



NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Architectural Control/Charlie Troglio/840 Menlo Avenue:

Request for architectural control to construct a new, three-story mixed-use building on a vacant lot in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The building would consist of parking and lobby entrances on the ground floor, non-medical office on the second floor, and three dwelling units (with terraces) on the third floor.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Yesenia Jimenez, Associate Planner, at (650) 330-6732 or email her at yjimenez@menlopark.org. The Planning Division encourages submittal of comments and questions by January 12, 2017 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.



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TECTS

RECEIVED

DEC 8 2016

CITY OF MENLO PARK
BUILDING

December 08, 2016

Thomas Rodgers
Planning Division
701 Laurel Street
Menlo Park, CA 94025

RE: 840 Menlo Ave Planning Commission Review – Project Description

Dear Mr. Rodgers:

Attached is Hayes Group Architect's submission of 840 Menlo Ave for the Planning Commission Review. The project applicant is Hayes Group Architects on behalf of the Troglio family. This package includes proposed architectural plans, civil plans, and landscape plans. Material board, application forms, and relevant reports are also included.

1. EXISTING CONDITIONS

The site, a vacant parcel, is located on the north west corner of Evelyn St. and Menlo Ave. The property is surrounded by Draeger's Market to the west Menlo Office Plaza to the east, city parking to the north, and residential uses across Menlo Ave to the south.

2. PROPOSED PROJECT

We are proposing the construction of a mixed-use building consisting of ground floor parking, second floor office space with ground floor entrance lobby, and three residential condominiums on the third floor. The architectural language for the first and second floors adopt a modern use of the neighborhood brick aesthetic found at Draeger's Market. The scale of the building is broken down by the two metal and glass volumes sitting atop the brick base that define the office uses. The scale is further broken down by residential units setback on the third floor, which take the form of roof top lofts commonly found in metropolitan areas. A common terrace, serviced by the stairs and elevator, accesses the units. Each unit has a generous private terrace. On-grade parking complies with the 13 stalls required for the project. Garage entrance is located on Evelyn St., adjacent to the building's main lobby.

Landscaping has been designed to integrate the building with Draeger's Market and surrounding greenery by use of vines and hedges along Menlo Ave, Evelyn St., and the city parking lot.

We look forward to meeting the Planning Commission and staffs at the public hearing so that we can proceed with the development of this project.

Please call me at (650) 365-0699 x15 if you have any questions.

HAYES
GROUP
ARCHI
TECTS

Sincerely,



Ken Hayes, AIA
Principal

CC: Charlie Troglio



PLANNING COMMISSION SET FOR:
840 MENLO AVE
MENLO PARK, CA 94025

12.08.2016

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DEC 8 2016

CITY OF MENLO PARK
 CITY BUILDING
 PARK BUILDING



HAYES GROUP ARCHITECTS, INC.
 2657 SPRING STREET
 REDWOOD CITY, CA 94063
 P: 650.365.0600
 F: 650.365.0670
 www.thehayesgroup.com

PROJECT DESCRIPTION:
 840 MENLO AVE.

840 MENLO AVE
 MENLO PARK, CA
 CA, 94025

DESCRIPTION
 PLANNING SET
 12.08.16

SHEET REVISIONS

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- △
- △
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- △
- △

DRAWING CONTENT

DRAWING INDEX, VICINITY MAP,
 PROJECT INFORMATION, PROJECT
 CONSULTANTS

STAMP

JOB NUMBER:
 1537.00
 SCALE:
 N/A
 DRAWN BY:
 DM

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 herein constitute the original & unaltered
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 Group Architects, Inc.

DRAWING NUMBER

A0.1

| PROJECT CONSULTANTS | PROJECT INFORMATION | GENERAL ZONING COMPLIANCE ANALYSIS | DRAWING INDEX | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|--|--|---------------|----------|----------|--------------------------|-----------|--|-----------------|----------|--|-----------------|---------|--|-------------------|------|--|------------|--|--|---------------|------|-----|--------------|------|-----|--------------|------|-----|----------------|-------|-----|-----------------------|------|-----|-----------------------------------|--------------------------|--------------------------|-------------------------|------|--------|---|------|--------|--------------------------------|--|--------|----------------|-----|------|---|
| <p>ARCHITECT HAYES GROUP ARCHITECTS 2657 SPRING STREET REDWOOD CITY, CA 94063 650.365.0600 650.365.0670 FAX CONTACT: KEN HAYES R.15 KHAYES@THEHAYESGROUP.COM</p> <p>STRUCTURAL SIERRA ENGINEERING GROUP 38912 MISSION BLVD SUITE 109 FREDERICK, CA 94508 510.443.8550 PH 510.443.8468 FAX CONTACT: JESUS SIERRA R.15 JSIERRA@SIERRAGROUP.COM</p> <p>CIVIL SURVEYOR BVP ENGINEERS 1839 TECHNOLOGY DR #209 SAN JOSE, CA 95116 408.487.8117 PH 415.487.3199 FAX CONTACT: BRANKO KONTOVSKIY BKONTOVSKIY@BVP.COM</p> <p>MECHANICAL INTERPACE ENGINEERING 125 MARIN E.L. SUITE 100 SAN FRANCISCO, CA 94105 415.488.3231 PH CONTACT: SHAWN WILSON SHAWN@INTERPACEENGINEERING.COM</p> <p>LANDSCAPE KEITH WILKS LANDSCAPE ARCHITECTURE AND CONSTRUCTION 885 SANTA CRUZ AVE., SUITE D MENLO PARK, CA 94025 650.329.3291 PH 650.329.3293 FAX CONTACT: KEITH WILKS KEITH@KEITHWILKSLANDSCAPE.COM</p> <p>ACOUSTIC MED-WU ACOUSTICS 3 TRINIDAD PLAZA DR REDWOOD CITY, CA 94065 650.365.1821 PH 650.365.4727 FAX CONTACT: DANIEL MESSINGHEMER GABRIEL@MED-WU.COM</p> <p>TOPI TDM SPECIALISTS, INC 2609 BRADSHAW RD., SUITE H #242 SACRAMENTO, CA 95227 916.426.2411 PH CONTACT: ELIZABETH HUGHES ELIZABETH.HUGHES@TDMSPICIALISTS.COM</p> <p>UTILITY SUNSHINE DESIGN LLC 324 CAMPUS LANE SUITE B FAIRFIELD, CA 94534 707.429.3658 PH CONTACT: ROBERT ANTONIO R.ANTONIO@SUNSHINEDESIGNLLC.NET</p> | <p>PROJECT DESCRIPTION 06 THREE STORY MIXED USE BUILDING WITH GROUND FLOOR TRAINING AND LOBBY, SECOND FLOOR OFFICE AND THREE RESIDENTIAL CONDOMINIUMS ON THE THIRD FLOOR.</p> <p>APN 071773070</p> <p>ZONING SP-BCHD</p> <p>CONSTRUCTION TYPE V-8</p> <p>OCCUPANCY B / R2</p> <p>BUILDING CODES 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA GREEN BUILDING CODE (CAL GREEN) 2013 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2008 EDITION OF CALIFORNIA TITLE 24 ENERGY REGULATIONS 2013 IBC IBC 13 (NO ALTO ORDINANCE NOTE) ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS</p> <p>FIRE SPRINKLERS 0/6 SPRINKLERS THROUGHOUT</p> <p>TRANS/RECYCLE ON-SITE</p> <p>GREEN BUILDING PROJECT TO COMPLY WITH CITY OF MENLO PARK, LEED SILVER EQUIVALENT STANDARD</p> <p>FIRE DEPARTMENT NOTES</p> <p>1. FIRE ALARM SYSTEM TO COMPLY WITH CBC'S INT.3.3.</p> <p>VICINITY MAP</p> <p>PROJECT SITE</p> | <table border="1"> <thead> <tr> <th>REQUIRED</th> <th>PROPOSED</th> <th>COMPLIES</th> </tr> </thead> <tbody> <tr> <td>ASSESSOR'S PARCEL NUMBER</td> <td>071773070</td> <td></td> </tr> <tr> <td>TOTAL SITE AREA</td> <td>1,837 SF</td> <td></td> </tr> <tr> <td>ZONING DISTRICT</td> <td>SP-BCHD</td> <td></td> </tr> <tr> <td>HISTORIC CATEGORY</td> <td>NONE</td> <td></td> </tr> <tr> <td>FLOOD ZONE</td> <td></td> <td></td> </tr> <tr> <td>FRONT SETBACK</td> <td>NONE</td> <td>YES</td> </tr> <tr> <td>REAR SETBACK</td> <td>NONE</td> <td>YES</td> </tr> <tr> <td>SIDE SETBACK</td> <td>NONE</td> <td>YES</td> </tr> <tr> <td>MAXIMUM HEIGHT</td> <td>38'0"</td> <td>YES</td> </tr> <tr> <td>MAXIMUM SITE COVERAGE</td> <td>100%</td> <td>82%</td> </tr> <tr> <td>MINIMUM LANDSCAPE/OPEN SPACE AREA</td> <td>MIN. 80 SF. PER RES UNIT</td> <td>MIN. 197 SF PER RES UNIT</td> </tr> <tr> <td>LANDSCAPE AREA PROVIDED</td> <td>0 SF</td> <td>844 SF</td> </tr> <tr> <td>GROUND FLOOR OPEN SPACE AREA (LANDSCAPE NOT INCLUDED)</td> <td>0 SF</td> <td>168 SF</td> </tr> <tr> <td>TOTAL (REFER TO AD 4 AND A1.1)</td> <td></td> <td>832 SF</td> </tr> <tr> <td>MAXIMUM F.A.R.</td> <td>2.0</td> <td>1.66</td> </tr> </tbody> </table> | REQUIRED | PROPOSED | COMPLIES | ASSESSOR'S PARCEL NUMBER | 071773070 | | TOTAL SITE AREA | 1,837 SF | | ZONING DISTRICT | SP-BCHD | | HISTORIC CATEGORY | NONE | | FLOOD ZONE | | | FRONT SETBACK | NONE | YES | REAR SETBACK | NONE | YES | SIDE SETBACK | NONE | YES | MAXIMUM HEIGHT | 38'0" | YES | MAXIMUM SITE COVERAGE | 100% | 82% | MINIMUM LANDSCAPE/OPEN SPACE AREA | MIN. 80 SF. PER RES UNIT | MIN. 197 SF PER RES UNIT | LANDSCAPE AREA PROVIDED | 0 SF | 844 SF | GROUND FLOOR OPEN SPACE AREA (LANDSCAPE NOT INCLUDED) | 0 SF | 168 SF | TOTAL (REFER TO AD 4 AND A1.1) | | 832 SF | MAXIMUM F.A.R. | 2.0 | 1.66 | <p>ARCHITECTURAL</p> <p>A0.1 DRAWING INDEX, VICINITY MAP, PROJECT INFORMATION, PROJECT CONSULTANTS</p> <p>A0.2 CONTEXTUAL STREETSCAPE/ SITE PHOTOS</p> <p>A0.3 BRIGHTLINE SECTIONS</p> <p>CIVIL</p> <p>1 OF 1 TOPOGRAPHIC SURVEY</p> <p>C1.0 EXISTING CONDITIONS PLAN</p> <p>C2.0 PRELIMINARY SITE PLAN AND GRADING & DRAINAGE PLAN</p> <p>C3.0 PRELIMINARY UTILITY PLAN</p> <p>C4.1 EROSION CONTROL PLAN</p> <p>C4.2 EROSION CONTROL DETAILS</p> <p>C4.3 BEST MANAGEMENT PRACTICES</p> <p>C5.0 PRELIMINARY FIRE ACCESS PLAN</p> <p>ARCHITECTURAL (CONTINUED)</p> <p>A1.1 AREA SUMMARY AND LEED CHECKLIST</p> <p>A1.2 AREA PLAN</p> <p>A1.3 SITE PLAN</p> <p>A1.4 SQUARE FOOTAGE CALCULATION PLANS</p> <p>A1.5 AREA DIAGRAMS</p> <p>A2.1 PROPOSED FIRST AND SECOND FLOOR PLAN</p> <p>A2.2 PROPOSED THIRD FLOOR AND ROOF PLAN</p> <p>A3.0 EXISTING ELEVATIONS</p> <p>A3.1 PROPOSED ELEVATIONS</p> <p>A3.2 PROPOSED ELEVATIONS</p> <p>A3.3 PROPOSED SECTIONS</p> <p>A3.4 BUILDING MODULATION DIAGRAMS</p> <p>A3.5 BUILDING MODULATION DIAGRAMS</p> <p>A4.1 PERSPECTIVES</p> <p>LANDSCAPE</p> <p>L1.0 PRELIMINARY FIRST FLOOR LANDSCAPE PLAN</p> <p>L1.1 PRELIMINARY 3RD FLOOR LANDSCAPE PLAN</p> <p>UTILITY</p> <p>3 OF 8 JOINT TRENCH COMPOSITE</p> <p>4 OF 8 ELECTRIC CIRCUIT PLAN</p> <p>5 OF 8 ELECTRIC PLAN</p> |
| REQUIRED | PROPOSED | COMPLIES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ASSESSOR'S PARCEL NUMBER | 071773070 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL SITE AREA | 1,837 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ZONING DISTRICT | SP-BCHD | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| HISTORIC CATEGORY | NONE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FLOOD ZONE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FRONT SETBACK | NONE | YES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| REAR SETBACK | NONE | YES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| SIDE SETBACK | NONE | YES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MAXIMUM HEIGHT | 38'0" | YES | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MAXIMUM SITE COVERAGE | 100% | 82% | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MINIMUM LANDSCAPE/OPEN SPACE AREA | MIN. 80 SF. PER RES UNIT | MIN. 197 SF PER RES UNIT | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| LANDSCAPE AREA PROVIDED | 0 SF | 844 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| GROUND FLOOR OPEN SPACE AREA (LANDSCAPE NOT INCLUDED) | 0 SF | 168 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| TOTAL (REFER TO AD 4 AND A1.1) | | 832 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MAXIMUM F.A.R. | 2.0 | 1.66 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |



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GROUP
ARCHITECTS

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PROJECT DESCRIPTION:
840 MENLO AVE

840 MENLO AVE
MENLO PARK, CA
CA, 94025

DESCRIPTION
PLANNING SET
12.08.16

SHEET REVISIONS

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- △
- △

DRAWING CONTENT
STREETSCAPE

STAMP

JOB NUMBER:
1537.00

SCALE:
AS NOTED

DRAWN BY:
DM

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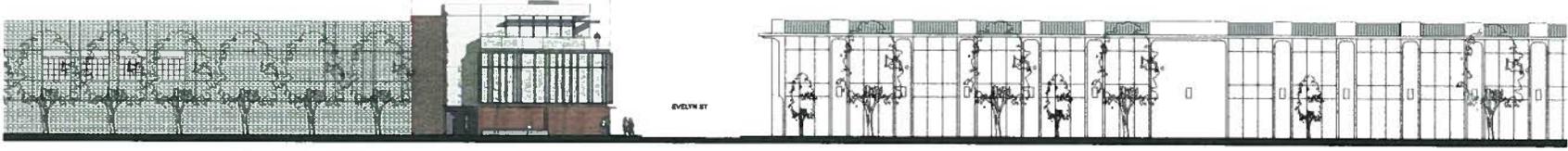
A0.2



EVELYN ST ELEVATION 4
SCALE: 1/8" = 1'-0"



EVELYN ST STREETSCAPE 3
SCALE: 1/8" = 1'-0"



MENLO AVE ELEVATION 2
SCALE: 1/8" = 1'-0"



MENLO AVE STREETSCAPE 1
SCALE: 1/8" = 1'-0"

Date: 12/7/16
File Name: 1537.00_A0.2.rvt



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PROJECT DESCRIPTION:
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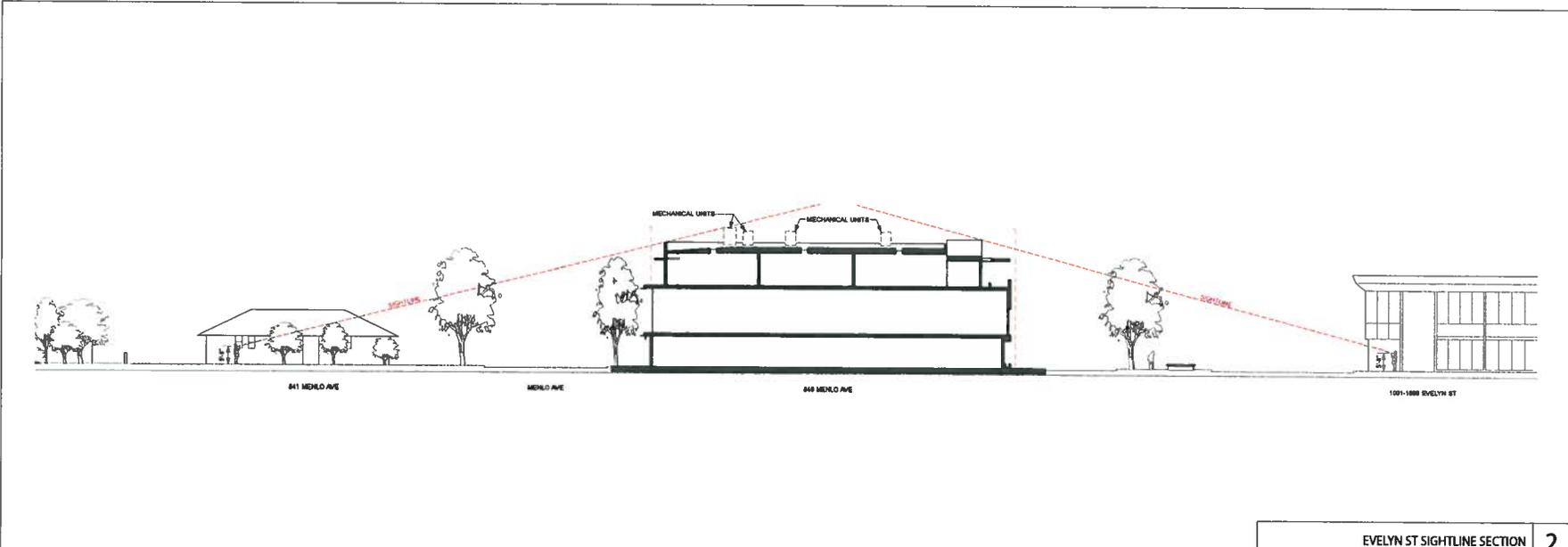
840 MENLO AVE
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 CA, 94025

DESCRIPTION
 - PLANNING SET
 12.08.16

SHEET REVISIONS

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EVELYN ST SIGHTLINE SECTION 2
 SCALE: 1/4" = 1'-0"

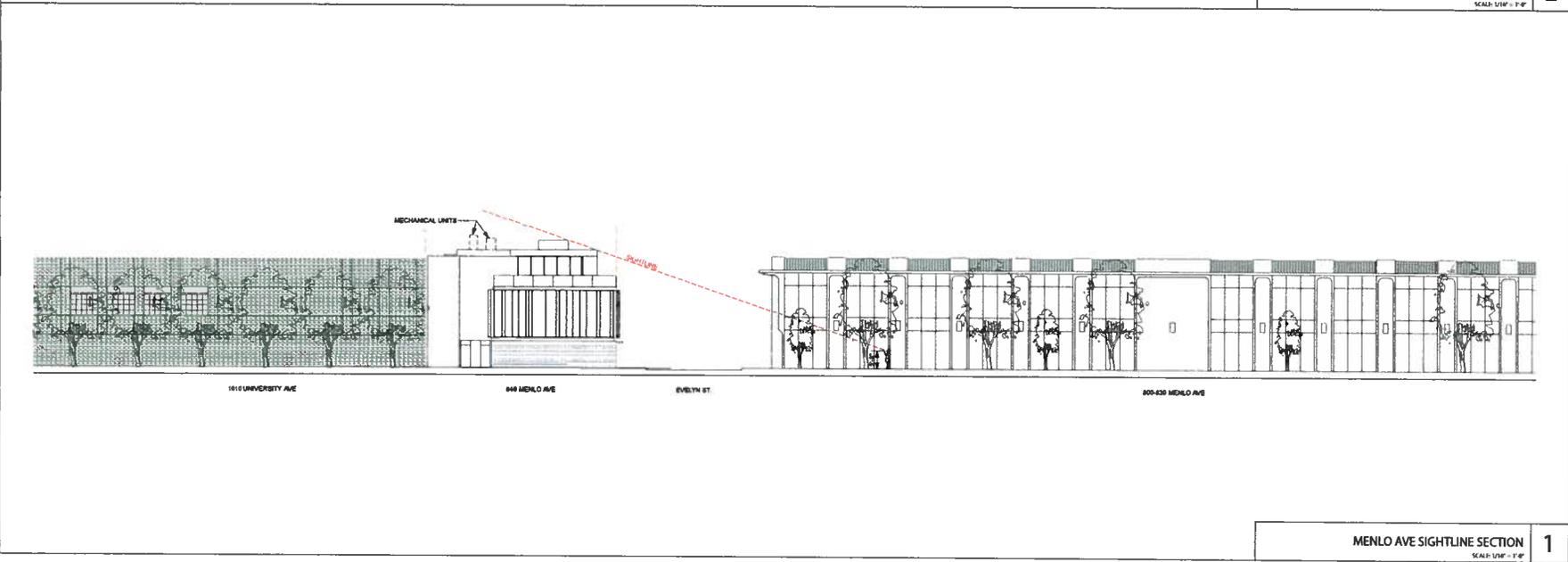


DRAWING CONTENT
 SIGHTLINE SECTION

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JOB NUMBER:
 1537.06
 SCALE:
 AS NOTED
 DRAWN BY:
 EDT
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 Group Architects, Inc.
 DRAWING NUMBER

MENLO AVE SIGHTLINE SECTION 1
 SCALE: 1/4" = 1'-0"



Date: 12/7/16
 File name: ES17.06_A0.3.rvt

A0.3

RM-72.04
 (M)=71.21 (FVPRM)
 X DIRECTION OF FLOW

RM-72.11
 (M)=71.21
 BOTTOM OF BOX=64.78
 4" PFC

RM-72.80
 (M)=68.70 (M)
 (M)=68.53 (1982)
 4" PFC
 X DIRECTION OF FLOW

EVELYN ST.

MENLO AVENUE

- LEGEND
- SON POST
 - FIRE HYDRANT
 - GUY ANCHOR
 - ADV ANTS SPRINK VALVE
 - AC ASPHALT CONCRETE
 - BW BACK OF WALK
 - BLDG BUILDING
 - CONC CONCRETE
 - DI DRAINAGE WILET
 - EP EDGE OF PAVEMENT
 - FL FLOOR LINE
 - FC FACE OF CURB
 - FC FRESH FLOOR
 - LP LIP OF BUTTE
 - JY JOINT POLE
 - SV GAS VALVE
 - SMH SANITARY SEWER MANHOLE
 - TV TOP OF CURB
 - WV WATER VALVE
 - WM WATER METER
 - — — — — PROPERTY LINE

NOTE:
 BOUNDARY SHOWN HEREIN IS RAISED UPON RECORD INFORMATION. A FIELD BOUNDARY RESOLUTION SHOULD BE COMPLETED PRIOR TO FINAL DESIGN.

BENCHMARK STATEMENT:
 THIS TOPOGRAPHIC SURVEY WAS BASED ON THE ELEVATION OF BENCHMARK LISTIN, A BENCHMARK DISK SET ON MASONRY STRUCTURE AT THE INTERSECTION OF SANTA CRUZ AVENUE AND EL CAMINO REAL AT THE ELLIOT BUILDING, IN THE TOP PROJECTION OF THE GRANITE FOUNDATION, WITH ELEVATION=71.13 FT.

BASE OF BEARING:
 BASES OF BEARING FOR THIS SURVEY IS BASED UPON B.S.S. DISTANCES SHOWN HEREIN ARE GRO. UNLESS NOTED BY 1.000000 FOR GROUND DISTANCES.

