



NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Architectural Control/Michael Babiak/6 Carter Way:

Request for architectural control for exterior modifications to an existing single-family residence in the R-1-S(X) (Single Family Residential, Conditional Development) zoning district. The modifications would include new windows and doors, but no change in floor area.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

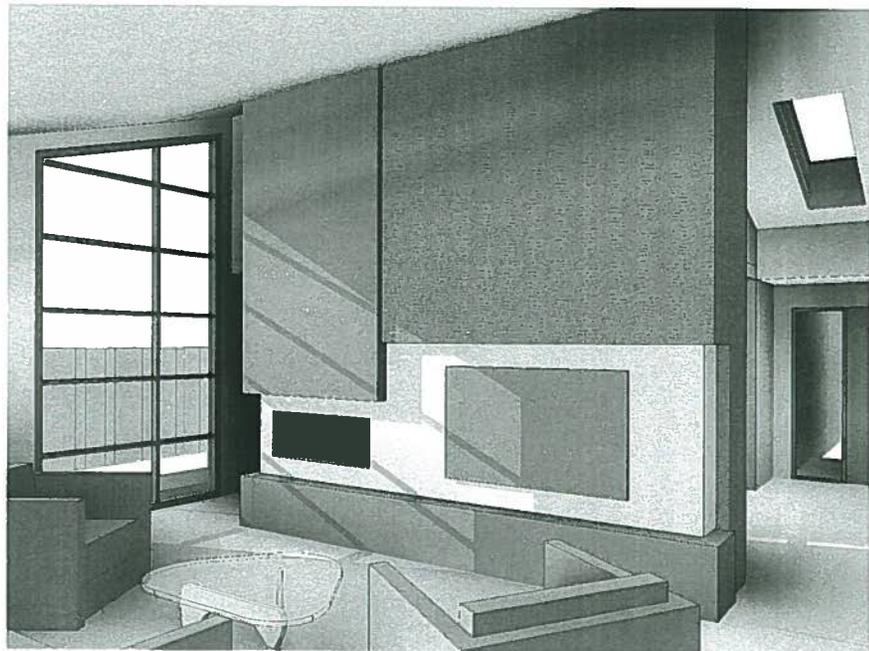
The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Michele Morris, Assistant Planner, at (650) 330-6724 or email her at mtmorris@menlopark.org. The Planning Division encourages submittal of comments and questions by January 12, 2017 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.





BABIAK RESIDENCE MENLO PARK, CA

TRISTAN WARREN
ARCHITECT

Three Monzonita Road
Menlo Park, CA 94025
t. 510.219.2975
e. tristan.warren.arch@gmail.com



PROJECT NAME
**BABIAK
RESIDENCE**

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
**6 CARTER WAY
MENLO PARK, CA**

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2016

CURRENT RELEASE SET:
**DESIGN
SUBMITTAL**

PREVIOUS RELEASE

SHEET TITLE
TITLE SHEET

SCALE

GO.O

PROJECT DIRECTORY

ARCHITECT
TRISTAN WARREN ARCHITECT
3 MARZARITA ROAD
FAIRFAX, CA 94930
PHONE: 510.219.2975
CONTACT: TRISTAN WARREN
EMAIL: tristan.warren.arch@gmail.com

OWNER
MICHAEL BABIAK
6 CARTER WAY
MENLO PARK, CA 94025
PHONE:
FAX:
EMAIL: mb@babiak@gmail.com

GENERAL CONTRACTOR

PHONE:
FAX:
CONTACT:
EMAIL:

STRUCTURAL ENGINEER
RIG STRUCTURAL ENGINEERS
1160 BROADWAY STREET
REDWOOD CITY, CA 94063
PHONE: 650.486.8224
CONTACT: RYAN BELLAUTE, PE
EMAIL: ryan@rigeng.com

LANDSCAPE DESIGN

PHONE:
FAX:
CONTACT:
EMAIL:

GEOTECHNICAL ENGINEER / SHOWING

PHONE:
FAX:
CONTACT:
EMAIL:

ARBOREST

PHONE:
FAX:
CONTACT:
EMAIL:

ORDER POINT RATER

PHONE:
FAX:
CONTACT:
EMAIL:

TITLE 24

PHONE:
FAX:
CONTACT:
EMAIL:

SURVEYOR

PHONE:
FAX:
CONTACT:
EMAIL:

PROJECT APPROVALS

 Homeowners Association of 1000 Sharon Park Drive
1000 Lovell Blvd., Suite 100, Redwood City, CA 94063
Phone: 650.962.6141 or 650.962.9777 Fax: 650.962.6141
www.babiarke.com

October 21, 2016

Mark and Michael Babiak
6 Carter Way
Menlo Park, CA 94025

No Address of Carter Way
Account Number: 137000030

Dear Mark and Michael Babiak:

The Board has reviewed and approved your application dated 8/26/2016 for the garage door, kitchen window, and front door replacements with an addition of a transoms window and other interior secondhand noted in your application. Below are the following conditions of approval:

- Homeowner agrees to provide the terms, conditions, and contact information for the contractor prior to commencement of work.
- Homeowner is responsible for obtaining a City of Menlo Park permit, if necessary to complete their project.
- The approval is good for 6 months and the construction must start within the month unless previously approved by the Board.
- Owner agrees to adhere to the rules regarding instructions for Use of Outside Contractors.
- Owner agrees to pay any on-site/finish charges during or after the completion of the project. If a \$6,000 security deposit was required, it will be deducted from this amount.
- Work hours can only be Monday to Friday from 8 am to 5 pm.

