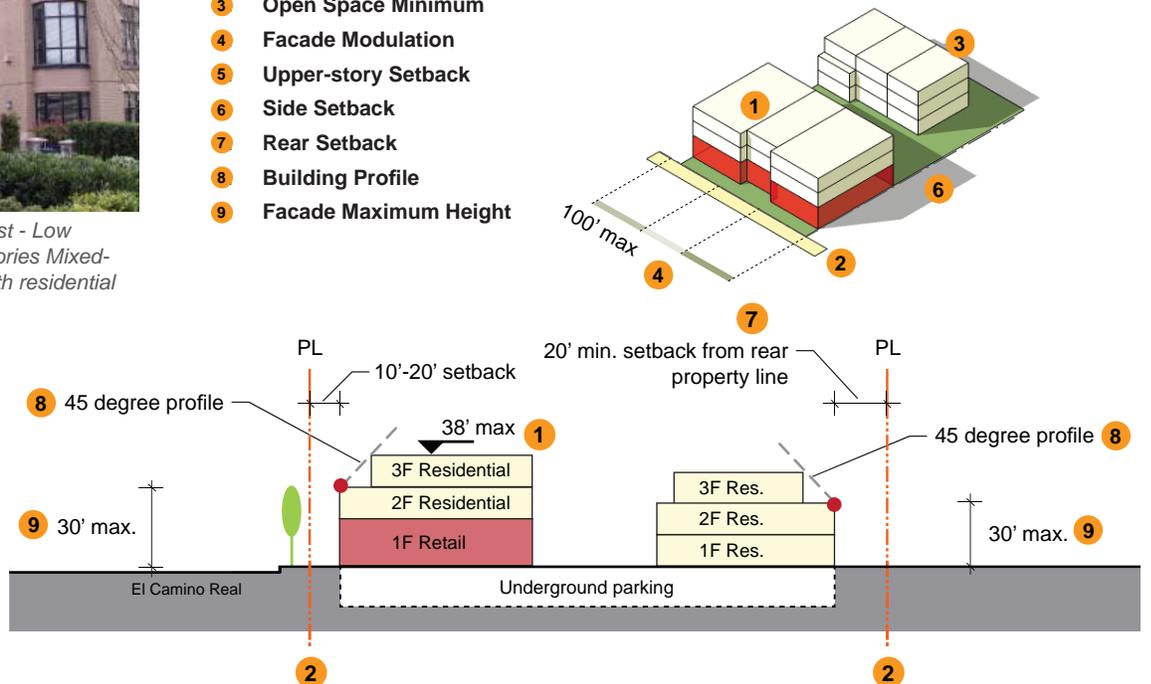


Figure E18. Mixed-use Commercial and Mixed-use Residential Projects

El Camino Real North-East - Low Density (ECR NE-L)		
Land Uses	See Table E2; El Camino Real Mixed Use Designation	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 0.75 Public Benefit Bonus: 1.10
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 20 dwelling units per acre	
	Public Benefit Bonus: 30 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet
		Façade height: 30 feet for all sides of a building except interior side wall
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 10 feet
		Maximum: 20 feet
		Setback shall be sufficient to provide a minimum 15 foot wide sidewalk with a minimum 10 foot wide clear walking zone and a minimum 5 foot wide furnishings zone.
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Minimum: 10 feet
		Maximum: 25 feet
	Rear	Minimum: 20 feet
Upper Floor	10 feet minimum above the maximum façade height for all sides except interior side	

Table E3. Development Standards and Guidelines for El Camino Real North-East - Low Density (ECR NE-L) District

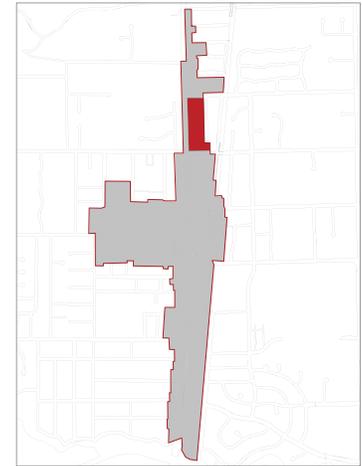
El Camino Real North-East - Low Density (ECR NE-L)		
Land Uses	See Table E2; El Camino Real Mixed Use Designation	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and/or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Building breaks are allowed, provided a single break does not exceed 50 feet in width and the total of all of the breaks does not exceed 25% of the building frontage. Such building breaks may be at ground level or located above a parking podium with a maximum height 16 feet.
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	<p>A 45-degree building profile is required for any portions of a building above the maximum façade height on all sides of a building except interior sides.</p> <p>On the front and corner side, the building profile shall be measured from the maximum façade height at the actual building plane. On the rear, the building profile shall be measured from the maximum façade height at the minimum setback line.</p> <p>Intrusions such as balconies and dormers may project up to a maximum of 6 feet beyond the 45-degree profile.</p> <p>Upper story setback requirements shall supersede the building profile requirements, if more restrictive.</p>
	Bulk	Not applicable
Open Space	All development	30% minimum
	Development that includes residential	Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.
		Private open space shall have minimum dimensions of 6 feet by 8 feet.
		Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.
	Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.	
Parking	See Chapter F for off-street parking and bicycle parking standards.	

El Camino Real North-East (ECR NE)

The ECR NE District is located on the east side of El Camino Real between Glenwood and Encinal Avenues and is characterized by a mix of retail, personal service, office and residential uses. The area is directly adjacent to medium density residential uses.

The District is located in the El Camino Real Mixed Use land use designation which supports a variety of retail uses, personal services, business and professional offices and residential uses while including development guidelines and standards to ensure that building character relates to the adjacent residential neighborhoods.

The following table provides the standards for the ECR NE District. Illustrations are provided to help demonstrate the standards.



Key Map. El Camino Real North-East (ECR NE)

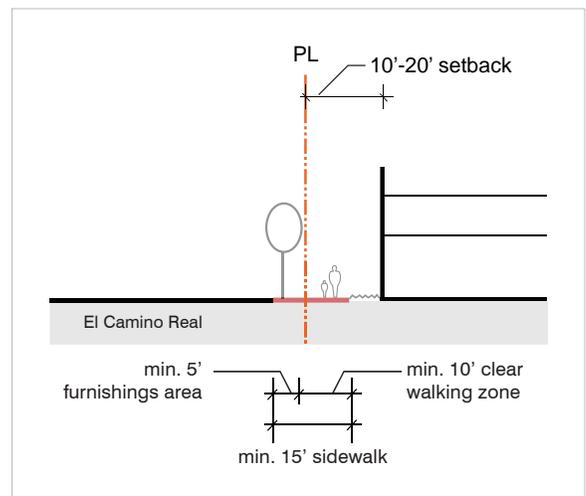


Figure E19. Setback

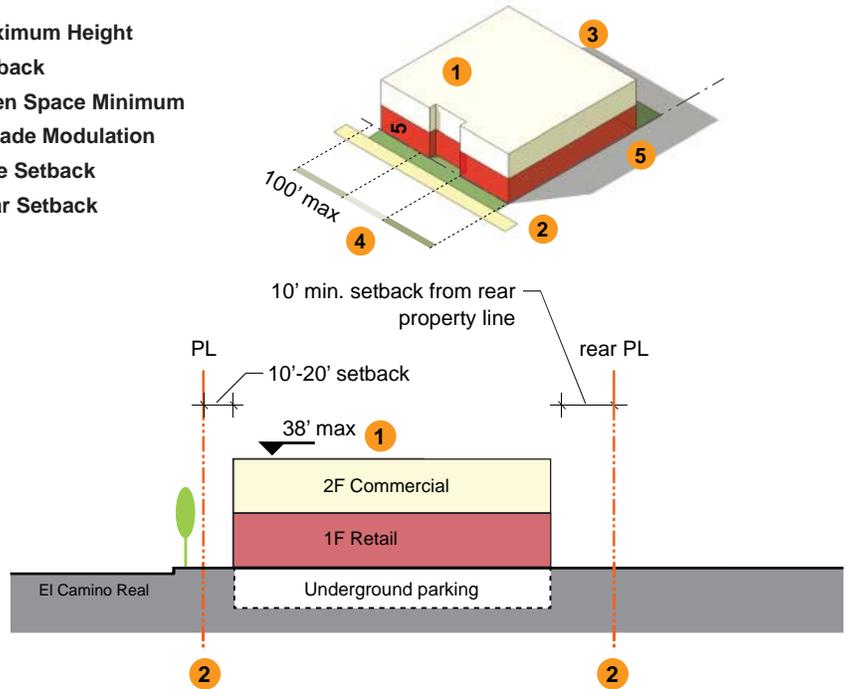
Illustration of Standards + Guidelines

Mixed-use Commercial Project



El Camino Real North-East (ECR NE), 2 stories Mixed-use: ground floor retail with commercial above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback



Mixed-use Residential Project



El Camino Real North-East (ECR NE), 3 stories Mixed-use: ground floor retail with residential above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback

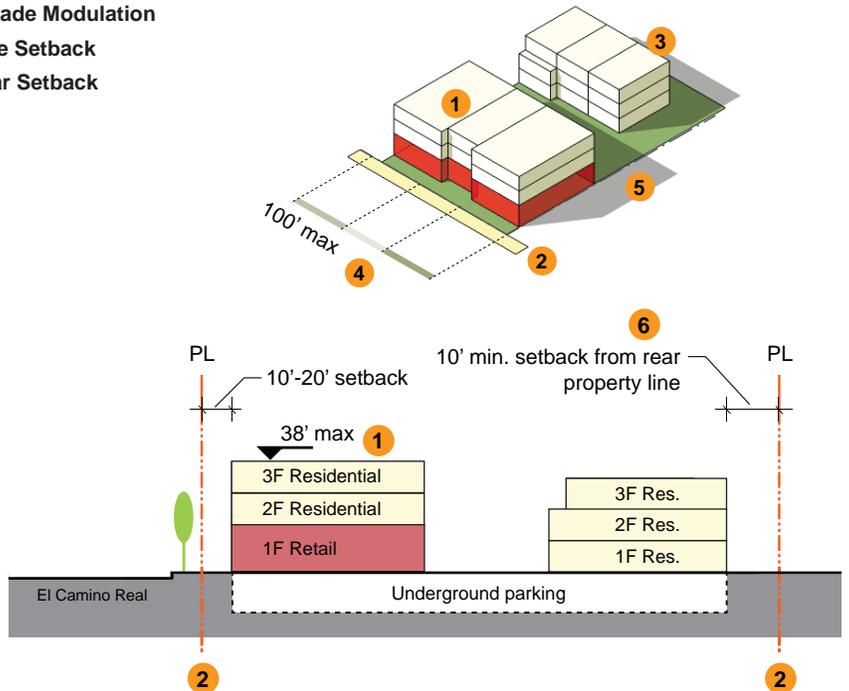


Figure E20. Mixed-use Commercial and Mixed-use Residential Projects

EI Camino Real North-East (ECR NE)		
Land Uses	See Table E2; EI Camino Real Mixed Use Designation	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 1.10
		Public Benefit Bonus: 1.50
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 25 dwelling units per acre	
	Public Benefit Bonus: 40 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet
		Façade height: Not applicable
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 10 feet
		Maximum: 20 feet
		Setback shall be sufficient to provide a minimum 15 foot wide sidewalk with a minimum 10 foot wide clear walking zone and a minimum 5 foot wide furnishings zone.
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Minimum: 10 feet
		Maximum: 25 feet
	Rear	Minimum: 10 feet
Upper Floor	Not applicable	

Table E4. Development Standards and Guidelines for EI Camino Real North-East (ECR NE) District

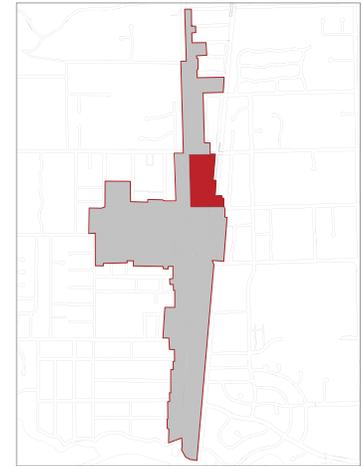
EI Camino Real North-East (ECR NE)		
Land Uses	See Table E2; EI Camino Real Mixed Use Designation	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and/or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Building breaks are allowed, provided a single break does not exceed 50 feet in width and the total of all of the breaks does not exceed 25% of the building frontage. Such building breaks may be at ground level or located above a parking podium with a maximum height 16 feet.
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	Not applicable
	Bulk	Not applicable
Open Space	All development	30% minimum
	Development that includes residential	Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.
		Private open space shall have minimum dimensions of 6 feet by 8 feet.
		Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.
	Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.	
Parking	See Chapter F for off-street parking and bicycle parking standards.	