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION

MICHAEL SHOFF
 LICENSED LAND SURVEYOR 7616

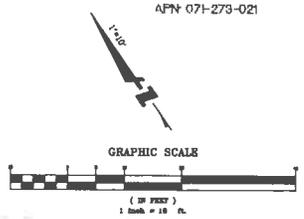


PSM 15
 PARKING LOT

APN: 071-273-007

PSM 10
 APN: 071-273-021

TOP OF BUILDING
 EL=108.00'
 APRIL ROOF
 EL=88.65'



1650 TECHNOLOGY DRIVE
 SUITE 850
 SAN JOSE, CA 95110
 408-487-9100
 408-487-8199



CALIFORNIA

840 MENLO AVE.
 TOPOGRAPHIC SURVEY

SAN MATEO

APN 071-274-004

APN 071-274-008

MENLO PARK

| No. | Revisions |
|-----|-------------------|
| 1 | Issue: 04/08/2018 |
| 2 | Issue: 11/17 |
| 3 | Issue: 07/20/20 |
| 4 | Issue: 07/20/20 |
| 5 | Issue: 07/20/20 |



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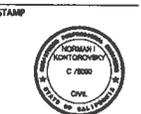
840 MENLO AVE
 MENLO PARK, CA
 CA, 94025

DESCRIPTION
 PLANNING SUBMISSION
 12.08.18

- SHEET REVISIONS
- △
 - △
 - △
 - △
 - △

BKF100
 YEARS
 ENGINEERS, SURVEYORS, PLANNERS
 1730 N. FIRST STREET, SUITE 800
 SAN JOSE, CA 95112
 PH: 408.467.9100 FAX: 408.467.9189

DRAWING CONTENT
**EXISTING
 CONDITIONS
 PLAN**

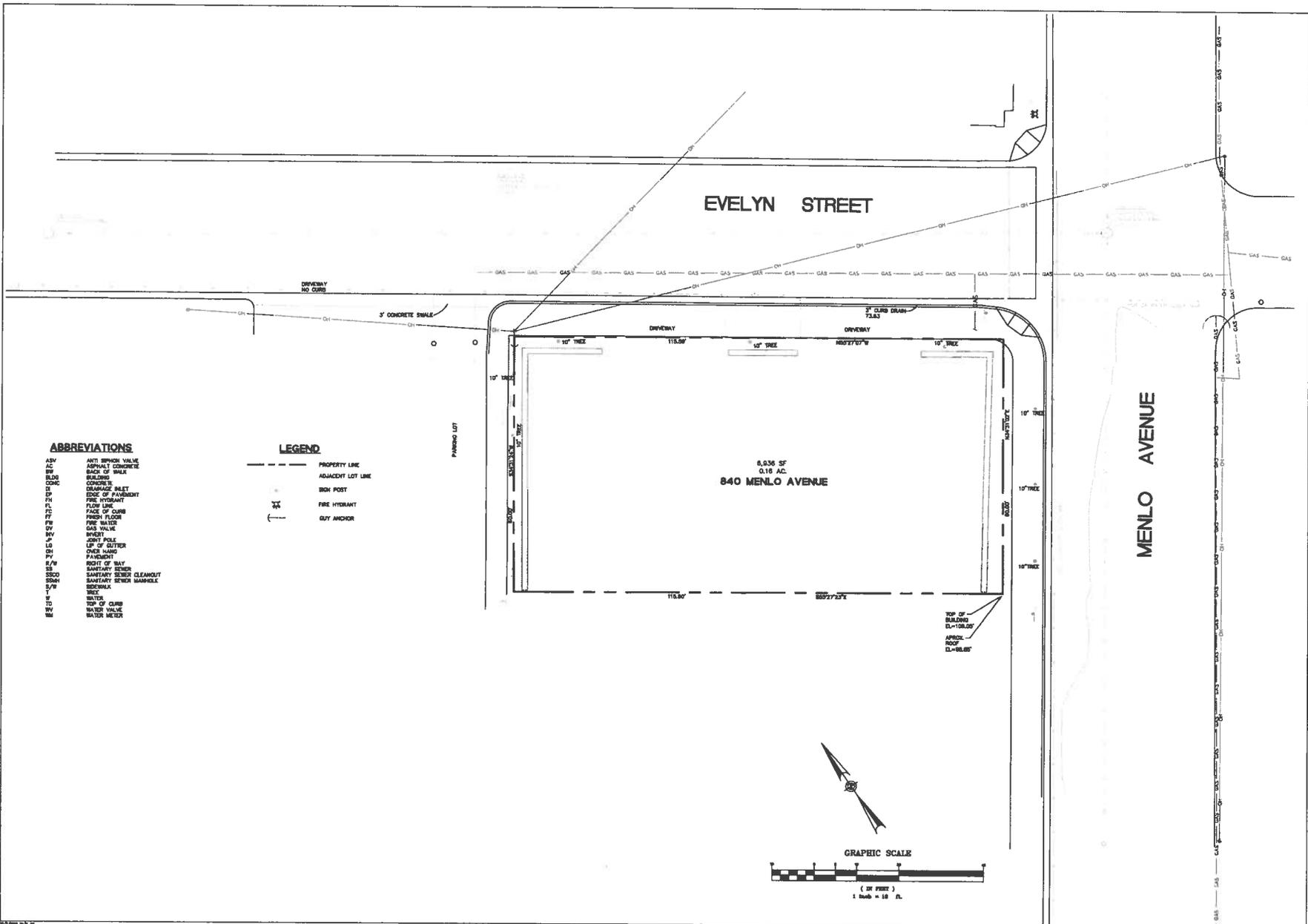


NO. JOB NUMBER
 20180510
 SCALE:
 DRAWN BY: MAC

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DRAWING NUMBER

C1.0



ABBREVIATIONS

| | |
|------|--------------------------|
| ASV | ANTI-SIPHON VALVE |
| AC | ASPHALT CONCRETE |
| BSM | BASE OF WALK |
| BLDN | BUILDING |
| CONC | CONCRETE |
| DI | DRAINAGE INLET |
| EP | EDGE OF PAVEMENT |
| PH | FIRE HYDRANT |
| FL | FLUSH LINE |
| FC | FACE OF CURB |
| FF | FRESH FLOOR |
| FW | FIRE WATER |
| GV | GAS VALVE |
| HW | HEAD |
| IP | INLET |
| LS | LEFT SIDE |
| LS | LEFT SIDE |
| OS | OVER SILL |
| ON | ONCE NAME |
| PAV | PAVEMENT |
| R/W | RIGHT OF WAY |
| SI | SANITARY SINKER |
| SSCO | SANITARY SINKER CLEANOUT |
| SSMR | SANITARY SINKER MANHOLE |
| S/W | SEWER |
| TR | TRUCK |
| W | WATER |
| TD | TOP OF CURB |
| WV | WATER VALVE |
| WM | WATER METER |

LEGEND

| | |
|---------|-------------------|
| --- | PROPERTY LINE |
| - - - - | ADJACENT LOT LINE |
| + | SIGN POST |
| + | FIRE HYDRANT |
| + | UTILITY ANCHOR |



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PROJECT DESCRIPTION:
 840 MENLO AVE.

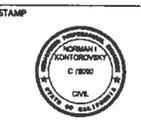
840 MENLO AVE
 MENLO PARK, CA
 CA, 94025

DESCRIPTION:
 PLANNING SUBMISSION
 2.00.00

- SHEET REVISIONS
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 1700 N. FIRST STREET, SUITE 800
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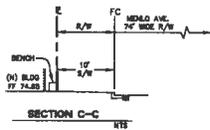
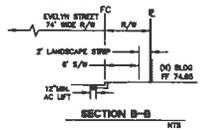
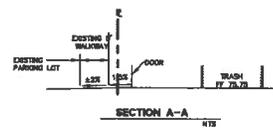
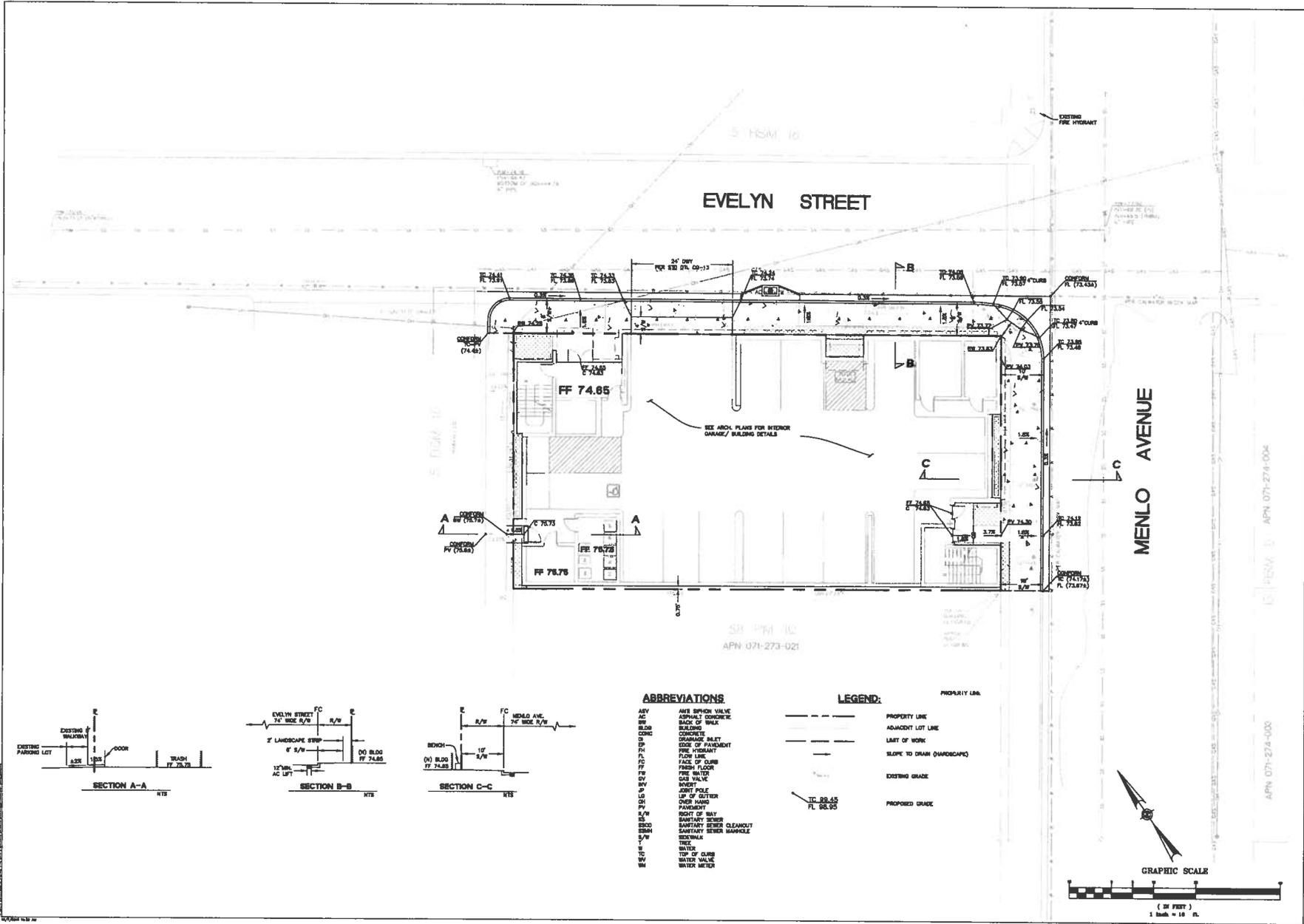
DRAWING CONTENT
**PRELIMINARY SITE
 PLAN AND
 GRADING &
 DRAINAGE PLAN**



BY: JOB NUMBER
 20160016
 SCALE

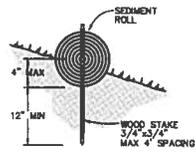
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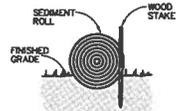