NO WETWORK WORK ALLOWED

Homeowner and all noted above fully releases the Association, its Board of Directors, and the individual members of the Association (and respective Board) from and against all claims and actions arising from damage, injury, harm, etc. which may be sustained as a direct result of construction of the project.

Homeowner agrees to accept all responsibility for maintenance, repair, and replacement of the architectural change and to reimburse the Association, its Board of Directors, and the individual members of the Association for any and all costs incurred because of the necessity of maintenance, repair, or other repair associated with the change.

Homeowner agrees to duly inform any representing agents, heirs, administrators, assigns, and all future holders of the premises of the responsibility and the terms of this agreement.

The Board is hereby indemnifying you that you are responsible for ensuring that no refuse is dumped into residents' cars and that no hazardous material is dumped at the waste site. Please ensure that waste material is removed from the premises in a timely manner.

Thank you for your cooperation, and we wish you the best of luck on your project.

Sincerely,

Homeowners Association of 1000 Sharon Park Drive

Or: Unit File
Board of Directors

DRAWING INDEX

GENERAL
00 0 TITLE SHEET
00 1 PROJECT DATA
ARCHITECTURAL
A1 0 SITE
A1 1 AREA PLAN
A1 2 EXTERIOR 3D VIEWS
A1 3 PHOTO MONTAGE
A2 1 DEAD PLAN
A2 2 PROPOSED PLANS
A3 0 EXISTING & PROPOSED ELEVATIONS
A3 1 EXISTING & PROPOSED ELEVATIONS
A10 0 DOOR & WINDOW SCHEDULES

RECEIVED

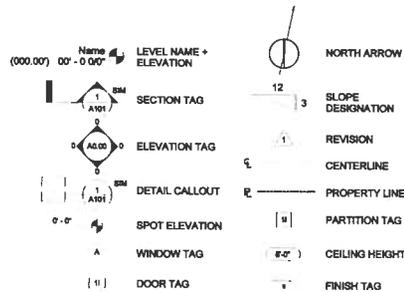
NOV 07 2016

CITY OF MENLO PARK
BUILDING

ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	JAN JANITOR
A.F.F. ABOVE FINISHED FLOOR	JH JOIST HANGER
AGGR AGGREGATE	JMT JOINT
ALUM ALUMINUM	JST JOIST
ALT ALTERNATE	KITCHEN
APPROX APPROXIMATE	KT KITCHEN
ARCH ARCHITECTURAL	LAM LAMINATE
BL BOARD	LAV LAVATORY
BLDD BUILDING	LD LIGHT
BLK BLOCK	MAC MAXIMUM
BLDG BUILDING	MCH MECHANICAL
BS BOARD	MEM MEMBRANE
BSG BLOCING	MFR MANUFACTURER
BSM BEAM	MNS MENSIL
BT BOTTOM	MSC MISCELLANEOUS
BTHM BETWEEN	MW MASONRY OPENING
B.U.R. BUILT UP ROOFING	MTL METAL
B.W. BOTHWAYS	MUL MULION
C.J. CONTROL JOINT	N NORTH
C.G. CEILING	NO NEW
CLG CALLING	NOI NOT IN CONTRACT
C.M. CONCRETE MASONRY UNIT	NO NUMBER
COL COLUMN	NSM NOMINAL
CONC CONCRETE	N.T.S. NOT TO SCALE
CONN CONNECTION	O.C. ON CENTER
CONSTR CONSTRUCTION	O.D. OUTSIDE DIAMETER
CONT CONTROLS	OH OVERHEAD
C.T. CERAMIC TILE	OP OPENING
DEO DEGREE	P.C.T. PRE-CAST
DETOR DETAIL	P.L. PROPERTY LINE
D.F. DRAINING FOUNDATION	PLM PLASTIC LAMINATE
D.M. DIMENSIONAL	PLAS PLASTER
DM DIAMETER	PLYD PLYWOOD
DN DOWN	PR PAIR
DSE DOWNSPOUT	R. RISER
DWG DRAWING	RIB REINFORCED
E EAST	R.D. ROOF DRAIN
EQ EXISTING	RFR REFER TO
EA EACH	RFRF REFRIGERATOR
E.P. EXPANDED JOINT	REMF REINFORCED
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	REOR REORDER
EL ELEVATION	RH ROOM
ELEC ELECTRICAL	R.O. ROUGH OPENING
ELEV ELEVATOR	RWL RAINWATER LEADER
EMER EMERGENCY	S SOUTH
ENCL ENCLOSURE	S.A.B.M. SHEATHED SHEET
EQ EQUAL	SMR SCHEDULE
EQUI EQUIPMENT	S.P. SILLING FOOT
EXT Exterior	SMT SIMILAR
FA FIRE ALARM	SPC SPECIFICATION
F.D. FLOOR DRAIN	S.S. STAINLESS STEEL
F.D.C. FIRE DEPARTMENT CONNECTION	STAG STAGGERED
FORMFD FOUNDATION	STD STANDARD
F.E. FIRE EXTINGUISHER	STR STRUCTURAL
F.E.C. FIRE EXTINGUISHER CABINET	SUSP SUSPENDED
F.F.E. FINISH FLOOR ELEVATION	TR TREAD
F.H.C. FIRE HOSE CABINET	T&B TOP AND BOTTOM
FR FINISH	TER TERRAZZO
FL FLOOR LINE	T&O TOP AND GROOVE
FLR FLOOR	THK THICK
FLOOR FLOOR/SLAB	T TOP
F.O.B. FACE OF BRICK	TYP TYPICAL
F.O.C. FACE OF CONCRETE	UNLESS OTHERWISE NOTED
FS FULL SIZE	VCT VINYL COMPOSITION TILE
FT FOOT OR FEET	VER VERT
FTD FOOTING	V.I.F. VERIFY IN FIELD
FLRR FLOORING	VERT VERTICAL
GA GALVANIZED	W WEST
G.C. GENERAL CONTRACTOR	WF WITH
GLB GLUE LAM BEAM	WC WATER CLOSET
GR GRADE	WD WOOD
GYP GYPSUM	WO WITHOUT
GYPB GYPSUM BOARD	W/W/W WITH WATER
GWB GALVANIZED SHEET METAL	W/W/W/W WITH WATER
H.B. HOSE BIB	W/W/W/W/W WITH WATER
H.C. HOLLOW CORE	W/W/W/W/W WITH WATER
H.C. HANDICAPPED	W/W/W/W/W WITH WATER
HWND HARDWOOD	W/W/W/W/W WITH WATER
HWND HARDWARE	W/W/W/W/W WITH WATER
H.M. HOLLOW METAL	W/W/W/W/W WITH WATER
H.H. HOLEY	W/W/W/W/W WITH WATER
HT HEIGHT	W/W/W/W/W WITH WATER
HVAC HEATING VENTILATION AND AIR CONDITIONING	W/W/W/W/W WITH WATER
HW HOT WATER	W/W/W/W/W WITH WATER
I.D. INSIDE DIAMETER	W/W/W/W/W WITH WATER
INSL INSULATION	W/W/W/W/W WITH WATER
INT INTERIOR	W/W/W/W/W WITH WATER