El Camino Real North-East- Residential (ECR NE-R)

The ECR NE-R District is located on the east side of El Camino Real between Oak Grove and Glenwood Avenues and is characterized by a mix of retail, personal service, office and residential use. The area is bordered by the railroad tracks to the east and medium residential uses beyond the railroad tracks. The area is within walking distance of the train station area and downtown.

The District is located in the El Camino Real Mixed Use – Residential land use designation which supports a variety of retail uses, personal services, business and professional offices and residential uses. The district provides for higher intensities with a focus on residential development given its location near the train station area and downtown.

The following table provides the standards for the ECR NE-R District. Illustrations are provided to help demonstrate the standards.



Key Map. El Camino Real North-East - Residential Emphasis (ECR NE-R)

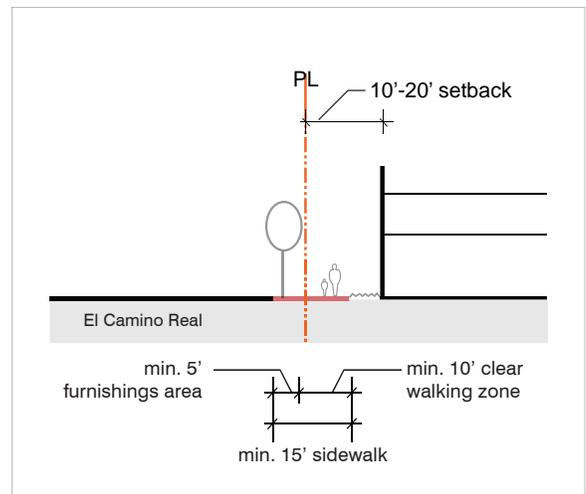


Figure E21. Setback



Buildings on El Camino Real address the street with landscape treatment and an inviting pathway (Vancouver, Canada)

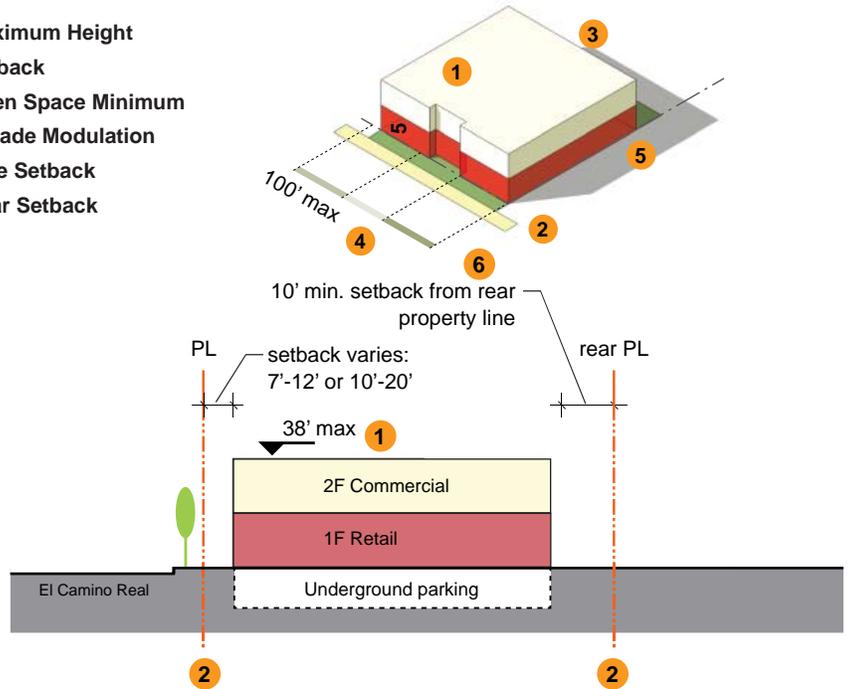
Illustration of Standards + Guidelines

Mixed-use Commercial Project



El Camino Real North-East - Residential Emphasis (ECR NE-R), 2 stories Mixed-use: ground floor retail with commercial above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback



Mixed-use Residential Project



El Camino Real North-East - Residential Emphasis (ECR NE-R), 3 stories Mixed-use: ground floor retail with residential above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback

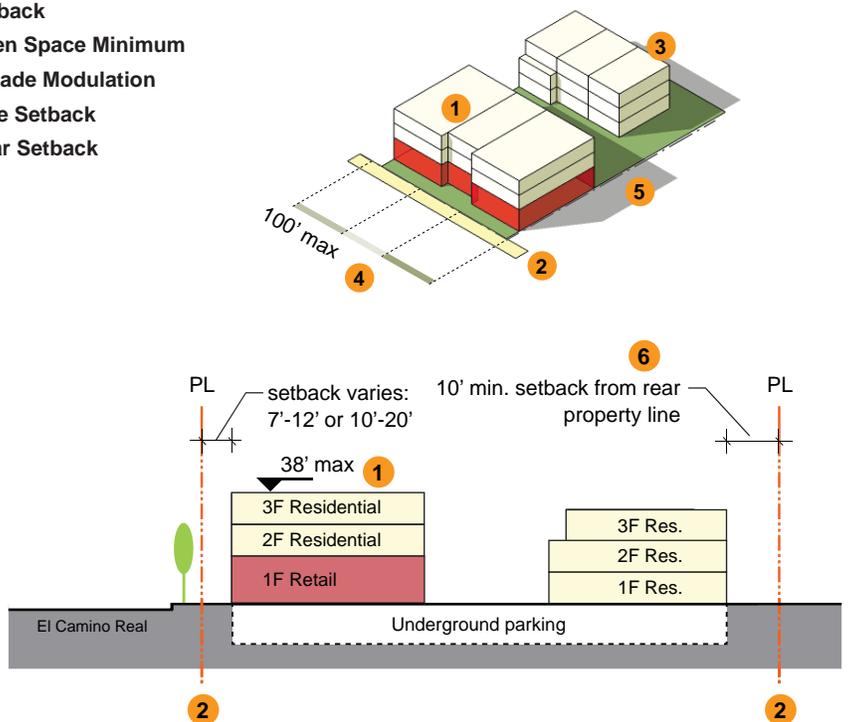


Figure E22. Mixed-use Commercial and Mixed-use Residential Projects

El Camino Real North-East - Residential (ECR NE-R)		
Land Uses	See Table E2; El Camino Real Mixed Use - Residential Designation	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 1.10
		Public Benefit Bonus: 1.50
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 32 dwelling units per acre	
	Public Benefit Bonus: 50 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet
		Façade height: Not applicable
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 10 feet, except on Oak Grove Avenue and Garwood Way where 7 feet is required
		Maximum: 20 feet, except on Oak Grove Avenue and Garwood Way, where 12 feet is the maximum.
		For buildings along El Camino Real, setback shall be sufficient to provide a minimum 15 foot wide sidewalk with a minimum 10 foot wide clear walking zone and a minimum 5 foot wide furnishings zone.
		For buildings along Oak Grove Avenue and Garwood Way, setback shall be sufficient to provide a minimum 11 foot wide sidewalk with a minimum 6 foot wide clear walking zone and a minimum 5 foot wide furnishings zone.
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
Side, Interior	Minimum: 10 feet	
	Maximum: 25 feet	
Rear	Minimum: 10 feet	
Upper Floor	Not applicable	

Table E5. Development Standards and Guidelines for El Camino Real North-East - Residential Emphasis (ECR NE-R) District

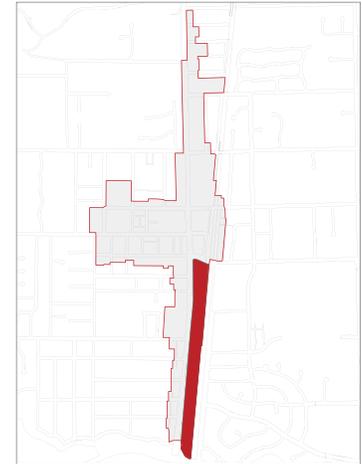
El Camino Real North-East - Residential (ECR NE-R)		
Land Uses	See Table E2; El Camino Real Mixed Use - Residential Designation	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and/or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Building breaks are allowed, provided a single break does not exceed 50 feet in width and the total of all of the breaks does not exceed 25% of the building frontage. Such building breaks may be at ground level or located above a parking podium with a maximum height 16 feet.
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	Not applicable
	Bulk	Not applicable
Open Space	All development	20% minimum
	Development that includes residential	Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.
		Private open space shall have minimum dimensions of 6 feet by 8 feet.
		Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.
	Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.	
Parking	See Chapter F for off-street parking and bicycle parking standards.	

El Camino Real South-East (ECR SE)

The ECR SE District is located on the east side of El Camino Real, south of Ravenswood Avenue and is characterized by a mix of larger office developments, hotel and retail and personal service uses. The area is bordered by the railroad tracks to the east beyond which are the Civic Center complex and residential neighborhoods.

The District is located in two distinct land use designations, El Camino Real Mixed Use and El Camino Real Mixed Use – Residential designations. Both designations support a variety of retail uses, personal services, business and professional offices and residential uses. Much of the area is under single ownership which provides an opportunity for well-designed redevelopment of underutilized parcels of land with a focus on creating publicly accessible open space and essential pedestrian and bicycle linkages.

The following table provides the standards for the ECR SE District. Illustrations are provided to help demonstrate the standards.