- ABBREVIATIONS**
- ABV AIR SIPHON VALVE
 - AC ASPHALT CONCRETE
 - BC BACK OF CURB
 - BLDG BUILDING
 - CONC CONCRETE
 - CP CURB
 - CS CONCRETE SIDEWALK
 - FC FACE OF CURB
 - FL FLOW LINE
 - FR FIRE HYDRANT
 - FF FRESH FLOOR
 - FW FRESH WATER
 - GV GAS VALVE
 - HD HOIST
 - JP JOINT POLE
 - LD LIFT OF DUTTER
 - OH OVER HANG
 - PA PAVEMENT
 - RI RIGHT OF WAY
 - SS SANITARY SEWER
 - SSCO SANITARY SEWER CLEANOUT
 - SSSH SANITARY SEWER MANHOLE
 - SW SIDEWALK
 - T TREE
 - W WATER
 - WC WATER CURB
 - WV WATER VALVE
 - WM WATER METER

- LEGEND:**
- PROPERTY LINE
 - ADJACENT LOT LINE
 - LIMIT OF WORK
 - SLOPE TO DRAIN (HANDICAP)
 - EXISTING GRADE
 - PROPOSED GRADE



ENTRENCHMENT DETAIL
IN SLOPE AREA



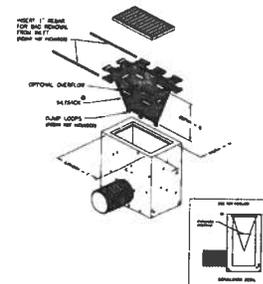
ENTRENCHMENT DETAIL
IN FLAT AREA

NOTES:

1. USE REED & GRAHAM, INC. GEOSYNTHETICS STRAW WATTLE FIBER ROLL (COMES IN 9" X 25' ROLLS) OR APPROVED EQUIVALENT.
2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" - 6" DEEP, DUG ON CONTOUR.
3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET.
4. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY. IN PAVED AREAS, USE SAND BAGS TO SECURE FIBER ROLLS IN PLACE OF WOOD STAKE.



FIBER ROLL
SCALE: NTS



DETAIL OF INLET SEDIMENT CONTROL DEVICE
TYPE A - WITHOUT CURB DEFLECTOR



Environmental
Engineering & Construction, Inc.
10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.274.1111
Fax: 310.274.1112



INLET PROTECTION
SCALE: NTS



HAYES GROUP ARCHITECTS, INC.
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PROJECT DESCRIPTION:
840 MENLO AVE.

840 MENLO AVE
MENLO PARK, CA
CA, 94025

DESCRIPTION:
PLANNING & DESIGN
12.08.14

SHEET REVISIONS

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EROSION CONTROL DETAILS

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NO. JOB NUMBER
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C4.2



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PROJECT DESCRIPTION:
840 MENLO AVE.

840 MENLO AVE
MENLO PARK, CA
CA, 94025

DESCRIPTION
PLANNING SUBMITTAL
12.08.18

SHEET REVISIONS
△
△
△
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△
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1720 N. FIRST STREET, SUITE 600
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DRAWING CONTENT
**BEST
MANAGEMENT
PRACTICES**

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BY: JOB HEADER
25/08/18
SCALE:

DRAWN BY: MAC

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DRAWING NUMBER

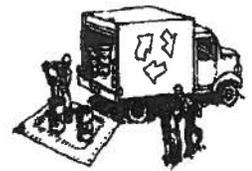
C4.3

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.



Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drip cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

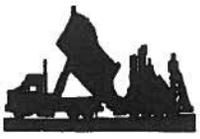


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Cuacrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



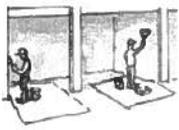
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



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PROJECT DESCRIPTION:
840 MENLO AVE.

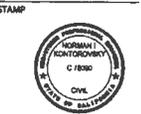
840 MENLO AVE
 MENLO PARK, CA
 CA, 94025

DESCRIPTION:
 PLANNING SUBMISSION
 CLUB II

- SHEET REVISIONS
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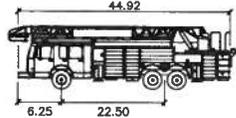
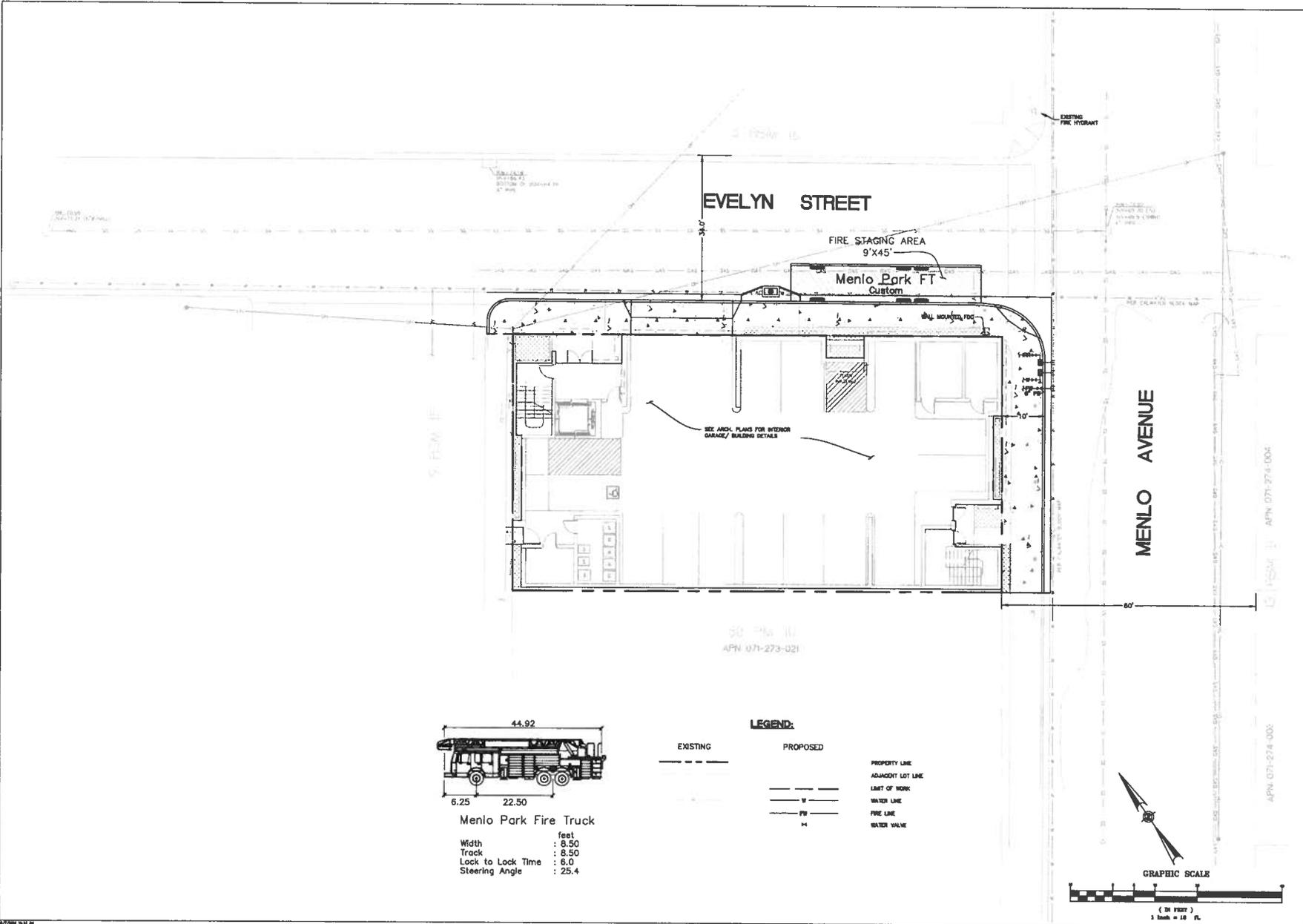
DRAWING CONTENT
**PRELIMINARY
 FIRE ACCESS
 PLAN**



NO. JOB NUMBER:
 20180216
 SCALE:
 DRAWN BY: MAC

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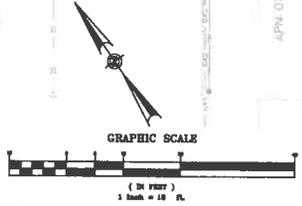
C5.0



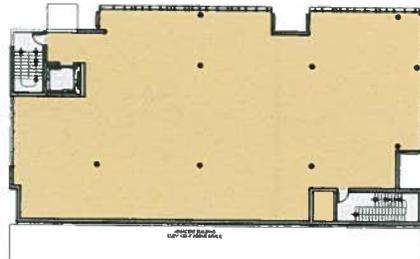
Menlo Park Fire Truck
 Width : 8.50 feet
 Track : 8.50
 Lock to Lock Time : 8.0
 Steering Angle : 25.4

LEGEND:

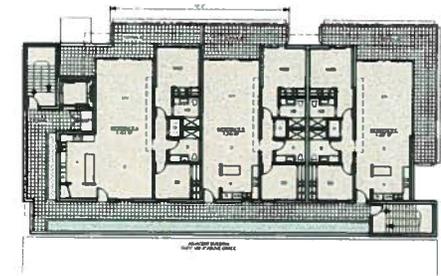
- | | | |
|-------------------|--------------|---------------|
| EXISTING | PROPOSED | PROPERTY LINE |
| ADJACENT LOT LINE | LIST OF WORK | WATER LINE |
| FIRE LINE | WATER VALVE | |



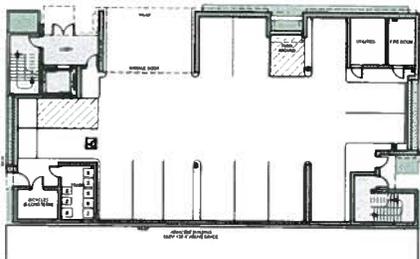
| LEED v4 for BD+C: Core and Shell Project Checklist | | Project Name | 840 Menlo |
|---|------------------------------------|--|-----------|
| | | Date | 04.28.18 |
| 4.1 | 4.1.1 Location and Transportation | 4.1.1.1 LEED for Neighborhood Development - Location | Required |
| 4.1 | 4.1.2 Materials and Resources | 4.1.2.1 Construction Waste Management Planning | Required |
| 4.1 | 4.1.3 Water Environmental Quality | 4.1.3.1 Water Efficient Landscaping | Required |
| 4.1 | 4.1.4 Energy and Atmosphere | 4.1.4.1 Fundamental Commissioning and Verification | Required |
| 4.1 | 4.1.5 Indoor Environmental Quality | 4.1.5.1 Low-Emitting Materials | Required |
| 4.1 | 4.1.6 Regional Priority | 4.1.6.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.7 Innovation | 4.1.7.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.8 Regional Priority | 4.1.8.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.9 Innovation | 4.1.9.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.10 Regional Priority | 4.1.10.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.11 Innovation | 4.1.11.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.12 Regional Priority | 4.1.12.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.13 Innovation | 4.1.13.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.14 Regional Priority | 4.1.14.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.15 Innovation | 4.1.15.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.16 Regional Priority | 4.1.16.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.17 Innovation | 4.1.17.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.18 Regional Priority | 4.1.18.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.19 Innovation | 4.1.19.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.20 Regional Priority | 4.1.20.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.21 Innovation | 4.1.21.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.22 Regional Priority | 4.1.22.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.23 Innovation | 4.1.23.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.24 Regional Priority | 4.1.24.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.25 Innovation | 4.1.25.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.26 Regional Priority | 4.1.26.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.27 Innovation | 4.1.27.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.28 Regional Priority | 4.1.28.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.29 Innovation | 4.1.29.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.30 Regional Priority | 4.1.30.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.31 Innovation | 4.1.31.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.32 Regional Priority | 4.1.32.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.33 Innovation | 4.1.33.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.34 Regional Priority | 4.1.34.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.35 Innovation | 4.1.35.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.36 Regional Priority | 4.1.36.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.37 Innovation | 4.1.37.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.38 Regional Priority | 4.1.38.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.39 Innovation | 4.1.39.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.40 Regional Priority | 4.1.40.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.41 Innovation | 4.1.41.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.42 Regional Priority | 4.1.42.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.43 Innovation | 4.1.43.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.44 Regional Priority | 4.1.44.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.45 Innovation | 4.1.45.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.46 Regional Priority | 4.1.46.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.47 Innovation | 4.1.47.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.48 Regional Priority | 4.1.48.1 Regional Priority: Smart Growth and Transit | Required |
| 4.1 | 4.1.49 Innovation | 4.1.49.1 LEED Accredited Professional | Required |
| 4.1 | 4.1.50 Regional Priority | 4.1.50.1 Regional Priority: Smart Growth and Transit | Required |