ARCHITECTURAL SYMBOLS



GENERAL NOTES

- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES: 2013 UNIFORM BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL, AND STATE ENERGY STANDARDS.
- AND ANY OTHER GOVERNING CODES AND ORDINANCES.
- IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD CONCRETE CENTERLINE OF COLUMNS, OR CENTERLINE OF STUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
- WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURERS RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2013 CBC 718.2.2 & R302.11, FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MIN. 10-FOOT INTERVALS.
 - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS & COVE CEILINGS.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
 - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2013 CBC 718.3-4 & R302.11, DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS DIVIDED IN APPROX. EQUAL AREAS. WHERE A FLOOR IS ENCLOSED ABV. & BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
 - SUSPENDED CEILING UNDER FLOOR FRAMING
 - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIRGAP.

PROJECT DATA

APN:	074-230-80
YEAR BUILT:	1972 (APPROX)
ZONING:	R18 (X)
SETBACKS:	
FRONT (NO CHANGE):	20'-0"
SIDE (NO CHANGE):	10'-0"
REAR (NO CHANGE):	20'-0"
LOT SIZE:	9,208 SF
HOUSE SIZE (NO CHANGE):	3,153 SF
FLOOR AREA LIMIT:	NO CHANGE
BUILDING COVERAGE:	NO CHANGE
BUILDING HEIGHT MAXIMUM:	28'-0" NO CHANGE
OCCUPANCY TYPE:	R-3
CONSTRUCTION TYPE:	V-II
SPRINKLERS:	NO
STORIES:	1 STORY
UNITS:	1 UNIT

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF ALTERATIONS OF THE FOLLOWING PORTIONS OF THE EXISTING HOUSE: NEW WINDOW IN LIVING ROOM AND KITCHEN, REPLACING CABINETS AND FIXTURES IN KITCHEN, POWDER AND MASTER BATH, REPLACE ENTRY DOOR AND GARAGE DOOR, REMODEL TO OPEN UP SPACE AT ENTRY AND LIVING, REPLACE (E) FIREPLACE, WHOLE HOUSE LIGHTING UPGRADE, NEW HARDWOOD FLOORING THROUGHOUT HOUSE, AND NEW CLASS A ROOF.

TRISTAN WARREI ARCHITECT

three monzoni road
 fairfax, ca 94930
 t. 510.219.2975
 tristan.warren.arch@gmail.com



PROJECT NAME
BABIAK RESIDENCE

PERMIT# 2016003
 JOB NO. 2016003
 PROJECT ADDRESS
**6 CARTER WAY
 MENLO PARK, CA**

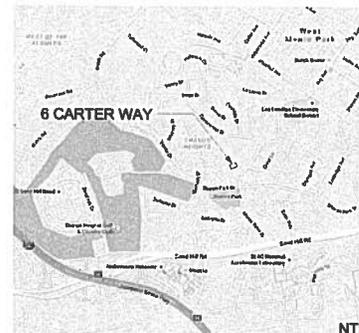
CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
 10.25.2016

CURRENT RELEASE SET:
DESIGN SUBMITTAL

PREVIOUS RELEASE

VICINITY MAP



APPLICABLE CODES

- 2013 CALIFORNIA BUILDING CODE VOL 5 1 AND 2
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA CFC & WILDLIFE-URBAN INTERFACE FIRE AREA
- 2013 CALIFORNIA ENERGY CODE
- 2013 CAL GREEN