Key Map. El Camino Real South-East (ECR SE)

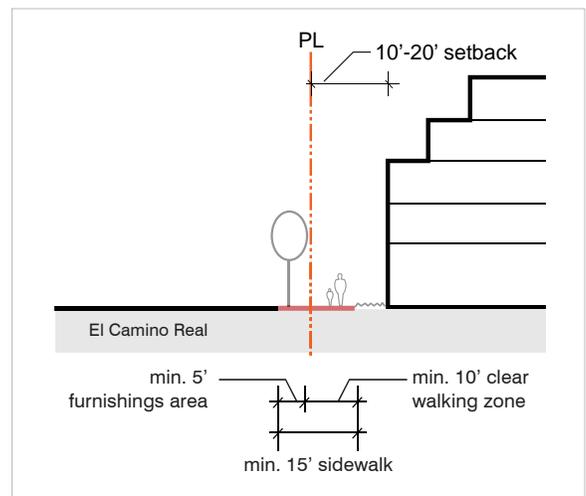


Figure E23. Setback

Illustration of Standards + Guidelines

Mixed-use Commercial Project



*El Camino Real South-East (ECR SE),
4 stories Mixed-use: ground floor retail
with commercial above*

- 1 Maximum Height
- 2 Setback
- 3 Facade Maximum Height
- 4 Open Space Minimum
- 5 Facade Modulation
- 6 Upper-story Setback
- 7 Bulk Control
- 8 Roof/Terrace
- 9 Building Break
- 10 Rear Setback
- 11 Building Profile

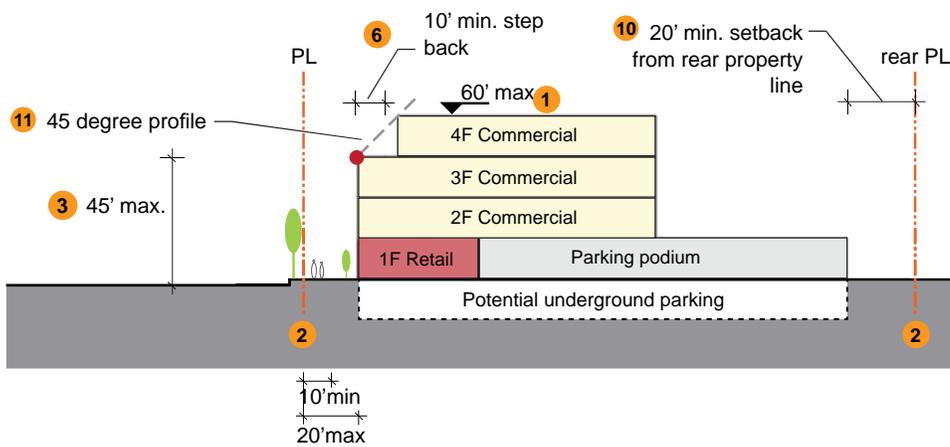
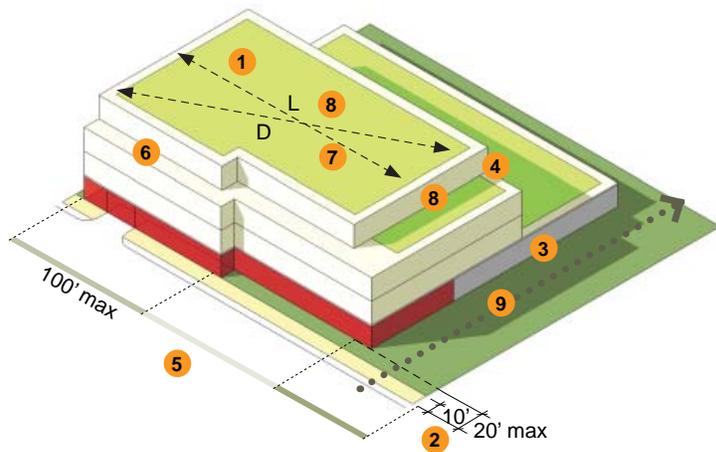


Figure E24. Mixed-use commercial prototype

Illustration of Standards + Guidelines

Mixed-use Residential Project



El Camino Real South-East (ECR SE), 5 stories Mixed-use: ground floor retail with residential above, fourth floor stepback

- 1 Maximum Height
- 2 Setback
- 3 Facade Maximum Height
- 4 Open Space Minimum
- 5 Facade Modulation
- 6 Upper-story Setback
- 7 Bulk Control
- 8 Roof/Terrace
- 9 Building Break
- 10 Rear Setback
- 11 Building Profile

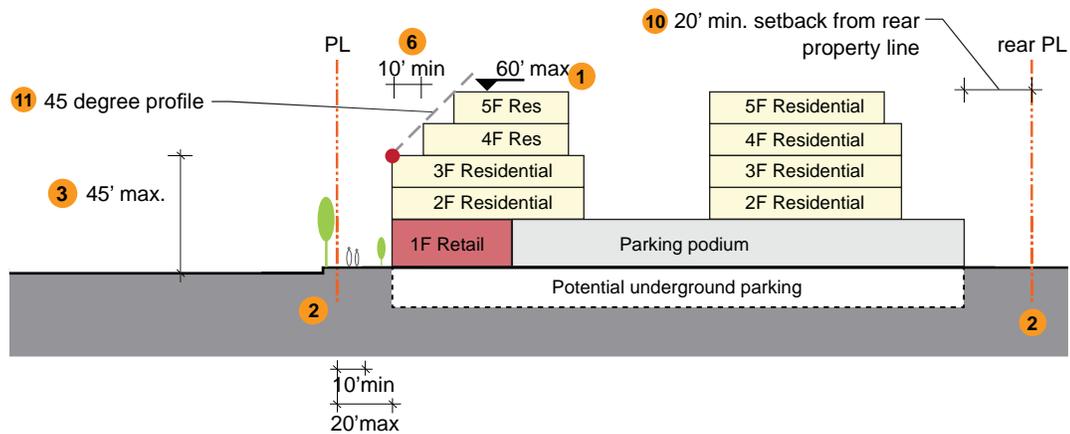
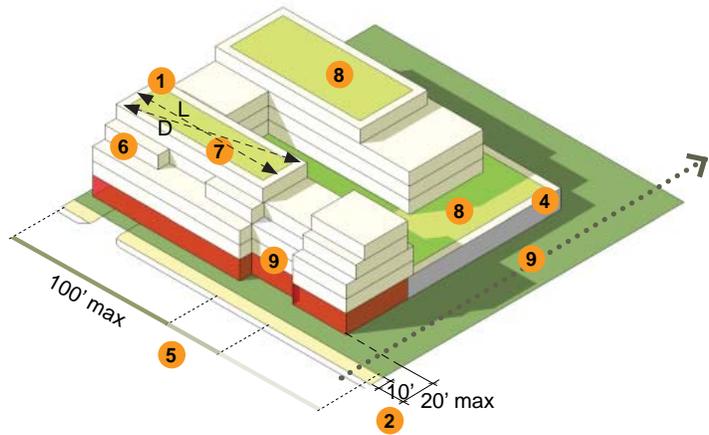


Figure E25. Mixed-use residential prototype

El Camino Real South-East (ECR SE)		
Land Uses	See Table E2; El Camino Real Mixed Use and El Camino Real Mixed Use - Residential Designations	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 1.25
		Public Benefit Bonus: 1.75
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 40 dwelling units per acre	
	Public Benefit Bonus: 60 dwelling units per acre	
Height	Maximum heights	Building height: 60 feet
		Façade height: 45 feet for front and corner side
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 10 feet
		Maximum: 20 feet
		Setback shall be sufficient to provide a minimum 15 foot wide sidewalk with a minimum 10 foot wide clear walking zone and a minimum 5 foot wide furnishings/planting zone.
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Minimum: 10 feet
		Maximum: 25 feet
	Rear	Minimum: 20 feet
	Upper Floor	10 feet minimum above the maximum façade height for the front and corner sides of a building.
Allowed Encroachments	Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and/or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line.	

Table E6. Development Standards and Guidelines for El Camino Real South-East (ECR SE) District

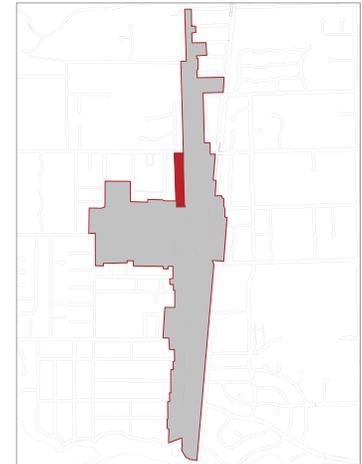
El Camino Real South-East (ECR SE)		
Land Uses	See Table E2; El Camino Real Mixed Use and El Camino Real Mixed Use - Residential Designations	
		Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	<p>Building breaks are required at Roble, Middle and Cambridge Avenues. In addition, two building breaks are required both north of Middle Avenue and south of Middle Avenue, to be aligned with existing streets to the extent possible, as shown in Figure E13.</p> <p>The Middle Avenue break shall be a minimum of 120 feet in width located at ground level and shall include vehicular access, publically-accessible open space with seating, landscaping and shade and a pedestrian/bicycle connection to Alma Street and Burgess Park.</p> <p>The Cambridge Avenue break shall be 90 feet in width located at ground level and shall include vehicular access and publically-accessible open space with seating, landscaping and shade.</p> <p>The Roble Avenue break shall be a minimum of 50 feet in width located at ground level and shall provide vehicular access.</p> <p>The four additional breaks shall be a minimum of 50 feet in width and may be located above a parking podium (maximum height 16 feet).</p> <p>In addition to the seven required breaks, other breaks shall be a maximum 50 feet in width.</p> <p>The total of all breaks shall not exceed 25% of the parcel frontage.</p>
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	<p>A 45-degree building profile is required for any portions of a building above the maximum façade height on the front and corner side of a building.</p> <p>On the front and corner side, the building profile shall be measured from the maximum façade height at the actual building plane.</p> <p>Intrusions such as balconies and dormers may project up to a maximum of 6 feet beyond the 45-degree profile.</p> <p>Upper story setback requirements shall supersede the building profile requirements, if more restrictive.</p>
	Bulk	Bulk restriction of 175 feet in length and 200 feet diagonal is required for all portions of the building above 45 feet.
Open Space	All development	40% minimum
	Development that includes residential	<p>Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.</p> <p>Private open space shall have minimum dimensions of 6 feet by 8 feet.</p> <p>Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.</p> <p>Accessible open space above parking podiums will count toward the common open space requirement.</p>
Parking	See Chapter F for off-street parking and bicycle parking standards.	

El Camino Real North-West (ECR NW)

The ECR NW District is located on the west side of El Camino Real between Oak Grove and Valparaiso Avenues and is characterized by a mix of retail and service uses. The area is directly adjacent to medium density residential use and within walking distance to the train station area and downtown.

The District is located in the El Camino Real Mixed Use – Residential land use designation which supports a variety of retail uses, personal services, business and professional offices and residential uses. The district provides for higher intensities with a focus on residential development given its location near the train station area and downtown.

The following table provides the standards for the ECR NW District. Illustrations are provided to help demonstrate the standards.



Key Map. El Camino Real North-West (ECR NW)

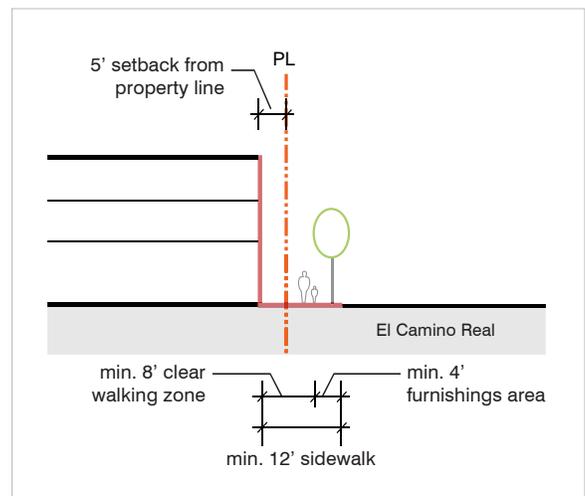


Figure E26. Setback

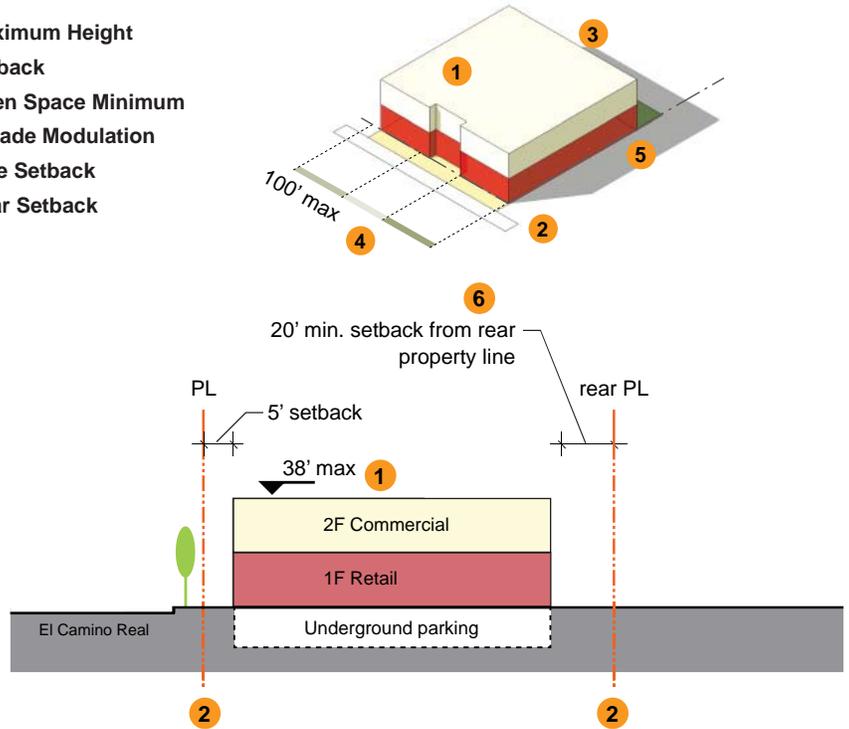
Illustration of Standards + Guidelines

Mixed-use Commercial Project



El Camino Real North-West (ECR NW), 2 stories Mixed-use: ground floor retail with commercial above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback



Mixed-use Residential Project



El Camino Real North-West (ECR NW), 3 stories Mixed-use: ground floor retail with residential above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback

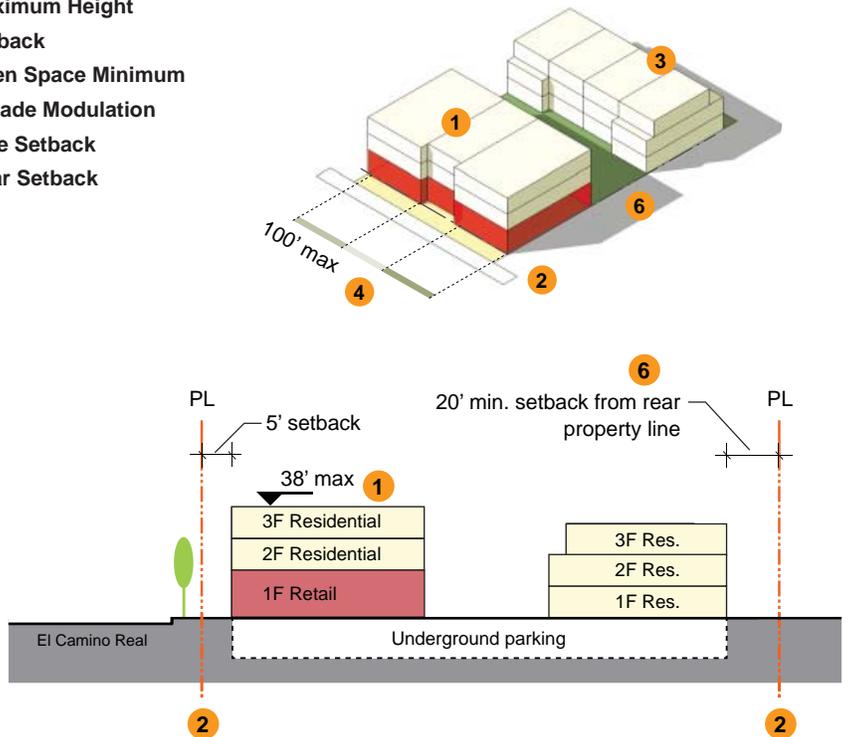


Figure E27. Mixed-use Commercial and Mixed-use Residential Projects

El Camino Real North-West (ECR NW)		
Land Uses	See Table E2; El Camino Real Mixed Use - Residential Designation	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 1.10 Public Benefit Bonus: 1.50
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 25 dwelling units per acre	
	Public Benefit Bonus: 40 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet
		Façade height: Not applicable
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 5 feet with limited setbacks allowed for store or lobby entrances, retail frontage and outdoor seating
		Maximum: 5 feet with limited setbacks allowed for store or lobby entrances, retail frontage and outdoor seating
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where recesses are provided, such recesses for retail frontage shall be 6 feet deep maximum and have a length of 12 feet minimum to 25 feet maximum. Such recesses for doorways shall have a depth of 2 feet minimum to 4 feet maximum and have a length of 5 feet minimum.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Not applicable
	Rear	Minimum: 20 feet
Upper Floor	Not applicable	

Table E7. Development Standards and Guidelines for El Camino Real North-West (ECR NW) District

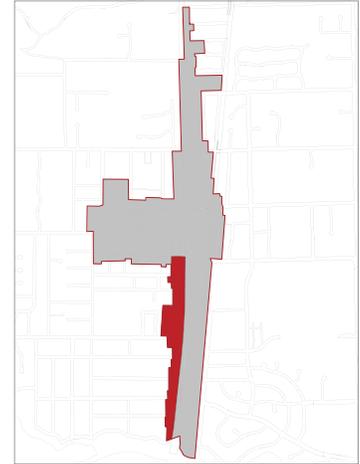
El Camino Real North-West (ECR NW)		
Land Uses	See Table E2; El Camino Real Mixed Use - Residential Designation	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line, or property line in the case where a setback is not applicable.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Not applicable
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	Not applicable
	Bulk	Not applicable
Open Space	All development	20% minimum
	Development that includes residential	Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.
		Private open space shall have minimum dimensions of 6 feet by 8 feet.
		Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.
	Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.	
Parking	See Chapter F for off-street parking and bicycle parking standards.	

El Camino Real South-West (ECR SW)

The ECR SW District is located on the west side of El Camino Real between Menlo Avenue and the southern city limits and is characterized by a mix of retail and service uses. The area is adjacent to multi-family and single-family residential uses and within walking distance to the train station area and downtown.

The District is located in the El Camino Real Mixed Use - Residential and El Camino Real Mixed Use land use designations, which both support a variety of retail uses, personal services, business and professional offices and residential uses. The district provides for higher intensities with a focus on residential development given its location near the train station area and downtown.

The following table provides the standards for the ECR SW District. Illustrations are provided to help demonstrate the standards.



Key Map. El Camino Real South-West (ECR SW)

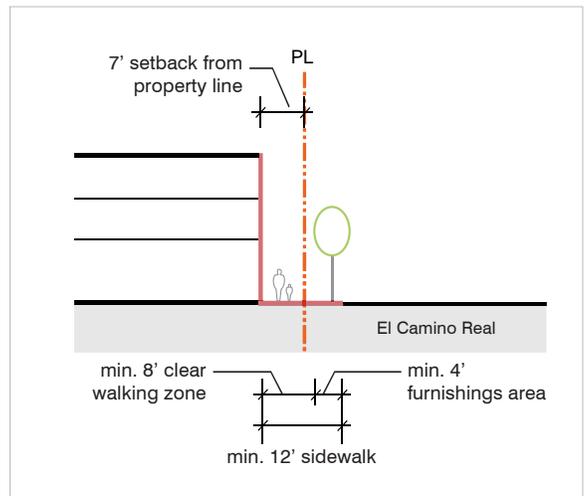


Figure E28. Setback for areas south of Live Oak Avenue

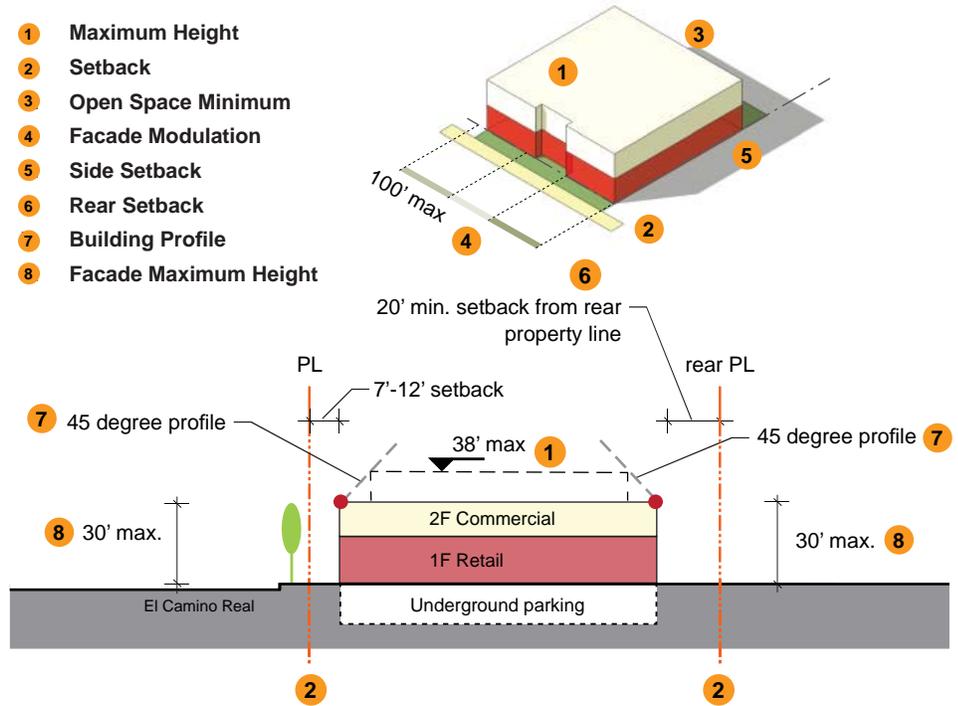
Illustration of Standards + Guidelines

Mixed-use Commercial Project



El Camino Real South-West (ECR SW), 2 stories Mixed-use: ground floor retail with commercial above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Side Setback
- 6 Rear Setback
- 7 Building Profile
- 8 Facade Maximum Height



Mixed-use Residential Project



El Camino Real South-West (ECR SW), 3 stories Mixed-use: ground floor retail with residential above

- 1 Maximum Height
- 2 Setback
- 3 Open Space Minimum
- 4 Facade Modulation
- 5 Upper-story Setback
- 6 Side Setback
- 7 Rear Setback
- 8 Building Profile
- 9 Facade Maximum Height

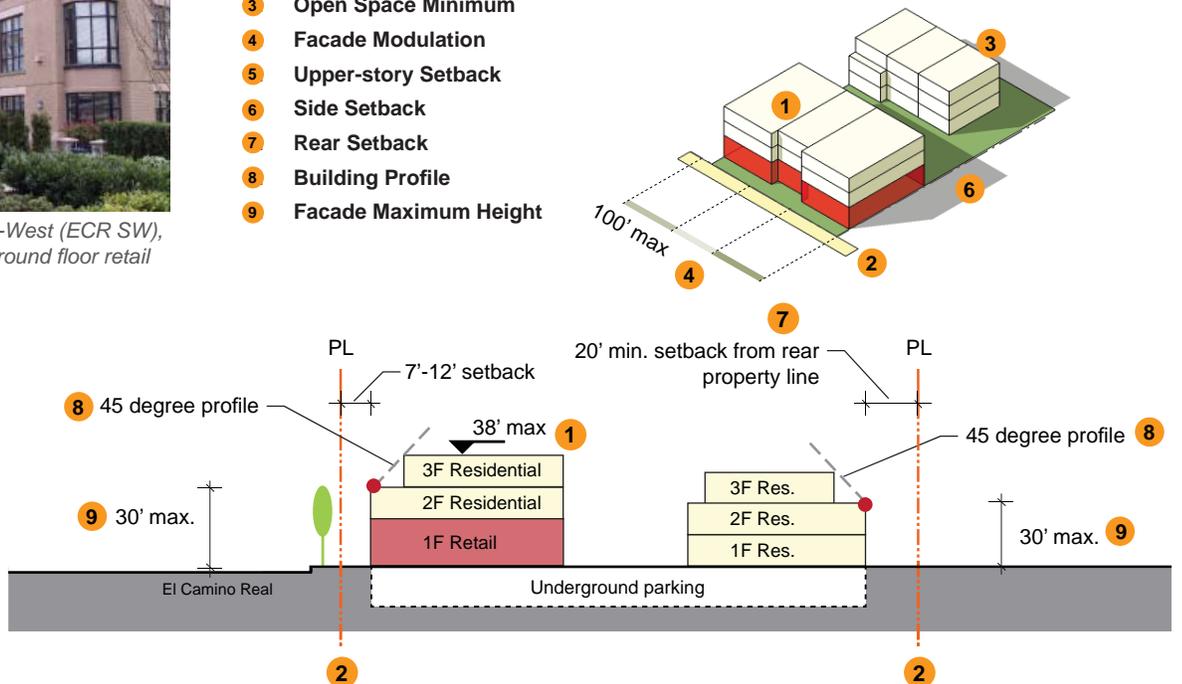


Figure E29. Mixed-use Commercial and Mixed-use Residential Projects South of Live Oak Avenue