SECOND FLOOR AREA
SCALE: 1/8" = 1'-0"



THIRD FLOOR AREA
SCALE: 1/8" = 1'-0"



FIRST FLOOR AREA
SCALE: 1/8" = 1'-0"

| AREA SUMMARY | RESIDENTIAL | OFFICE |
|-------------------------|-------------|----------|
| FIRST FLOOR (634 SF) | | |
| RESIDENTIAL (0 SF) | | |
| OFFICE (634 SF) | | |
| SHARED (0 SF) | | |
| SECOND FLOOR (6,512 SF) | | |
| RESIDENTIAL (0 SF) | | |
| OFFICE (6,512 SF) | | |
| SHARED (0 SF) | | |
| THIRD FLOOR (4,390 SF) | | |
| RESIDENTIAL (0 SF) | | |
| OFFICE (4,390 SF) | | |
| SHARED (0 SF) | | |
| SUBTOTAL | 206 SF | 6,022 SF |
| TOTAL | 206 SF | 6,022 SF |

F.A.R. SUMMARY (PER M.P.D.'S SPECIFIC PLAN TABLE 1E)
 TOTAL 11,536 SF
 SITE AREA: 6,937 SF
 MAX F.A.R.: 2.0 (13,874 SF)
 PROPOSED AREA: 11,536 SF (<13,874 SQ)
 MAX OFFICE F.A.R.: 1.0 (6,937 SF)
 PROPOSED AREA: 6,674 SF (<6,937 SQ)
 MAX RESIDENTIAL DENSITY: 25 UNITS/ACRE
 4 UNITS ALLOWED
 PROPOSED UNITS: 3 (<4 UNITS OK)
 PER CHAPTER 16.04.325 (C) CITY OF MENLO PARK ZONING ORDINANCE, THE FOLLOWING F.A.R. IS EXEMPT:
 UTILITY ROOM- 171 SF
 FIRE RISE- 138 SF
 TOTAL 309 SF < 3% MAX F.A.R. (416 SF) = OK
 *TRASH AND BICYCLE PARKING NOT INCLUDED IN F.A.R.
 PARKING SUMMARY (PER M.P.D.'S SPECIFIC PLAN TABLE F2)
 PER CHAPTER F.23 IN M.P. MUNICIPAL CODE, FIRST 1.0 F.A.R. EXEMPT
 (*NEED TO AT LEAST REPLACE (E) PARKING - 7 SPACES)
 6,937 SF (FIRST 1.0 F.A.R.) - 6,674 SF (TOTAL OFFICE AREA) = 263 SF
 (TOTAL OFFICE AREA EXEMPT)

| PARKING SPACES REQUIRED: | REQUIRED | PROPOSED |
|-----------------------------|----------|----------|
| OFFICE @ 3.0/1000 (G.F.A.): | 0 | 0 |
| RESIDENTIAL @ 1.0/UNIT: | 3 | 6 |
| *REPLACE (E) PARKING: | 7 | 7 |
| TOTAL | 10 | 13 |

| BICYCLE SPACES REQUIRED: | REQUIRED | PROPOSED |
|--------------------------|----------|----------|
| OFFICE - LONG TERM | 3 | 3 |
| OFFICE - SHORT TERM | 2 | 2 |
| RESIDENTIAL - LONG TERM | 3 | 3 |
| RESIDENTIAL - SHORT TERM | 0 | 0 |
| TOTAL | 8 | 8 |



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PROJECT DESCRIPTION:
 840 MENLO AVE.
 MENLO PARK, CA
 CA, 94025

DESCRIPTION
 PLANNING SET
 12.08.16

- SHEET REVISIONS
- △
 - △
 - △
 - △
 - △
 - △

DRAWING CONTENT
 AREA SUMMARY AND
 LEED CHECKLIST

STAMP

JOB NUMBER:
 1537.00
 SCALE:
 N.T.S.
 DRAWN BY:
 RL

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A1.1



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 www.thayahesgroup.com

PROJECT DESCRIPTION:
840 MENLO AVE.

840 MENLO AVE
 MENLO PARK, CA
 CA, 94025

DESCRIPTION
 - PLANNING SET
 12.08.16

SHEET REVISIONS

- △
- △
- △
- △
- △

DRAWING CONTENT
 AREA PLAN

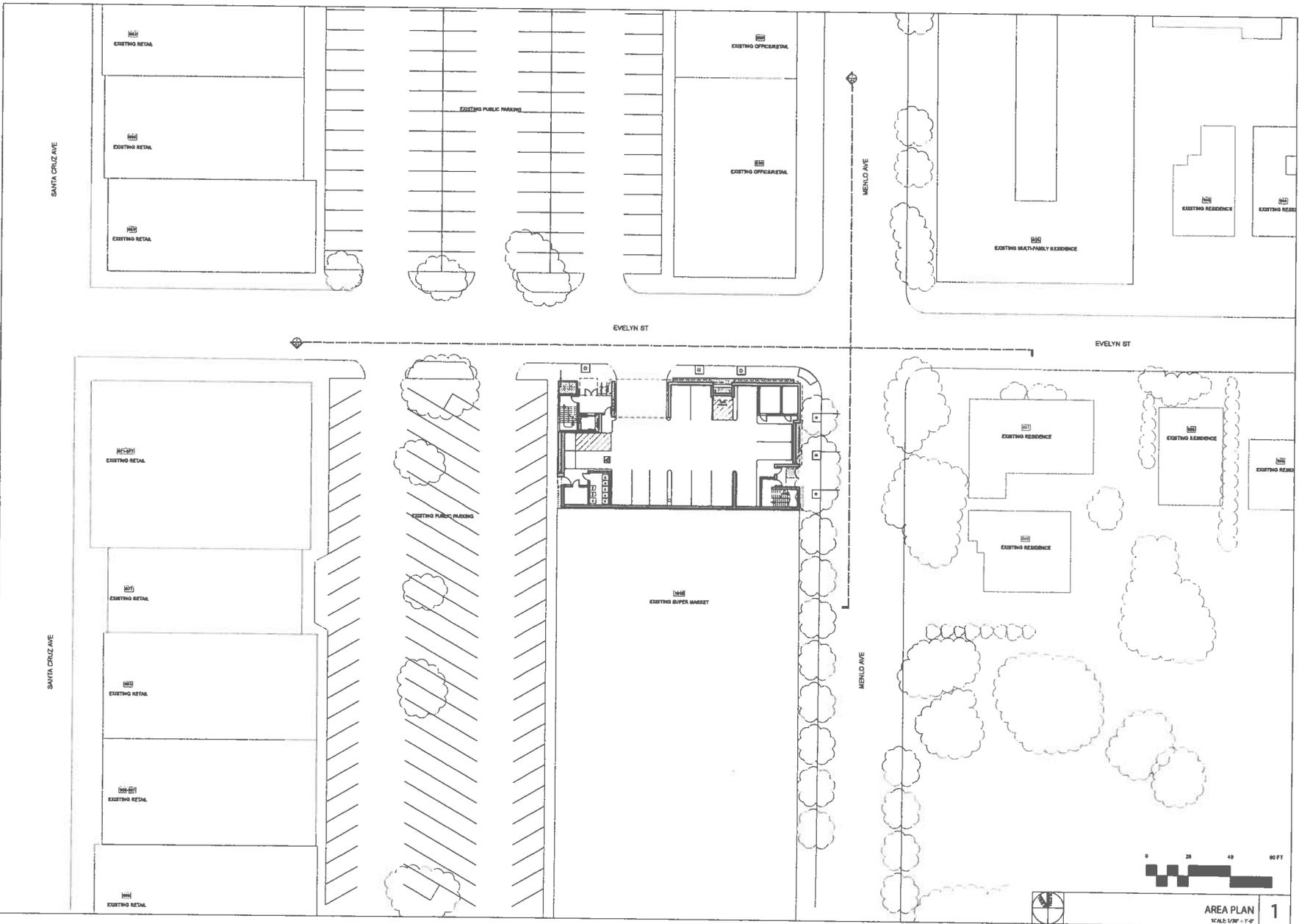
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JOB NUMBER:
 1537.00
 SCALE:
 N.T.S.
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A1.2



Date: 12/7/16
 File name: 1537.00_A1.2.dwg

AREA PLAN
 SCALE 1/8" = 1'-0"

1



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SHEET REVISIONS

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DRAWING CONTENT

SITE PLAN

STAMP

JOB NUMBER:

1537.00

SCALE:

N.T.S.

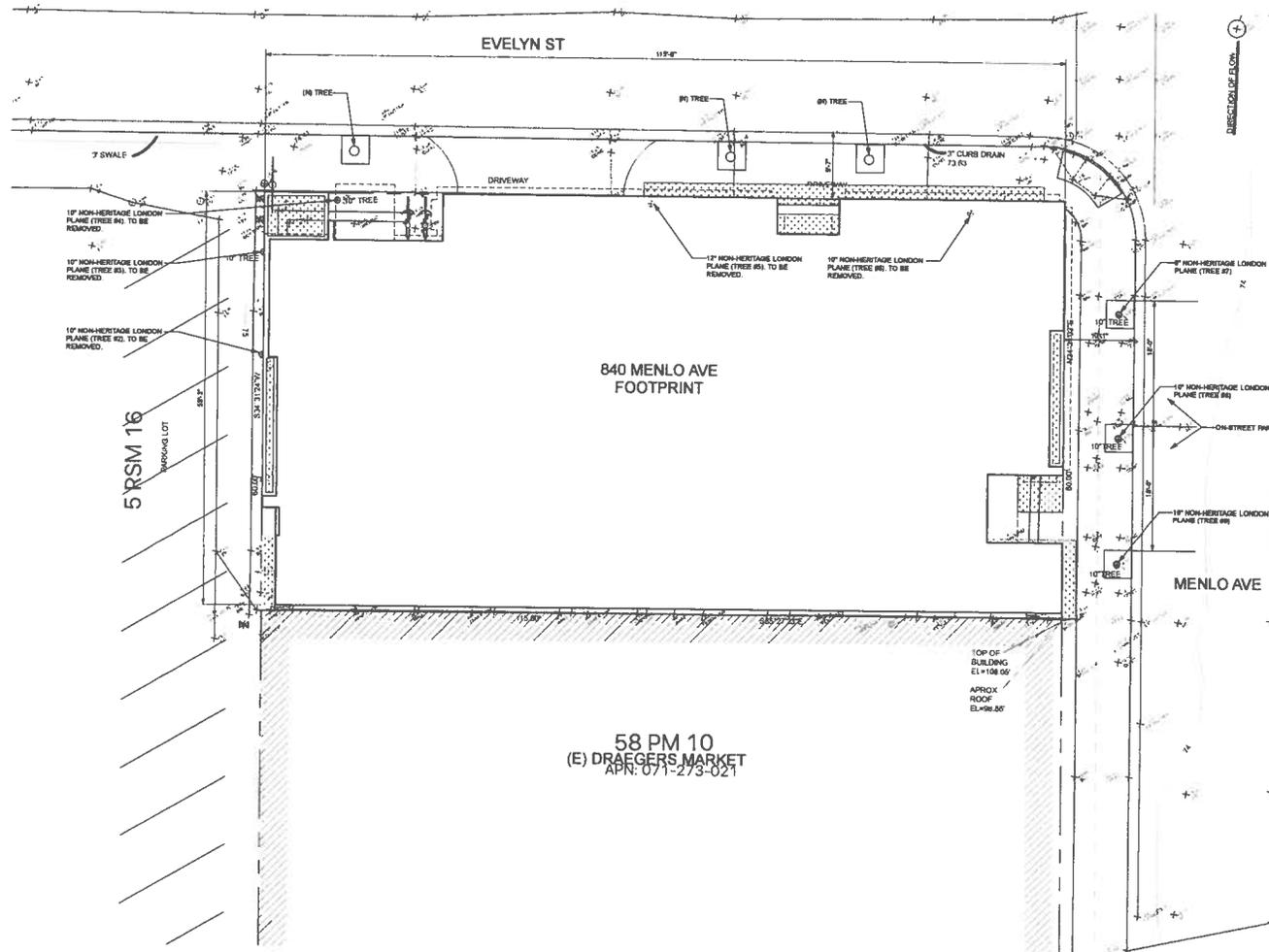
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A1.3