ALONG WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS

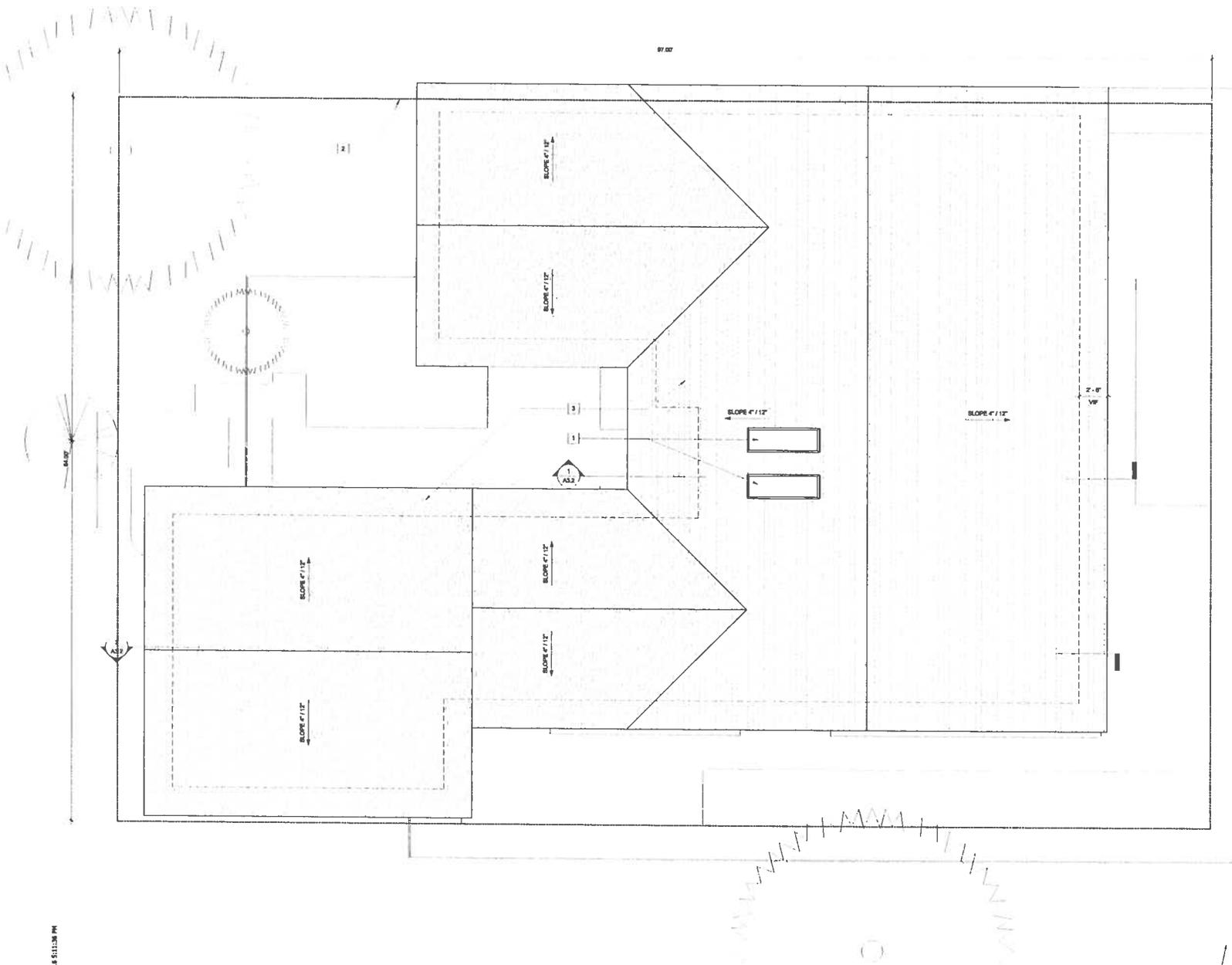
DEFERRED SUBMITTALS

NO DEFERRED SUBMITTALS

SHEET TITLE
PROJECT DATA

SCALE
 1/4" = 1'-0"

GO.1



SHEET NOTES

KEY KEYNOTE TEXT

- 1 (E) SKYLIGHTS TO REMAIN
- 2 PROPERTY LINE (V.I.F.)
- 3 PATCH/REPAIR, CLEAN, & OIL (E)
SHAKE ROOF, TYP.

TRISTAN WARREI
ARCHITECT

three monoslope roof
Seismic, ca 1990
1. 510.219.2975
a. tristan.warrei.arch@gmail.com



PROJECT NAME
BABIAK
RESIDENCE

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
6 CARTER WAY
MENLO PARK, CA

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2016
CURRENT RELEASE SET:
DESIGN
SUBMITTAL