El Camino Real South-West (ECR SW)		
Land Uses	See Table E2; El Camino Real Mixed-Use and El Camino Real Mixed-Use/Residential Designations	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 1.10
		Public Benefit Bonus: 1.50
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 25 dwelling units per acre	
	Public Benefit Bonus: 40 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet
		Façade height: 30 feet for all sides of a building except the interior side
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 7 feet, except north of Live Oak Avenue, where 5 feet is required.
		Maximum: 12 feet, except north of Live Oak Avenue, where 5 feet is the maximum.
		South of Live Oak Avenue, setback shall be sufficient to provide a minimum 12 foot wide sidewalk with a minimum 8 foot wide clear walking zone. A minimum 4 foot wide furnishings zone should be provided.
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Minimum: 0 feet
		Maximum: 25 feet
Rear	Minimum: 20 feet, except north of Live Oak Avenue, where 10 feet is required.	
Upper Floor	10 feet minimum above the maximum façade height for all sides of a building except the interior side.	

Table E8. Development Standards and Guidelines for El Camino Real South-West (ECR SW) District

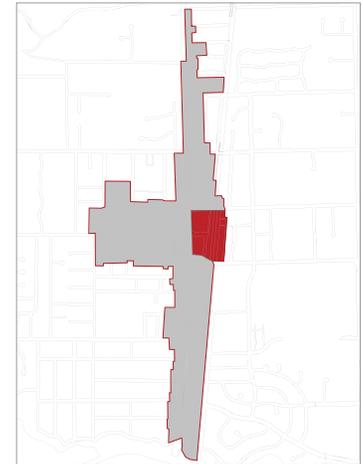
El Camino Real South-West (ECR SW)		
Land Uses	See Table E2; El Camino Real Mixed-Use and El Camino Real Mixed-Use/Residential Designations	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line, or property line in the case where a setback is not applicable.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	For buildings south of Live Oak Avenue, building breaks are allowed provided a single break does not exceed 50 feet in width and the total of all of the breaks does not exceed 25% of the building frontage. Such building breaks may be at ground level or located above a parking podium (maximum height 16 feet).
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	<p>A 45-degree building profile is required for any portions of a building above the maximum façade height on the rear side of a building.</p> <p>On the rear, the building profile shall be measured from the maximum façade height at the minimum setback line.</p> <p>Intrusions such as balconies and dormers may project up to a maximum of 6 feet beyond the 45-degree profile.</p> <p>Upper story setback requirements shall supersede the building profile requirements, if more restrictive.</p>
	Bulk	Not applicable
Open Space	All development	30% minimum, except for north of Live Oak Avenue which is 20% minimum.
	Development that includes residential	<p>Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.</p> <p>Private open space shall have minimum dimensions of 6 feet by 8 feet.</p> <p>Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.</p> <p>Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.</p>
Parking	See Chapter F for off-street parking and bicycle parking standards.	

Station Area East (SA E)

The SA E District is located on the east side of El Camino Real between Oak Grove and Ravenswood Avenues, and extends to the east side of Alma Street. The SA E District is characterized by a mix of retail and service uses. The area is directly adjacent to medium density residential use and is directly adjacent to the train station area and downtown.

The District is located in the Downtown/Station Area Retail - Mixed Use and Downtown/Station Area "Main Street" Overlay land use designations which emphasize community-serving retail and personal services at the ground-floor level and residential/office uses above. The district provides for higher intensities with a focus on residential development given its location at the train station area and downtown.

The following table provides the standards for the SA E District. Illustrations are provided to help demonstrate the standards.



Key Map. Station Area East (SA E)

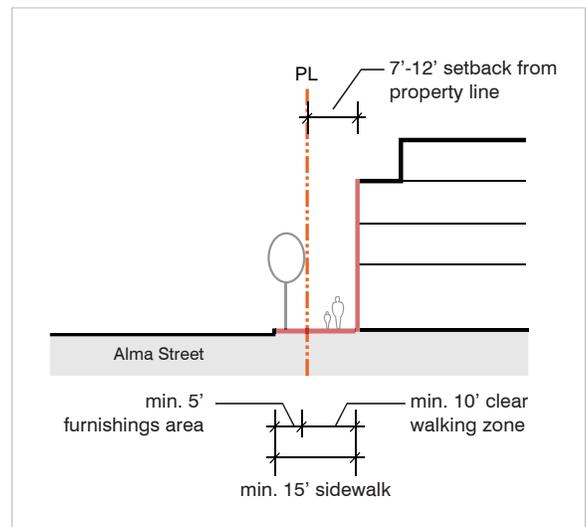


Figure E30. Setback at Alma Street

Illustration of Standards + Guidelines

Mixed-use Residential Projects

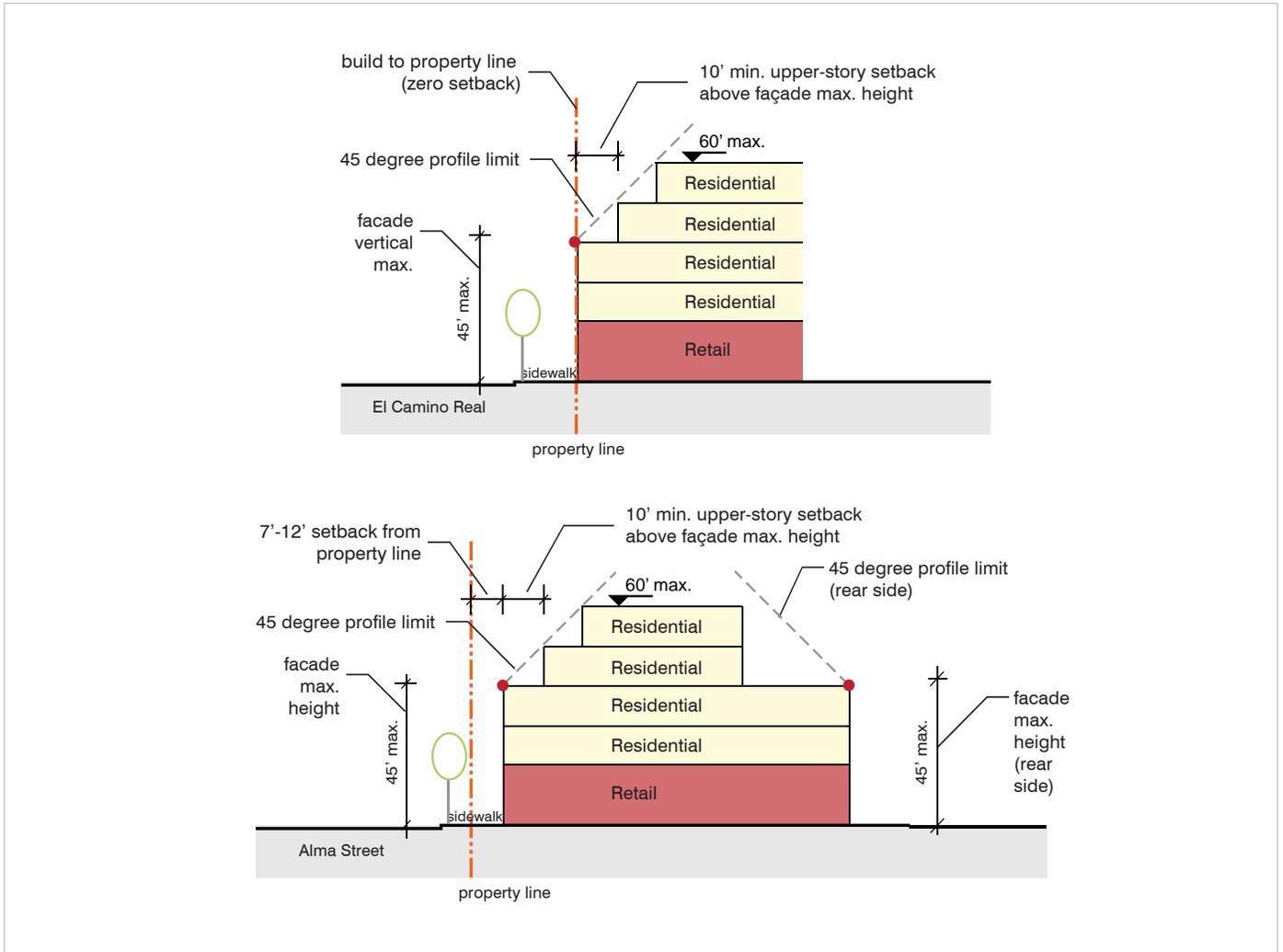


Figure E31. Mixed-use Residential Projects

Station Area East (SA E)		
Land Uses	See Table E2; Downtown/Station Area Retail/Mixed Use and Downtown/Station Area "Main Street" Overlay	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 1.35 Public Benefit Bonus: 1.75
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 50 dwelling units per acre	
	Public Benefit Bonus: 60 dwelling units per acre	
Height	Maximum heights	Building height: 60 feet
		Façade height: 45 feet for all sides of a building except interior side wall
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 0 feet, with limited setbacks allowed for store or lobby entrances, retail frontage and outdoor seating, except for Alma Street where 7 feet is required.
		Maximum: 0 feet, except Alma Street where 12 feet is the maximum.
		On Alma Street, setback shall be sufficient to provide a minimum 15 foot wide sidewalk with a minimum 10 foot wide clear walking zone and a minimum 5 foot wide furnishings zone.
		Front setback areas shall be developed with sidewalks, plazas, and/or landscaping. Parking is prohibited within front setback areas.
		Where recesses are provided, such recesses for retail frontage shall be 6 feet deep maximum and have a length of 12 feet minimum to 25 feet maximum. Such recesses for doorways shall have a depth of 2 feet minimum to 4 feet maximum and have a length of 5 feet minimum.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Minimum: 0 feet, except on Alma Street where 10 feet is required
Maximum: 0 feet, except on Alma Street where 25 feet is permitted		
Rear	Minimum: 0 feet, except on Alma Street, where 10 feet is required	
Upper Floor	10 feet minimum above the maximum façade height for all sides of a building except the interior side.	