Date: 12/7/16
 File name: 1537.00 A1.3.rvt



SITE PLAN
 SCALE: 1/32" = 1'-0"

1

58 PM 10
 (E) DRAGGERS MARKET
 APR. 07.12.13.021

5 RSM 16
 PARKING LOT

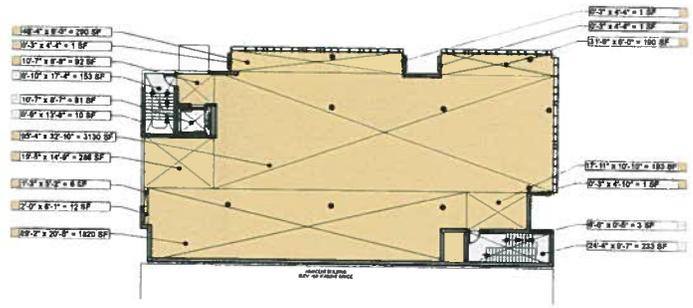
840 MENLO AVE
 FOOTPRINT

MENLO AVE

EVELYN ST

TOP OF BUILDING
 EL=108.00'
 APPROX ROOF
 EL=98.80'

- △
- △
- △
- △
- △

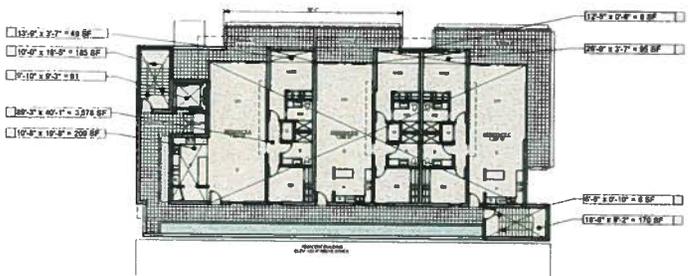


REFER TO SHT A1.1 FOR AREA SUMMARY

SECOND FLOOR AREA

SCALE: 1/8" = 1'-0"

2

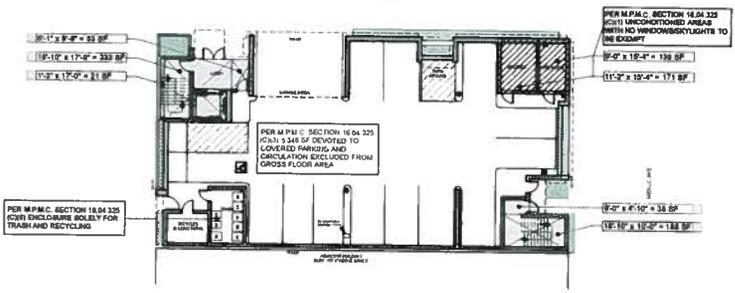


REFER TO SHT A1.1 FOR AREA SUMMARY

THIRD FLOOR AREA

SCALE: 1/8" = 1'-0"

3



REFER TO SHT A1.1 FOR AREA SUMMARY

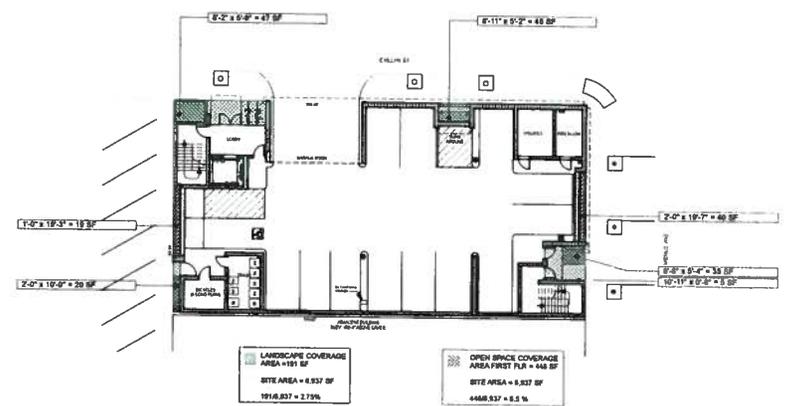
FIRST FLOOR AREA

SCALE: 1/8" = 1'-0"

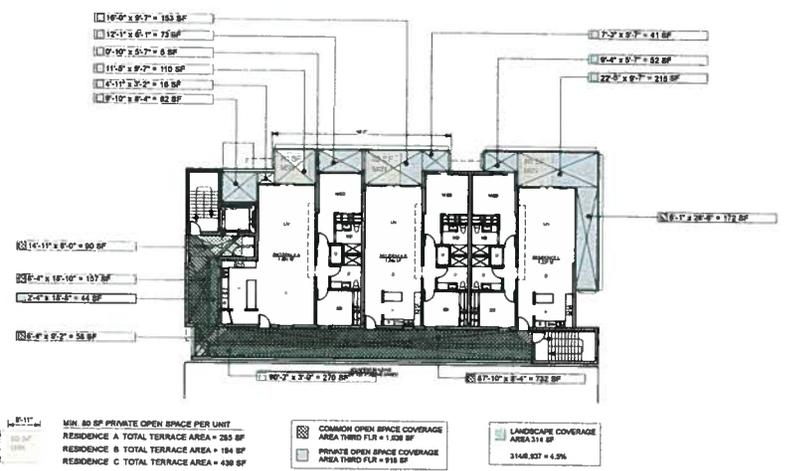
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A1.4

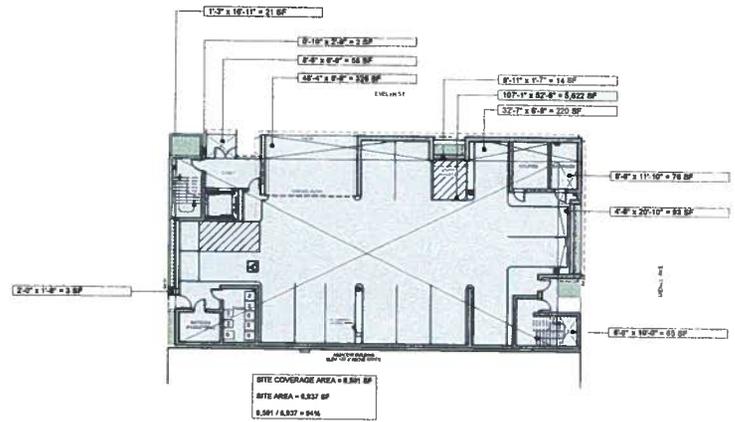
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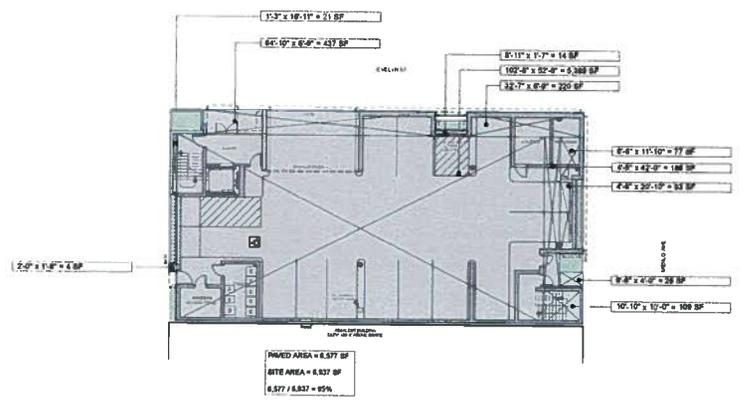
FIRST FLR OPEN SPACE/LANDSCAPE COVERAGE DIAGRAM
SCALE: 1/8" = 1'-0"



THIRD FLR OPEN SPACE/LANDSCAPE COVERAGE DIAGRAM
SCALE: 1/8" = 1'-0"



SITE COVERAGE DIAGRAM
SCALE: 1/8" = 1'-0"



PAVED AREA DIAGRAM
SCALE: 1/8" = 1'-0"



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 MENLO PARK, CA
 CA, 94025

DESCRIPTION
 - PLANNING SET
 12.08.16

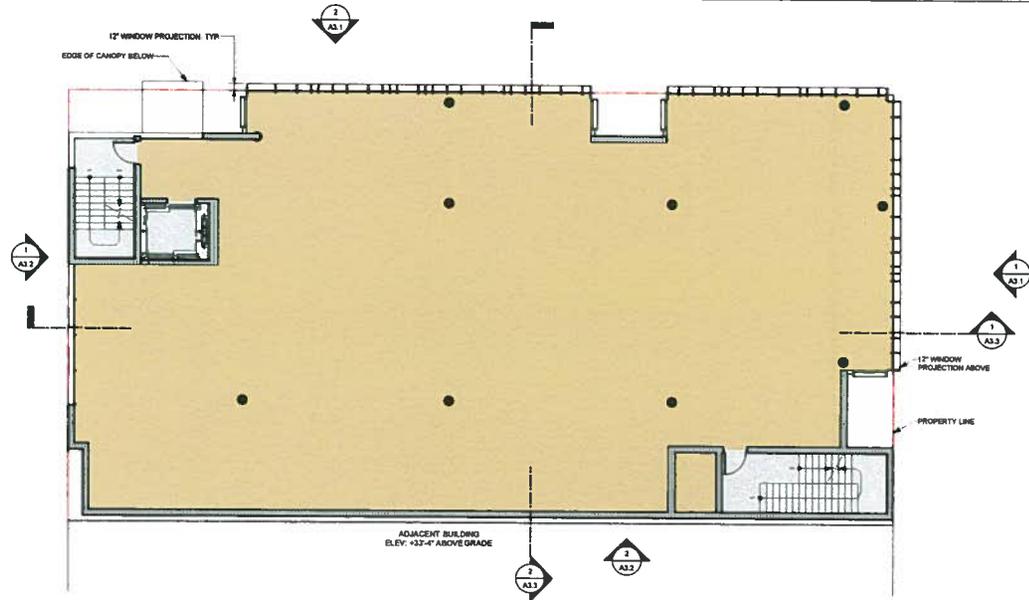
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 - △