PREVIOUS RELEASE

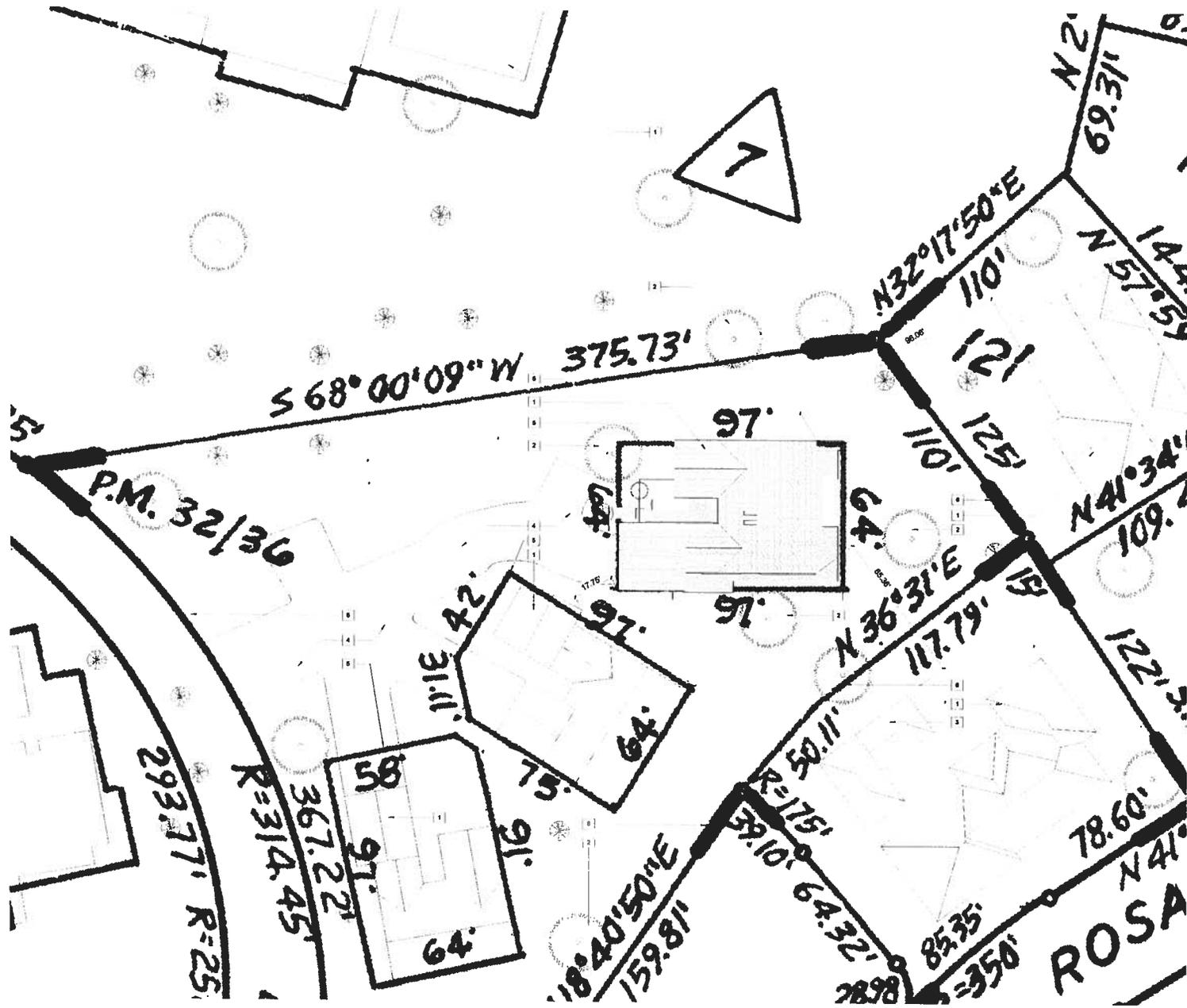
SHEET TITLE
SITE

SCALE
1/4" = 1'-0"

A1.0

1 EXISTING ROOF PLAN - PROPOSED NO CHANGE
1/4" = 1'-0"

12/17/2016 5:11:30 PM



11 EXISTING AREA PLAN
1" = 20'-0"

SHEET NOTES

- KEY KEYNOTE TEXT
- 1 (E) RESIDENCE
 - 2 (E) TREE TO REMAIN, TYP
 - 3 (E) ACCESSORY BUILDING
 - 4 (E) DRIVEWAY TO REMAIN
 - 5 (E) PROPERTY LINES W/ A-TYPICAL SET BACK LINES
 - 6 (E) PROPERTY LINES, TYP.

TRISTAN WARREN
ARCHITECT

Three monochrome road
for files, ca 19900
1. 510.219.2975
t.warren@tristanwarren.com



PROJECT NAME
**BABIAK
RESIDENCE**

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
6 CARTER WAY
MENLO PARK, CA

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2015

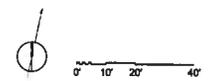
CURRENT RELEASE SET:
DESIGN
SUBMITTAL

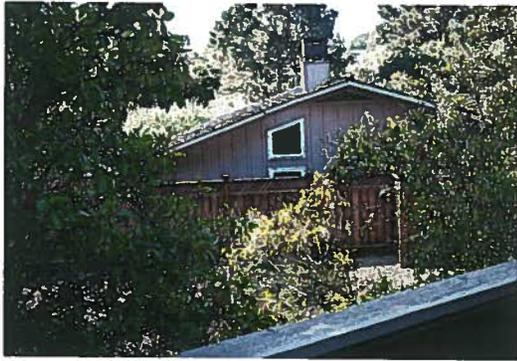
PREVIOUS RELEASE

SHEET TITLE
AREA PLAN

SCALE
1" = 20'-0"

A1.1





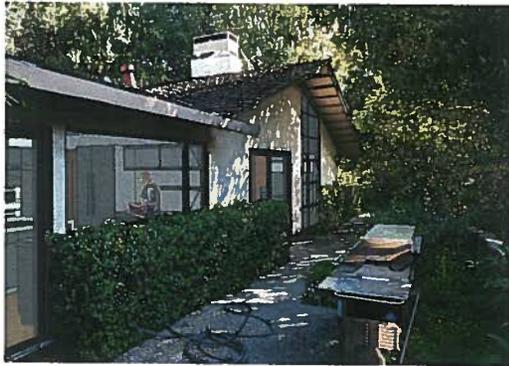
NEIGHBORS HOME - SIMILAR WINDOW ADDED TO LIVING ROOM



PROPOSED ENTRY - WOOD DOOR



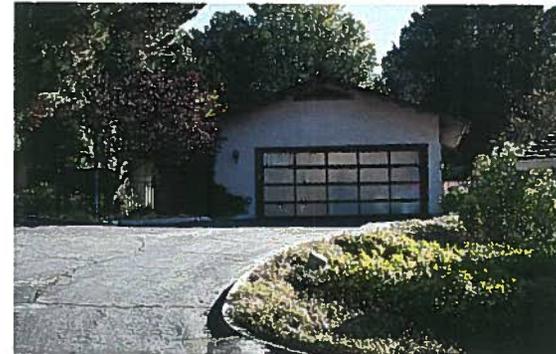
VIEW FROM STREET



PROPOSED SOUTH VIEW



PROPOSED ENTRY - PAINTED DOOR



PROPOSED GARAGE DOOR



EXISTIN SOUTH VIEW



EXISTING ENTRY IMAGE



EXISTING GARAGE DOOR

TRISTAN WARREN
ARCHITECT

Three manzanita road
Menlo Park, ca 94030
t. 510.219.2975
e. tristan.warren.arch@gmail.com