Table E9. Development Standards and Guidelines for Station Area East (SA E) District

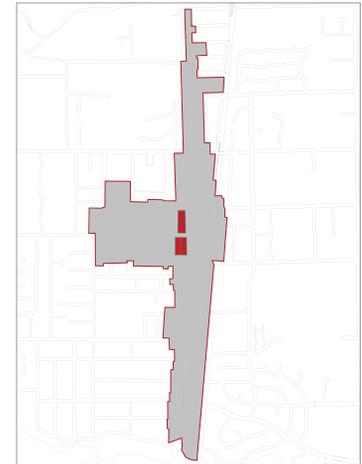
Station Area East (SA E)	
Land Uses	See Table E2; Downtown/Station Area Retail/Mixed Use and Downtown/Station Area "Main Street" Overlay
	<p>Allowed Encroachments</p> <p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line, or property line in the case where a setback is not applicable.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.
	<p>Building Breaks</p> <p>Along Alma Street, building breaks are allowed provided a single break does not exceed 50 feet in width and the total of all of the breaks does not exceed 25% of the building frontage (i.e. parcel frontage less minimum side setback). Such building breaks may be at ground level or located above a parking podium (maximum height 16 feet).</p>
	<p>Building Façade Modulation</p> <p>Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.</p>
	<p>Building Profile</p> <p>A 45-degree building profile is required for any portions of a building above the maximum façade height on all sides of a building except interior sides.</p> <p>On the front and corner side, the building profile shall be measured from the maximum façade height at the actual building plane. On the rear, the building profile shall be measured from the maximum façade height at the minimum setback line.</p> <p>Intrusions such as balconies and dormers may project up to a maximum of 6 feet beyond the 45-degree profile.</p> <p>Upper story setback requirements shall supersede the building profile requirements, if more restrictive.</p>
	<p>Bulk</p> <p>Bulk restriction of 175 feet in length and 200 feet diagonal is required for all portions of the building above 45 feet.</p>
Open Space	All development 20% minimum
	Development that includes residential
	Minimum of 80 square feet of open space per unit created as common open space or minimum of 60 square feet of open space per unit created as private space. Private open space shall have minimum dimensions of 6 feet by 6 feet.
	Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development. Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.
Parking	See Chapter F for off-street parking and bicycle parking standards.

Station Area West (SA W)

The SA W District is located on the west side of El Camino Real between Oak Grove and Menlo Avenues, and extends to Doyle and Maloney Streets. The SA W District is characterized by a mix of retail and service uses. The area is directly adjacent to downtown and it is very close to the train station area.

The District is located in the Downtown/Station Area Retail - Mixed Use and Downtown/Station Area "Main Street" Overlay land use designations which emphasize community-serving retail and personal services at the ground-floor level and residential/office uses above. The district provides for higher intensities with a focus on residential development given its location at the train station area and downtown.

The following table provides the standards for the SA W District. Illustrations are provided to help demonstrate the standards.



Key Map. Station Area West (SA W)

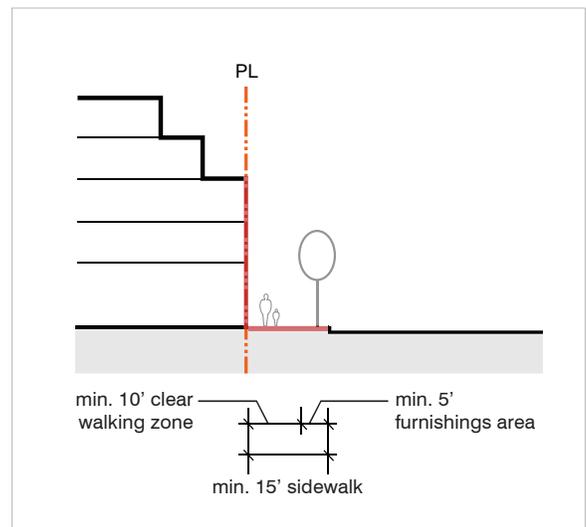


Figure E32. Setback

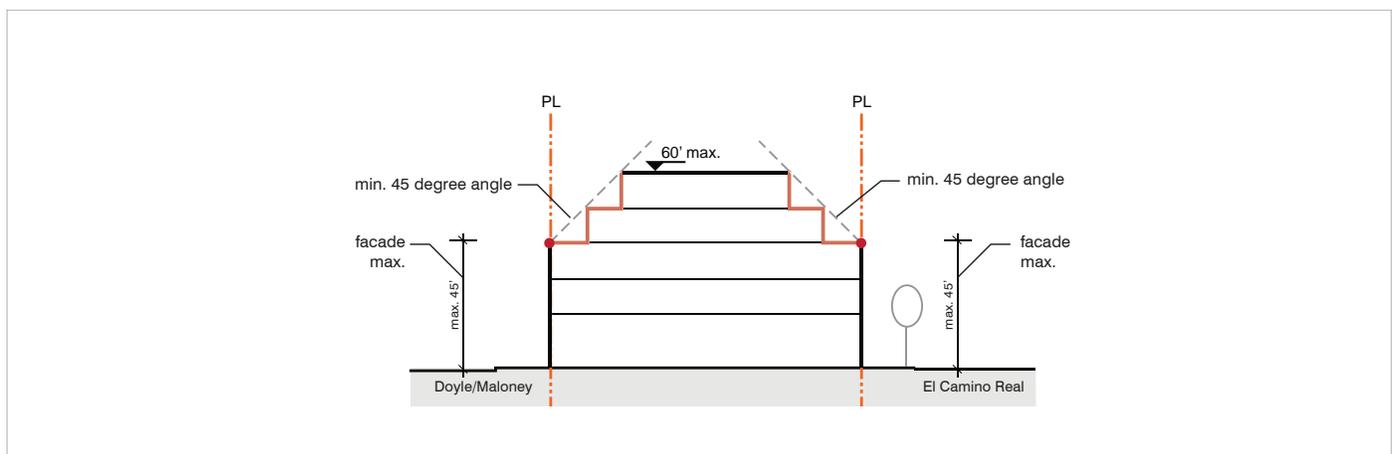


Figure E33. Building Profile

Illustration of Standards + Guidelines

Mixed-use Residential Project

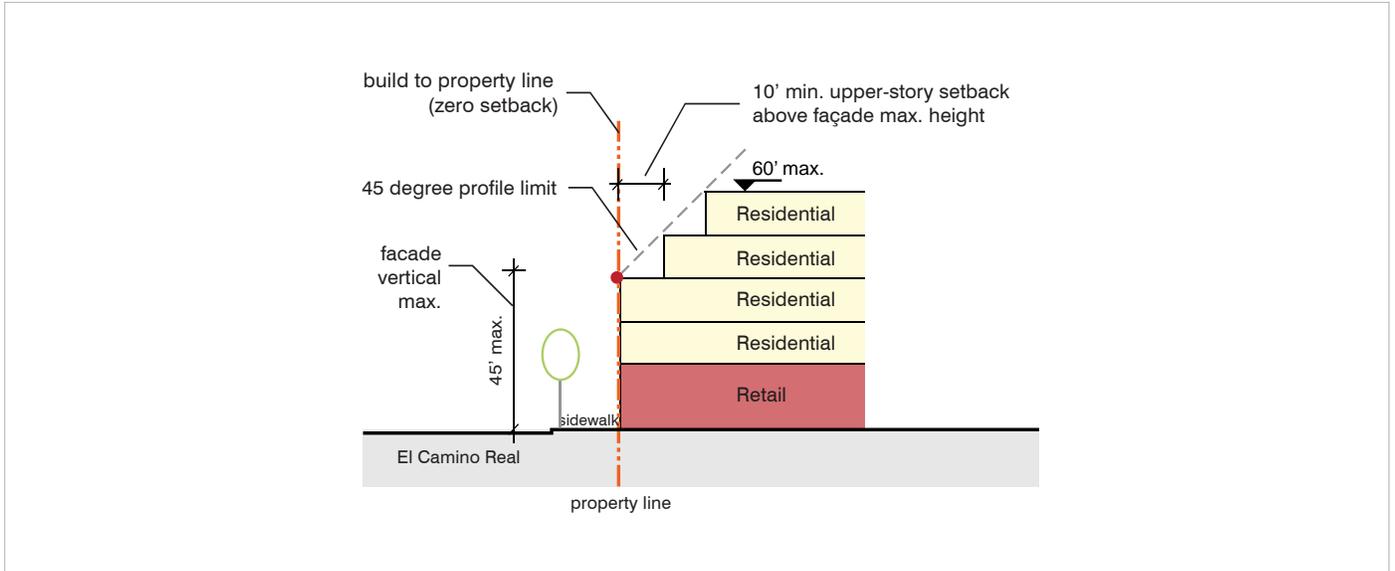


Figure E34. Mixed-use Residential Project

Station Area West (SA W)		
Land Uses	See Table E2; Downtown/Station Area Retail/Mixed Use and Downtown/Station Area "Main Street" Overlay	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 2.00 Public Benefit Bonus: 2.25
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 50 dwelling units per acre	
	Public Benefit Bonus: 60 dwelling units per acre	
Height	Maximum heights	Building height: 60 feet
		Façade height: 45 feet for all sides of a building except interior side wall
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 0 feet with limited setbacks allowed for store or lobby entrances, retail frontage and outdoor seating.
		Maximum: 0 feet
		Where recesses are provided, such recesses for retail frontage shall be 6 feet deep maximum and have a length of 12 feet minimum to 25 feet maximum. Such recesses for doorways shall have a depth of 2 feet minimum to 4 feet maximum and have a length of 5 feet minimum.
		A setback, accommodating a small publicly-accessible plaza, is allowed at the northwest corner of El Camino Real and Santa Cruz Avenue. Such a plaza would provide a visual landmark from the train station along Santa Cruz Avenue, and it would help connect the train station with downtown. The setback should be a minimum 35 feet along El Camino Real or match the alignment of the building on Santa Cruz Avenue on the northeast corner of El Camino Real and Santa Cruz Avenue, and it should have a depth of 10 feet minimum. If provided, this plaza could be considered as a basis for a Public Benefit Bonus.
	Side, Interior	Minimum: 0 feet
		Maximum: 0 feet
Rear	Minimum: 0 feet	
Upper Floor	10 feet minimum above the maximum façade height for all sides of a building except the interior side.	

Table E10. Development Standards and Guidelines for Station Area West (SA W) District

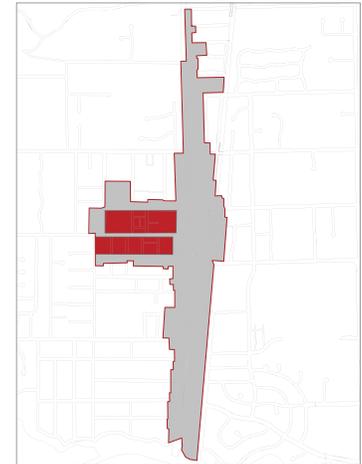
Station Area West (SA W)		
Land Uses	See Table E2; Downtown/Station Area Retail/Mixed Use and Downtown/Station Area "Main Street" Overlay	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the property line.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Not applicable
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 100 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material changes shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	<p>A 45-degree building profile is required for any portions of a building above the maximum façade height on all sides of a building except interior sides.</p> <p>On the front and corner side, the building profile shall be measured from the maximum façade height at the actual building plane. On the rear, the building profile shall be measured from the maximum façade height at the minimum setback line.</p> <p>Intrusions such as balconies and dormers may project up to a maximum of 6 feet beyond the 45-degree profile.</p> <p>Upper story setback requirements shall supersede the building profile requirements, if more restrictive.</p>
	Bulk	Bulk restriction of 175 feet in length and 200 feet diagonal is required for all portions of the building above 45 feet.
Open Space	All development	Not applicable
	Development that includes residential	<p>Minimum of 80 square feet of open space per unit created as common open space or minimum of 60 square feet of open space per unit created as private space.</p> <p>Private open space shall have minimum dimensions of 6 feet by 6 feet.</p> <p>Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.</p>
Parking	See Chapter F for off-street parking and bicycle parking standards.	

Downtown (D)

The D District is located between Oak Grove and Menlo Avenues on the north/south, and Doyle/Maloney Streets and University Drive on the east/west. The D District is characterized by a mix of retail and service uses, with retail clustered directly on Santa Cruz Avenue. The area is very close to the train station area.