DRAWING CONTENT
 PROPOSED FIRST AND
 SECOND FLOOR PLAN

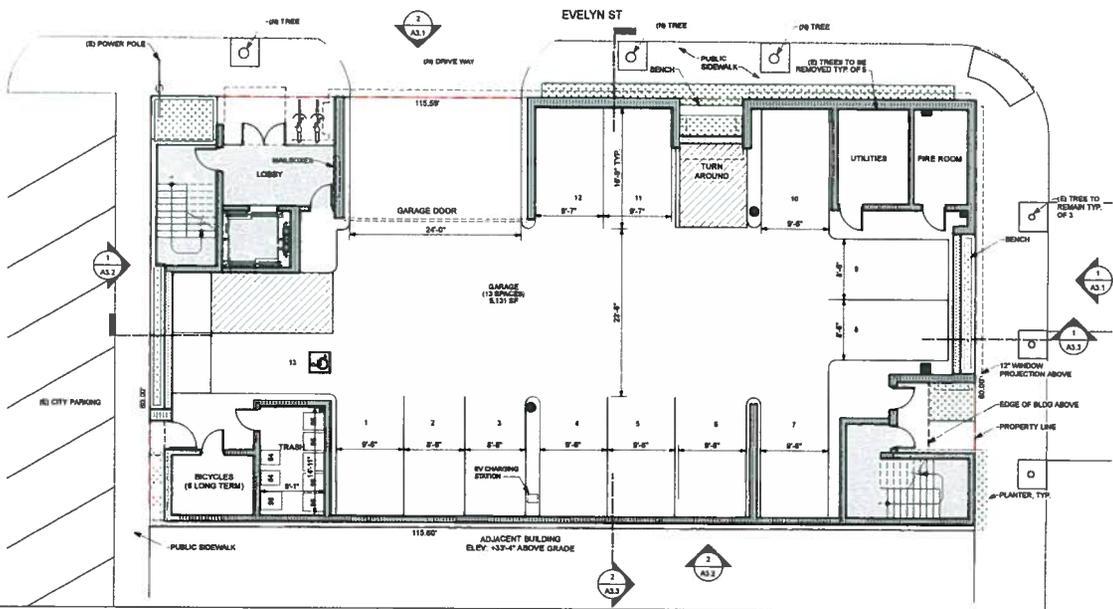
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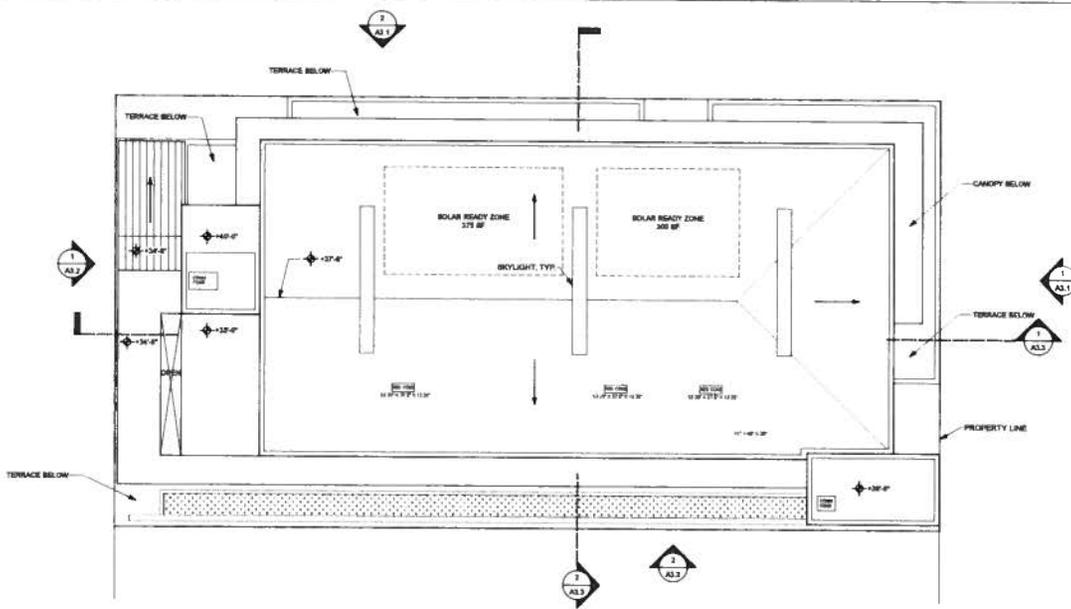
SECOND FLOOR PLAN 2
 SCALE: 1/8" = 1'-0"



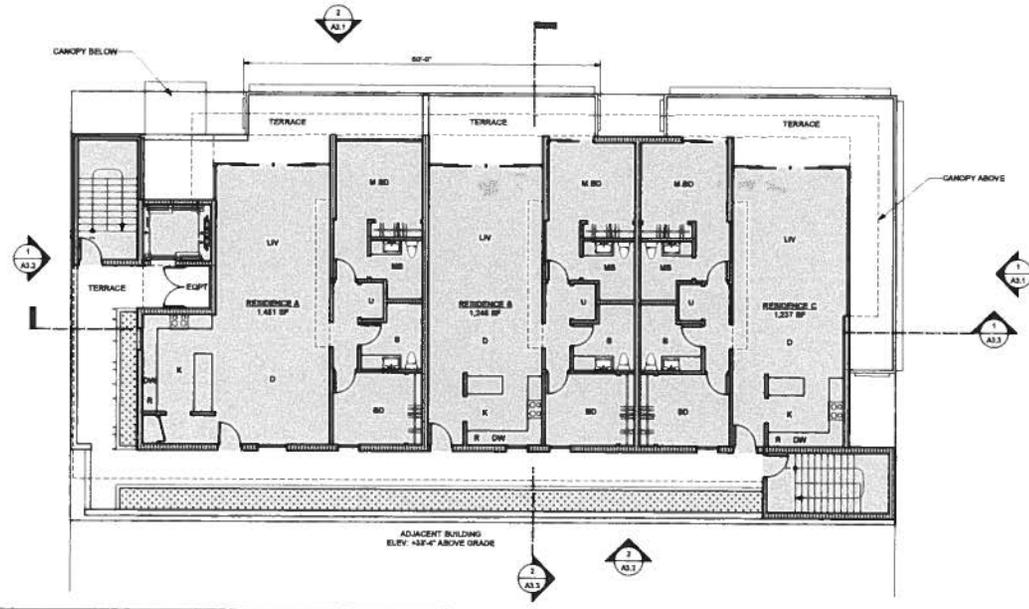
FIRST FLOOR PLAN 1
 SCALE: 1/8" = 1'-0"

Date: 12.7.16
 File name: 1537.00.A2.1.rvt

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ROOF PLAN 2
SCALE: 1/4" = 1'-0"



THIRD FLOOR PLAN 1
SCALE: 1/4" = 1'-0"

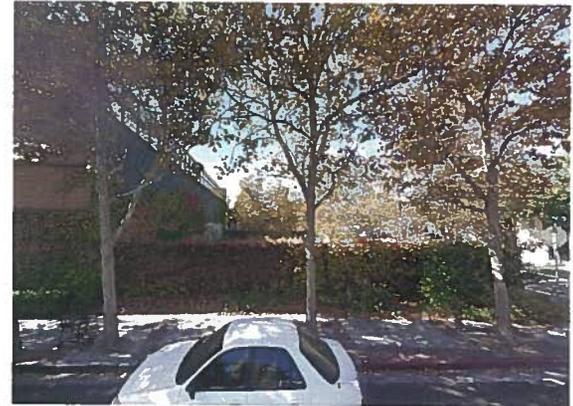
A2.2

Date: 12/16
File name: EST-00-A3.0-A3.1-LAND 3.2.VPX



EXISTING VIEW FROM EVELYN ST. 2

SCALE: 1/8" = 1'-0"



EXISTING VIEW FROM MENLO AVE. 1

SCALE: 1/8" = 1'-0"



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840 MENLO AVE.

840 MENLO AVE
MENLO PARK, CA
CA, 94025

DESCRIPTION
PLANNING SET
12.08.16

SHEET REVISIONS

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DRAWING CONTENT
EXISTING ELEVATIONS

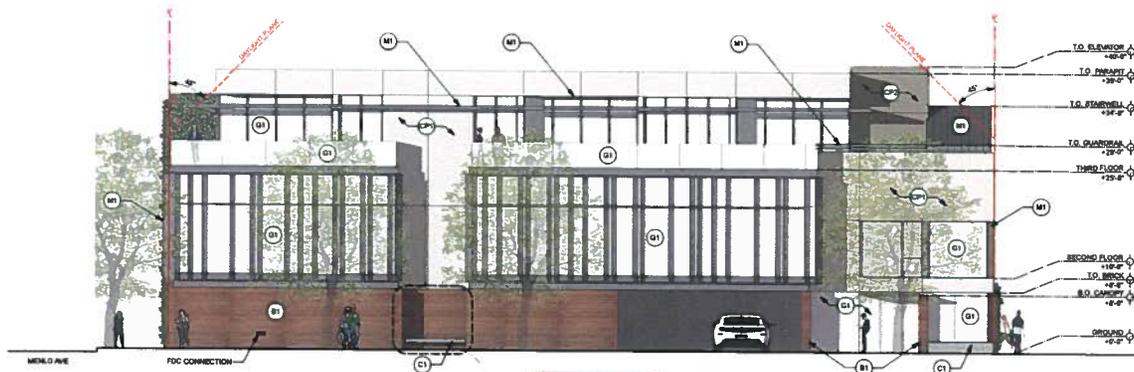
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JOB NUMBER:
1537.00
SCALE:
AS NOTED
DRAWN BY:
KDT

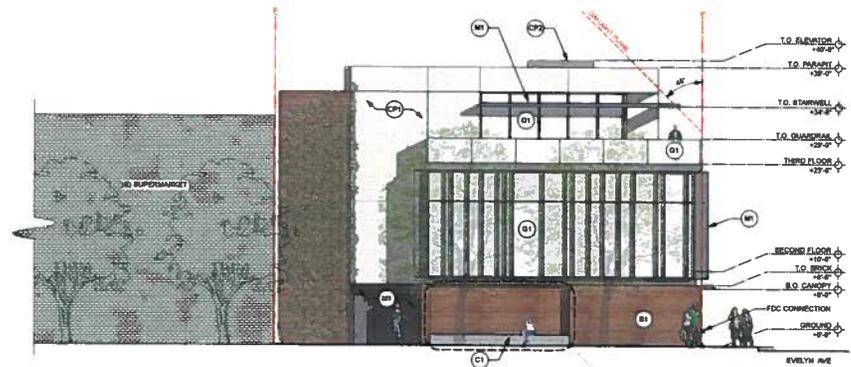
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A3.0



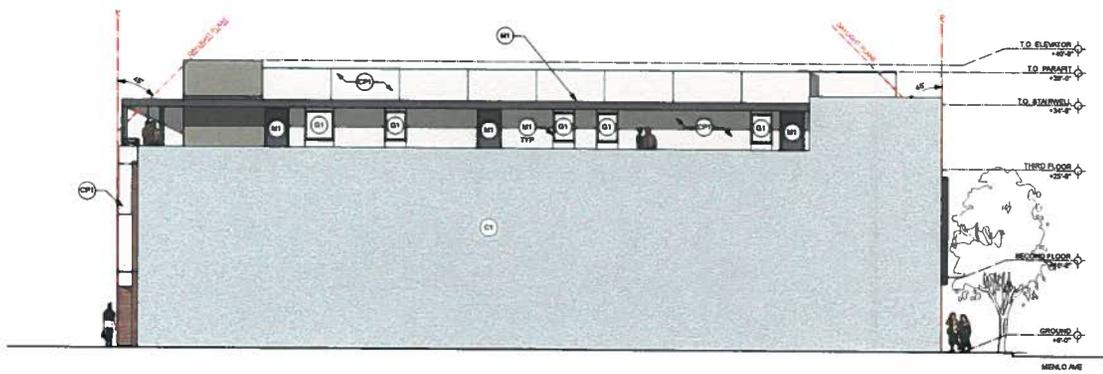
EVELYN ST. ELEVATION 2
SCALE: 1/4" = 1'-0"



| FINISH LEGEND | |
|---------------|--|
| B1 | ROMAN BRICK - SMOOTH FBRFI SHORTCUT - COPPER TONE |
| C1 | CEMENT PLASTER MATCH BEDLAMIR MOORE - OC-24 WIND BREAK |
| M1 | CEMENT PLASTER MATCH BEDLAMIR MOORE - BRANWOOD |
| M2 | METAL C CHANNEL / WINDOW FRAMES / FINIS / HANDRAILS MATCH VULBRAN - DARK BRONZE (1317279) |
| G1 | GLAZING MATCH SOLARBAN 78 SOLAR CONTROL LOW-E GLASS (FOR BRK) |
| C2 | CONCRETE NATURAL COLOR CAST CONCRETE (FOR BRK) |