PROJECT NAME
**BABIAK
RESIDENCE**

PERMIT #
JOB NO. 2016003
PROJECT ADDRESS
**6 CARTER WAY
MENLO PARK, CA**

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2016

CURRENT RELEASE SET:
**DESIGN
SUBMITTAL**

PREVIOUS RELEASE

SHEET TITLE
PHOTO MONTAGE

SCALE
As indicated

A1.3



PROJECT NAME
**BABIAK
RESIDENCE**

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
**6 CARTER WAY
MENLO PARK, CA**

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2016
CURRENT RELEASE SET:
**DESIGN
SUBMITTAL**

PREVIOUS RELEASE

SHEET TITLE
DEMO PLAN

SCALE
1/4" = 1'-0"

A2.1

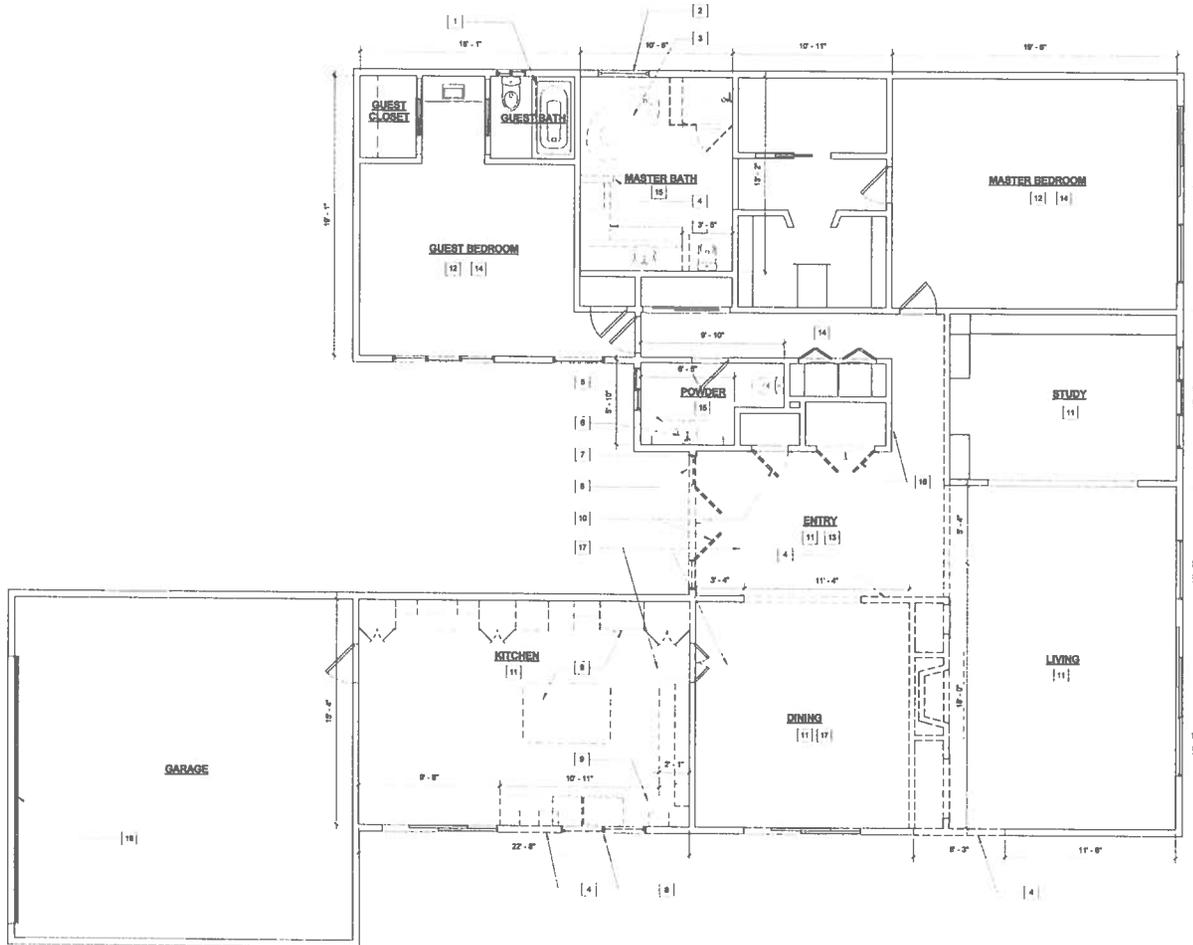
GENERAL NOTES

CALIFORNIA COMPLIANCE NOTES
CONSTRUCTION AND DEMOLITION DEBRIS:
100% OF MIXED DEBRIS MUST BE TRANSPORTED
BY A REGISTERED HAULER TO A REGISTERED
FACILITY AND BE PROCESSED FOR RECYCLING, IN
COMPLIANCE WITH THE SAN FRANCISCO
CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE

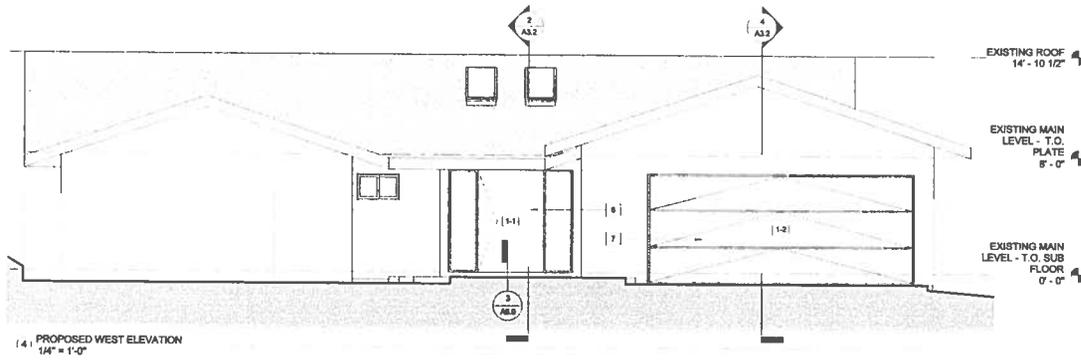
SHEET NOTES

KEY KEYNOTE TEXT

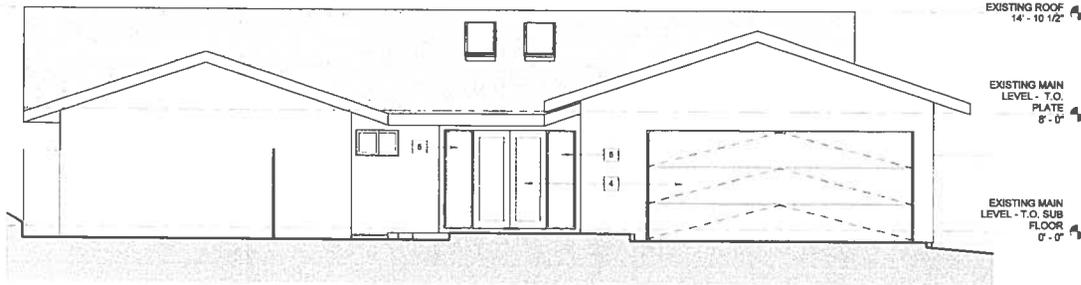
- 1 REMOVE (E) SHOWER DOOR
- 2 REPLACE (E) WINDOW
- 3 REMOVE (E) TUB & PLATFORM
- 4 REMOVE (E) WALLS, SHOWN DASHED, TYP.
- 5 REMOVE (E) CASEWORK, TYP.
- 6 REMOVE (E) PLUMBING, CAP LINES AS REQ'D
- 7 REMOVE (E) ENTRY DOOR FRAME, TYP., U.O.N.
- 8 REMOVE (E) WINDOWS, SHOWN DASHED
- 9 REMOVE ALL (E) CASEWORK & FIXTURES IN KITCHEN. (REUSE ROUGH PLUMBING LINES FOR (N) FIXTURES, CAP LINES AS REQ'D)
- 10 REMOVE (E) DOORS, SHOWN DASHED
- 11 REMOVE ALL DOOR CASING, CROWN MOULDING, & BASEBOARD
- 12 [ADD ALT] REMOVE ALL DOOR CASING, CROWN MOULDING, & BASEBOARD
- 13 REMOVE (E) PARQUET FLOORING
- 14 [ADD ALT] REMOVE (E) CARPET FLOORING
- 15 REMOVE (E) TILE & GROUT BED DOWN TO CONC. SLAB. PREP SLAB FOR (N) TILE & GROUT BED
- 16 REMOVE (E) HVAC GRATES
- 17 REMOVE ALL (E) INTERIOR SURFACE, RECESSED, & DECORATIVE LIGHTING IN HOUSE, TYP. GARAGE LIGHTING TO REMAIN.
- 18 REMOVE (E) GARAGE DOOR. VERIFY (E) OPERATOR & TRACK ARE IN GOOD CONDITION



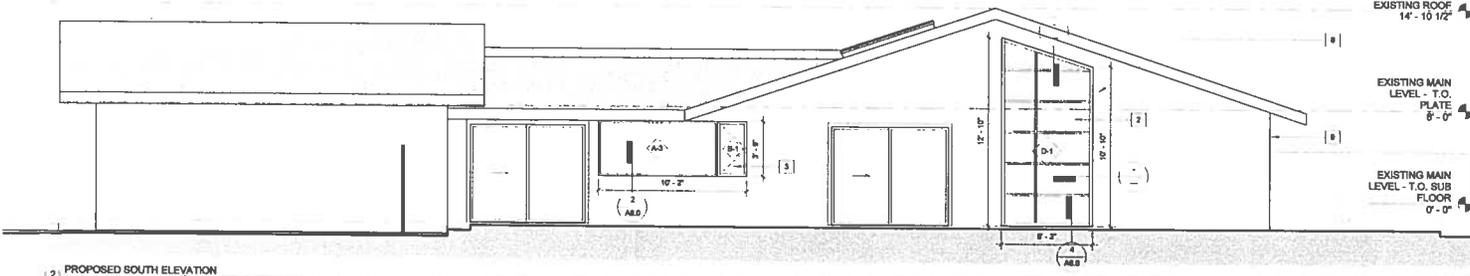
2 EXISTING MAIN FLOOR DEMO
1/4" = 1'-0"