The District is located in the Downtown/Station Area Retail - Mixed Use and Downtown/Station Area “Main Street” Overlay land use designations which emphasize community-serving retail and personal services at the ground-floor level and residential/office uses above. The district provides for some higher intensities with a focus on residential development given its location near the train station area and downtown, although building heights are limited relative to the station area in order to be compatible with the historic building pattern.

The following table provides the standards for the D District. Illustrations are provided to help demonstrate the standards.



Key Map. Downtown (D)

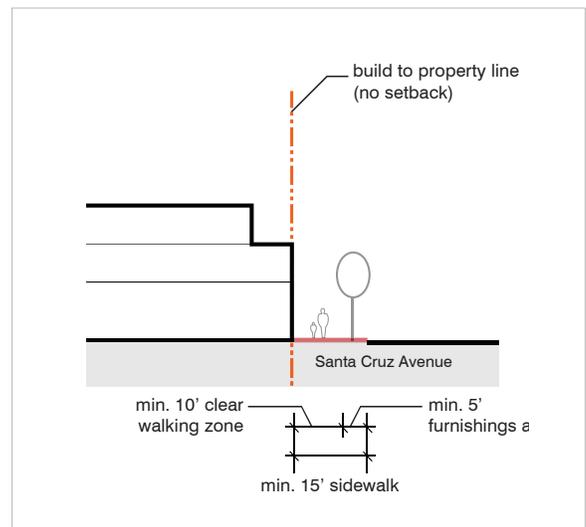


Figure E35. Setback

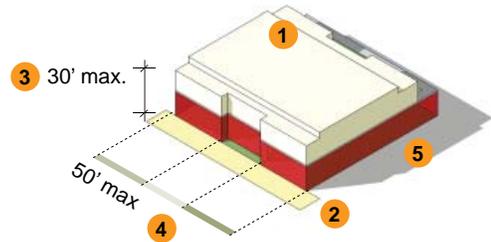
Illustration of Standards + Guidelines

Commercial / Retail Project

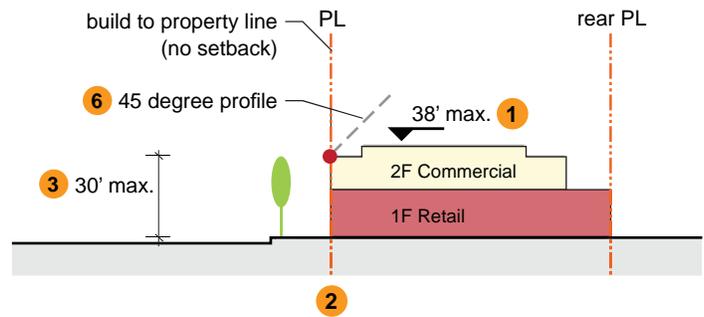


Downtown (D), 2 stories Commercial/
Retail: ground floor retail with
commercial above

- 1 Maximum Height
- 2 Setback
- 3 Facade Maximum Height
- 4 Facade Modulation
- 5 Side Setback
- 6 Building Profile



Downtown (D), 2 stories Commercial/
Retail: ground floor retail with
commercial above

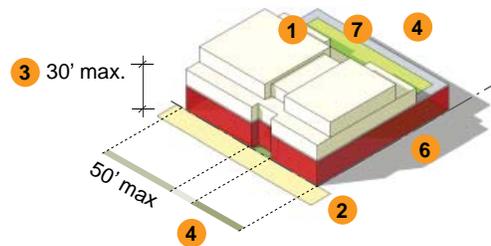


Mixed-use Residential Project



Downtown (D), 2-3 stories Mixed-Use:
ground floor retail with residential above

- 1 Maximum Height
- 2 Setback
- 3 Facade Maximum Height
- 4 Facade Modulation
- 5 Upper-story Setback
- 6 Side Setback
- 7 Open Space Minimum
- 8 Building Profile



Downtown (D), 2-3 stories Mixed-Use:
ground floor retail with residential above

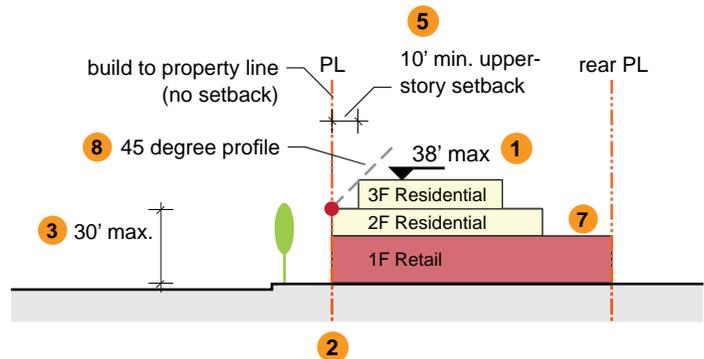


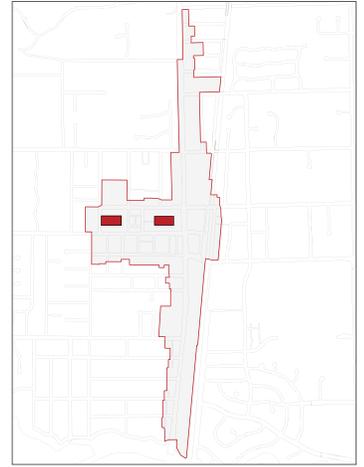
Figure E36. Commercial/Retail and Mixed-use Residential Projects

Illustration of Standards + Guidelines

Parking/Mixed-use Residential Project



- 1 Maximum Height
- 2 Side/Rear Setback
- 3 Facade Maximum Height
- 4 Facade Modulation
- 5 Upper-story Setback
- 6 Roof/Terrace
- 7 Active Use
- 8 Building Profile



Downtown (D) Parking Parcel, 3-4 stories Parking/Mixed-use Residential: ground floor retail with parking below/at-grade/above and residential above

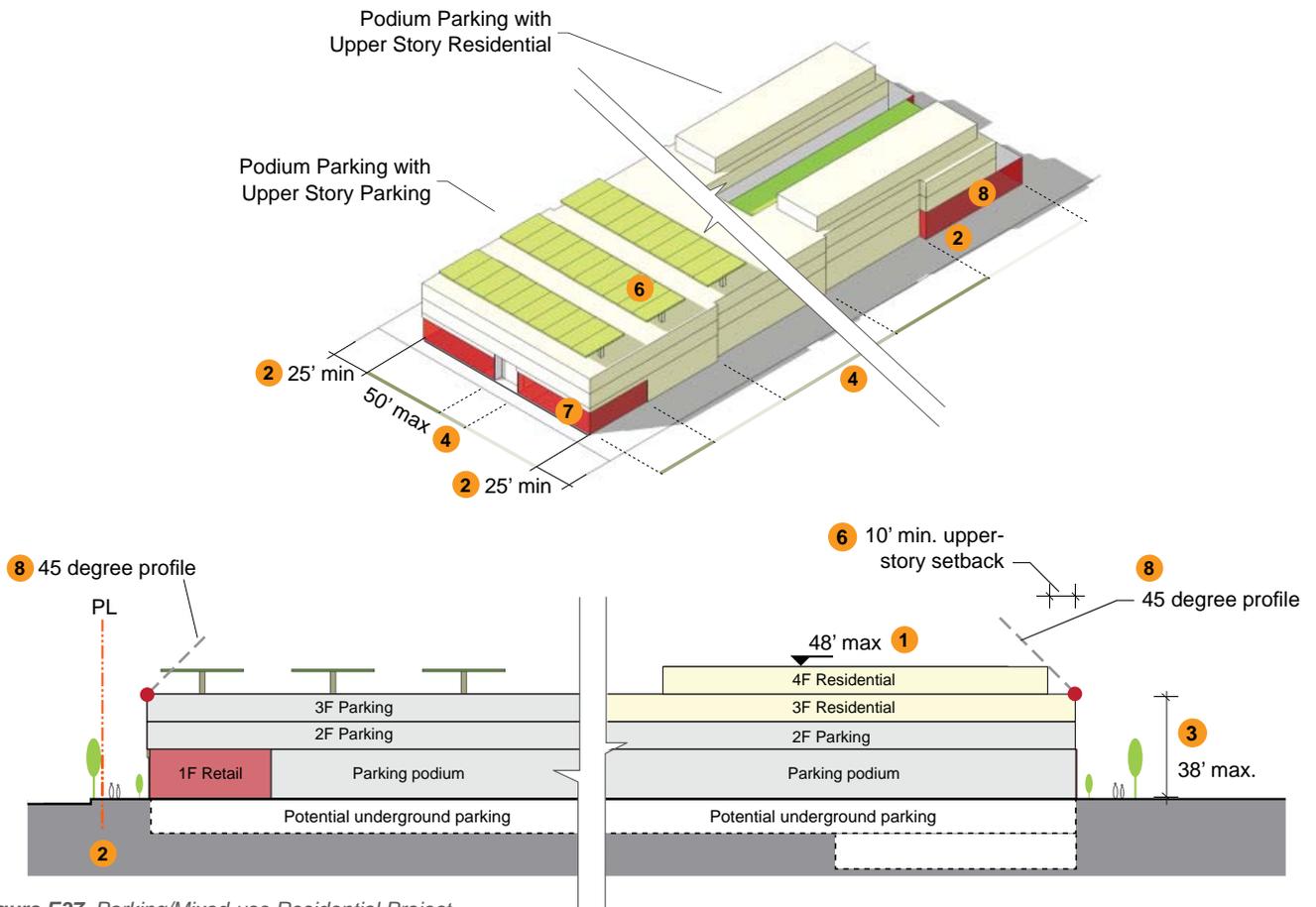


Figure E37. Parking/Mixed-use Residential Project

Downtown (D)		
Land Uses	See Table E2; Downtown/Station Area Retail/Mixed Use and Downtown/Station Area "Main Street" Overlay	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 2.00
		Public Benefit Bonus: 2.25
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 25 dwelling units per acre	
	Public Benefit Bonus: 40 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet, except on parking plazas 1 and 3 where 48 feet is allowed
		Façade height: 30 feet for all sides of a building except interior side wall; 38 feet on all sides of parking plazas
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 0 feet with limited setbacks allowed for store or lobby entrances, retail frontage and outdoor seating.
		Maximum: 0 feet
		Where recesses are provided, such recesses for retail frontage shall be 6 feet deep maximum and have a length of 12 feet minimum to 25 feet maximum. Such recesses for doorways shall have a depth of 2 feet minimum to 4 feet maximum and have a length of 5 feet minimum.
		Where recesses are provided, the recesses shall be coordinated with, and match or exceed, adjacent sidewalks
	Side, Interior	Minimum: 0 feet
		Maximum: 0 feet
	Rear	Minimum: 0 feet
	Parking Plazas	Minimum: 25 feet on all sides directly abutting private property to provide services and emergency access
Upper Floor	10 feet minimum above façade height maximum for all sides of a building except interior side	

Table E11. Development Standards and Guidelines for Downtown (D) District

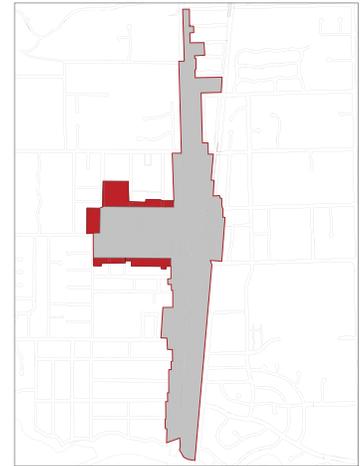
Downtown (D)		
Land Uses	See Table E2; Downtown/Station Area Retail/Mixed Use and Downtown/Station Area "Main Street" Overlay	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line, or property line in the case where a setback is not applicable.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Not applicable
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 50 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material change shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	A 45-degree building profile is required for any portions of a building above the façade height maximum on all sides of a building except interior sides, except for parking plazas where the building profile shall apply to all sides of a building.
		On the front and corner side, the building profile shall be measured from the maximum façade height at the actual building plane. On the rear, the building profile shall be measured from the maximum façade height at the minimum setback line. For parking plazas, the building profile shall be measured from the façade height maximum at the actual building plane on all sides.
Intrusions such as balconies or dormers may project up to a maximum of 6 feet beyond the 45 degree profile.		
	Upper story setback requirements shall supersede the building profile requirements, if more restrictive.	
Bulk	Not applicable	
Open Space	All development	Not applicable
	Development that includes residential	Minimum of 80 square feet of open space per unit created as common open space or minimum of 60 square feet of open space per unit created as private space.
		Private open space shall have minimum dimensions of 6 feet by 6 feet.
	Residential open space, whether in common or private areas, shall count toward the minimum open space requirement for the development.	
Parking	See Chapter F for off-street parking and bicycle parking standards.	