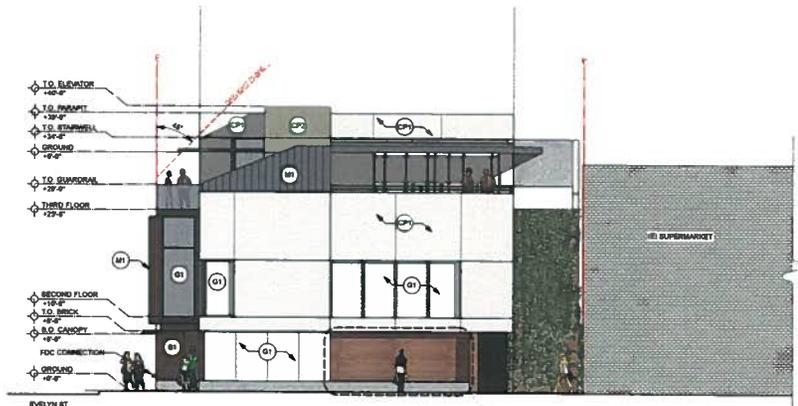
MENLO AVE. ELEVATION 1
SCALE: 1/4" = 1'-0"

- △
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REAR ELEVATION 2

SCALE: 1/8" = 1'-0"



| FINISH LEGEND | |
|---------------|---|
| (B1) | ROMANI BRICK - BRIMOTH, FISSI BACKITT - COPPERTONE |
| (CP) | CEMENT PLASTER MATCH BENJAMIN MOORE - OC-34 WINGS BREATH |
| (CP) | CEMENT PLASTER MATCH BENJAMIN MOORE - BRAVWOOD |
| (M1) | METAL C CHANNEL / WINDOW FRAME / FINS / HORIZONTALS MATCH VALSPAN - DARK BRONZE (C37K27) |
| (G1) | GLASS MATCH SOLARBAN 78 SOLAR CONTROL, LOW-E GLASS (FOR BIM) |
| (C) | CONCRETE NATURAL COLOR CAST CONCRETE (OR BIM) |



NOTE: THIS WALL WILL BE BRICK LATTICE WORK

WEST ELEVATION 1

SCALE: 1/8" = 1'-0"

Date: 12/7/16
File name: 1537.00 A3.0 A3.1 AND A3.2 VWS



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 CA, 94025

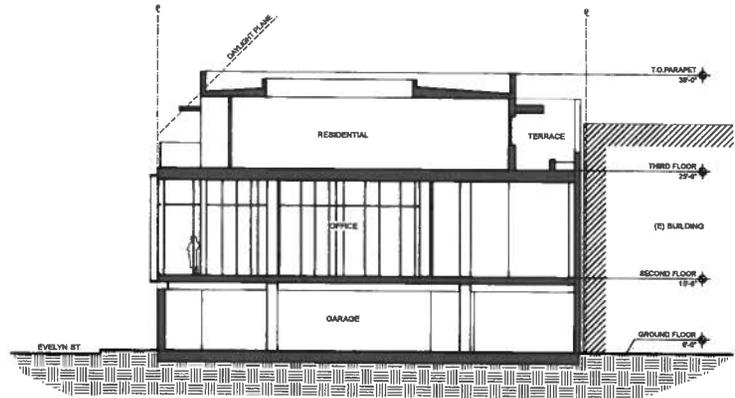
DESCRIPTION:
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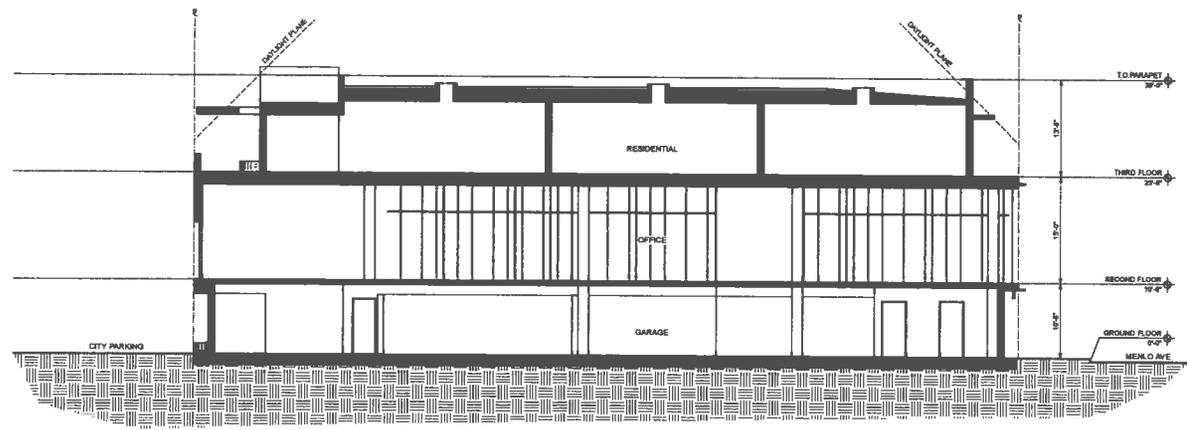
DRAWING CONTENT
 PROPOSED SECTIONS

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JOB NUMBER
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SECTION B 2
 SCALE: 1/4" = 1'-0"



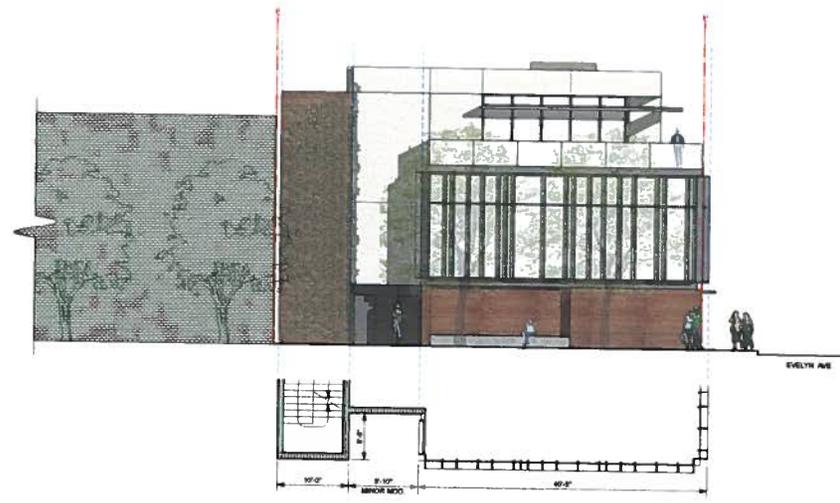
SECTION A 1
 SCALE: 1/4" = 1'-0"

Date: 12/7/16
 File name: 1537.00 A3.3.rvt

A3.3



EVELYN ST. ELEVATION 2
SCALE: 1/8" = 1'-0"



MENLO AVE. ELEVATION 1
SCALE: 1/8" = 1'-0"

DESCRIPTION
PLANNING SET
12.08.16

SHEET REVISIONS

DRAWING CONTENT
BUILDING MODULATION
DIAGRAMS

STAMP

JOB NUMBER:
157-08
SCALE:
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EDT

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DESCRIPTION
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SHEET REVISIONS

DRAWING CONTENT
 BUILDING MODULATION
 DIAGRAMS

STAMP

JOB NUMBER:
 157-09
 SCALE:
 AS NOTED
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DATE: 12/7/16
 FILE NUMBER: E37-09 A3.4 AND 3.5 VPK

MENLO AVE. ELEVATION 1
 SCALE: 1/8" = 1'-0"

A3.5



PERSPECTIVE 4



PERSPECTIVE 2



PERSPECTIVE 3



PERSPECTIVE 1

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GROUP
ARCHI
TECTS

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SHEET REVISIONS

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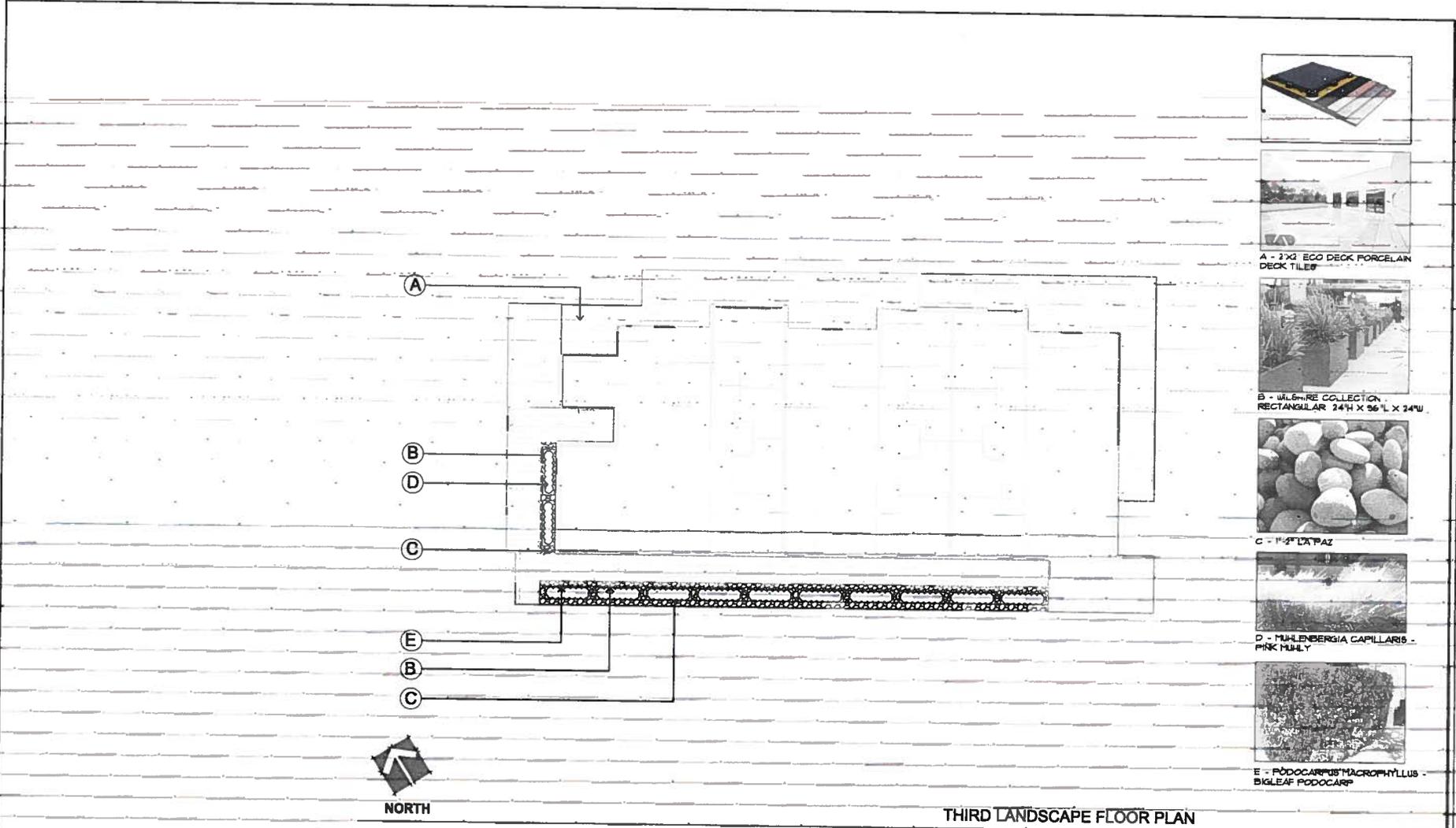
DRAWING CONTENT
PERSPECTIVES

STAMP

JOB NUMBER:
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SCALE:
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A4.1



A - 2x2 ECO DECK PORCELAIN DECK TILE



B - WILDMIRE COLLECTION RECTANGULAR 24" X 36" X 24"



C - 1" L'ARTAZ



D - MUELENERGIA CAPILLARIS - PINK MUILY



E - PODOCARPUS MACROPHYLLUS - BIGLEAF PODOCARP



Keith WOOD
 Landscape Architect
 1000 Santa Cruz Ave., Suite C,
 Menlo Park, CA 94025
 (P) 650.326.2265
 License #2881

840 MENLO AVE
 840 MENLO, MENLO PARK, CA

PERMIT SET
3RD FLOOR
LANDSCAPE
PLAN

Scale: 1/8" = 1'-0"
 Date: 12/22/19
 Drawn By: MC
 Project No: 807
 Revision:

Notes:



SHEET NO.

L-1.1

2 OF 2 SHEETS

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION
 LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT
 USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN.