Downtown Adjacent (DA)

The DA District is located on the 'outer' sides of Oak Grove Avenue, University Drive, and Menlo Avenue and is characterized by a mix of office and residential uses. The area acts as a buffer between downtown and adjacent medium density residential uses.

The District is located in the Downtown Adjacent Office – Residential land use designation which supports a variety of non-retail office, residential and personal service uses. The District complements downtown with needed services that do not directly compete with the downtown's retail core.

The following table provides the standards for the DA District. Illustrations are provided to help demonstrate the standards.



Key Map. Downtown Adjacent (DA)

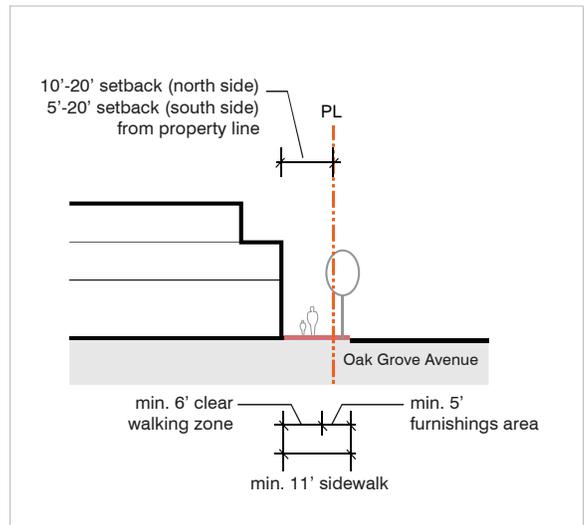
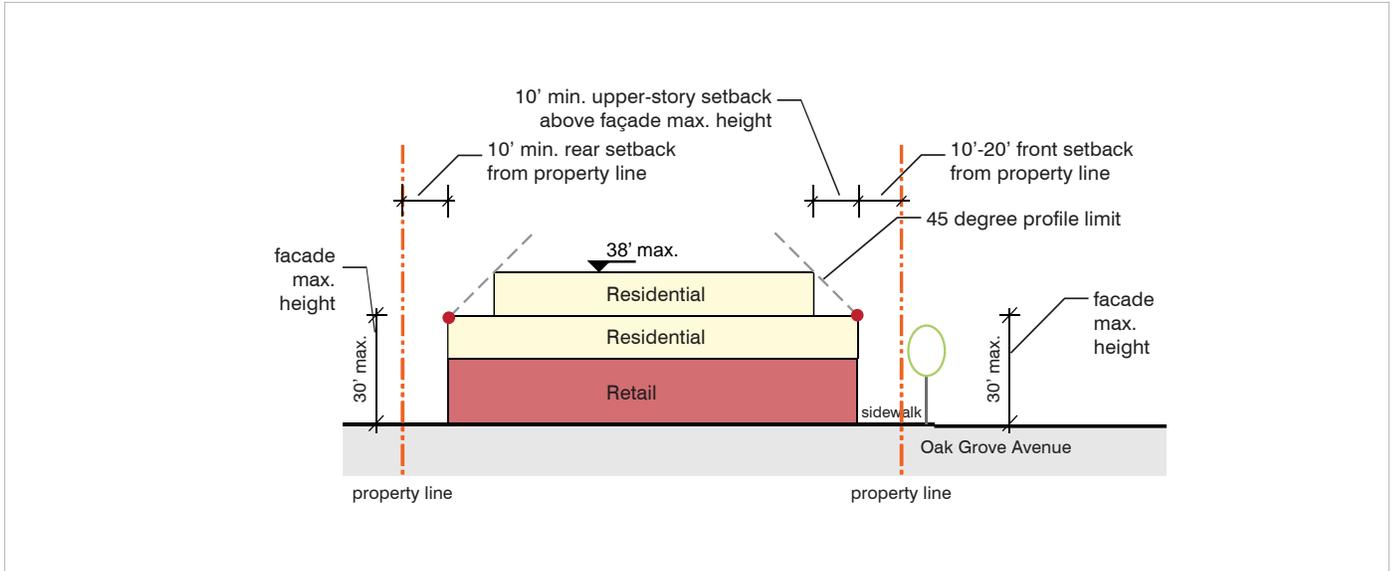


Figure E38. Setback

Illustration of Standards + Guidelines

Mixed-use Residential Project - North Side



Mixed-use Residential Project - South Side

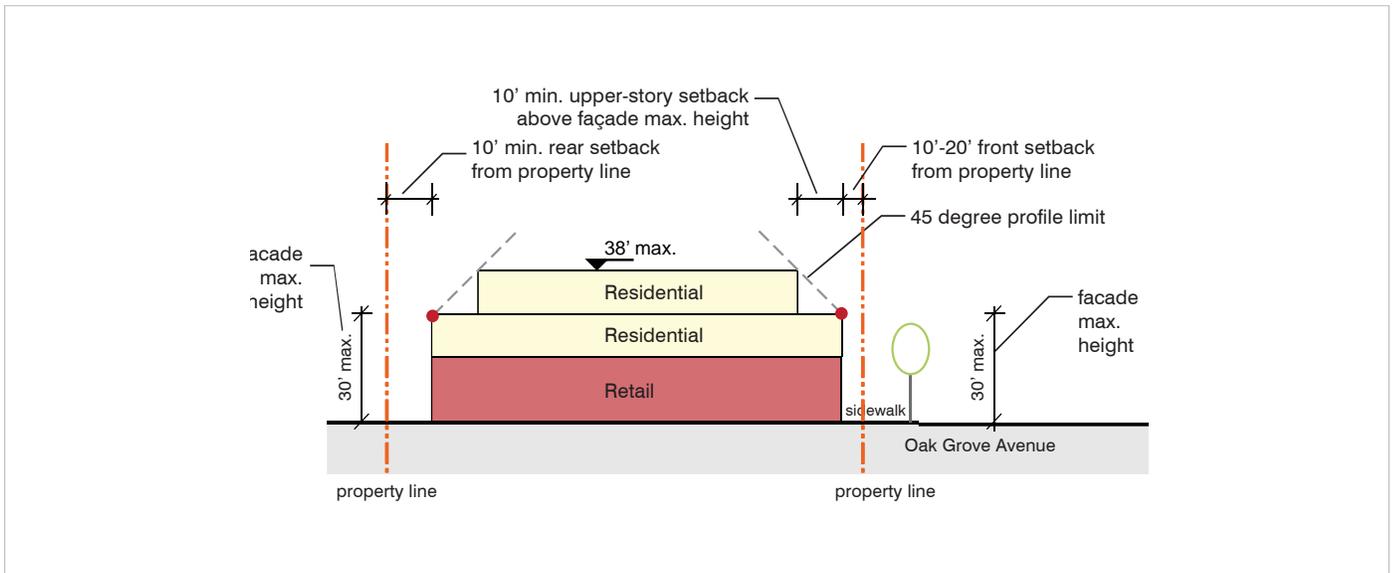


Figure E39. Mixed-use Residential Projects

Downtown Adjacent (DA)		
Land Uses	See Table E2; Downtown Adjacent Office/Residential	
Floor Area Ratio (FAR)	Maximum for all uses, inclusive of Offices	Base: 0.85 Public Benefit Bonus: 1.00
	Maximum for Offices, inclusive of Medical and Dental Offices	One half of the Base or Public Benefit Bonus FAR, whichever is applicable
	Maximum for Medical and Dental Offices	One third of the Base or Public Benefit Bonus FAR, whichever is applicable
Density	Base: 18.5 dwelling units per acre	
	Public Benefit Bonus: 25 dwelling units per acre	
Height	Maximum heights	Building height: 38 feet
		Façade height: 30 feet for all sides of a building except interior side
	Minimum heights	Commercial ground floor: 13 feet clear interior height
	Allowed encroachments	Rooftop and mechanical equipment and solar panels are allowed to exceed the building height limit provided they are integrated into the design of the building and screened from view as observed at an eye level horizontal to the top of the equipment.
Setbacks	Front and Corner Side (note: please reference Figure E7 for standards applying to specific street faces)	Minimum: 5 feet except for area north of Oak Grove Avenue where 10 feet is required Maximum: 20 feet
		Setbacks shall be sufficient to provide an 11 foot wide sidewalk with a minimum 6 foot wide clear walking zone and a minimum 5 foot wide furnishings/planting zone.
		Front setback areas shall be developed with sidewalks and/or landscaping. Parking is prohibited within front setback areas.
		Where sidewalks are provided, the sidewalk shall be coordinate with existing sidewalks and match or exceed City standard paving materials.
	Side, Interior	Minimum: 5 feet
		Maximum: 25 feet
Rear	Minimum: 10 feet	
Upper Floor	10 feet minimum above façade height maximum on all sides of a building except interior sides	

Table E12. Development Standards and Guidelines for Downtown Adjacent (DA) District

Downtown Adjacent (DA)		
Land Uses	See Table E2; Downtown Adjacent Office/Residential	
	Allowed Encroachments	<p>Volumetric projections may project 6 feet maximum in depth and 50 feet maximum in length from the building face into the public right-of-way, sidewalk clear walking zone and/or other public space provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space and provided that the total area of the volumetric projection shall not exceed 35% of the building façade built at the setback line.</p> <p>Canopies and awnings may project 6 feet maximum from the building face provided an 8 foot minimum clearance above the public right-of-way, sidewalk clear walking zone and/or other public space.</p>
Massing and Modulation	The portion of the building facing a street shall be parallel to the street.	
	Building Breaks	Not applicable
	Building Façade Modulation	Building facades located on streets and public spaces shall not exceed more than 50 feet in length without a change in visual interest through the use of recesses, projections and/or color and/or material changes. Such recesses, projections and/or color and/or material change shall have a minimum width of 6 feet and projections and recesses shall have a minimum depth of 4 feet.
	Building Profile	<p>A 45-degree building profile is required for any portions of a building above the façade height maximum on all sides of a building except interior side.</p> <p>On the front and corner side, the building profile shall be measured from the maximum façade height at the actual building plane. On the rear, the building profile shall be measured from the maximum façade height at the minimum setback line.</p> <p>Intrusions such as balconies and dormers may project up to a maximum of 6 feet beyond the 45-degree profile.</p> <p>Upper story setback requirements shall supersede the building profile requirements, if more restrictive.</p>
	Bulk	Not applicable
Open Space	All development	Not applicable
	Development that includes residential:	Minimum of 100 square feet of open space per unit created as common open space or minimum of 80 square feet of open space per unit created as private space.
		Private open space shall have minimum dimensions of 6 feet by 8 feet.
		Accessible open space above parking podiums up to 16 feet high will count toward the common open space requirement.
Parking	See Chapter F for off-street parking and bicycle parking standards.	