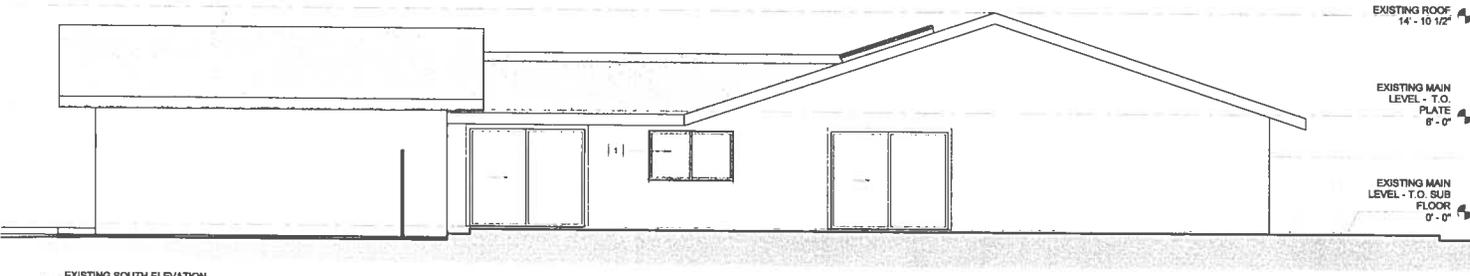
1.4 PROPOSED WEST ELEVATION
1/4" = 1'-0"



1.3 EXISTING WEST ELEVATION
1/4" = 1'-0"



1.2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



1.1 EXISTING SOUTH ELEVATION
1/4" = 1'-0"

SHEET NOTES

KEY	KEYNOTE TEXT
1	ELEVATIONS & SECTION
2	NEW CUSTOM WINDOW
3	NEW WINDOW
4	REMOVE (E) DOOR
5	REMOVE (E) WINDOW
6	NEW PIVOT DOOR W/ SIDELITES
7	NEW GARAGE DOOR PLACED IN (E) LOCATION
8	PATCH & REPAIR (E) STUCCO FIN AS REQD.
9	NEW PART FINISH ON SOUTH WALL OF HOUSE, EXTENT SHOWN SHADED

TRISTAN WARREN ARCHITECT

Three monsonella road
Fairfax, ca 94930
t. 510.219.2975
e. tristan.warren.arch@gmail.com



PROJECT NAME
BABIAK RESIDENCE

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
6 CARTER WAY
MENLO PARK, CA

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2016
CURRENT RELEASE SET:
DESIGN SUBMITTAL

PREVIOUS RELEASE

SHEET TITLE
EXISTING & PROPOSED ELEVATIONS

SCALE
1/4" = 1'-0"



A3.0

11/1/2016 5:11:47 PM

SHEET NOTES
KEY KEYNOTE TEXT

TRISTAN WARREN
ARCHITECT

three monsonia road
fairfax, ca 94930
1.510.219.2975
a. tristan.warren.arch@gmail.com



PROJECT NAME
**BABIAK
RESIDENCE**

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
6 CARTER WAY
MENLO PARK, CA

CLIENT NAME
MICHAEL BABIAK

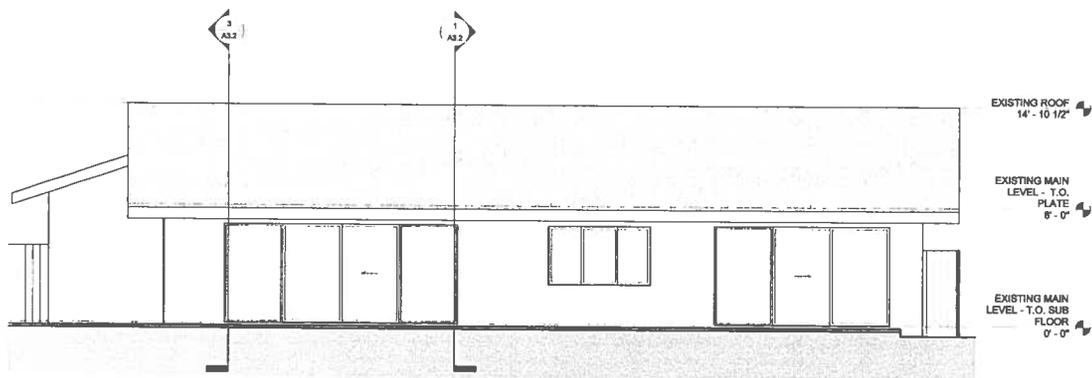
CURRENT RELEASE DATE:
10.25.2016

CURRENT RELEASE SET:
DESIGN
SUBMITTAL

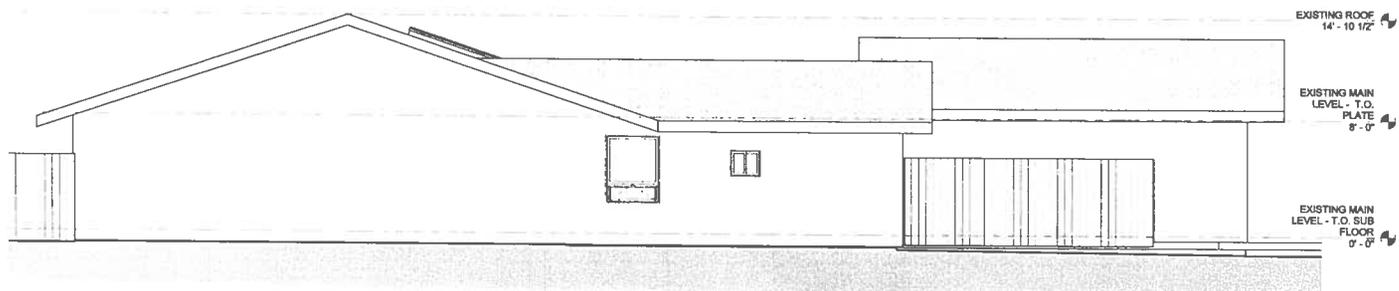
PREVIOUS RELEASE

SHEET TITLE
**EXISTING &
PROPOSED
ELEVATIONS**

SCALE
1/4" = 1'-0"



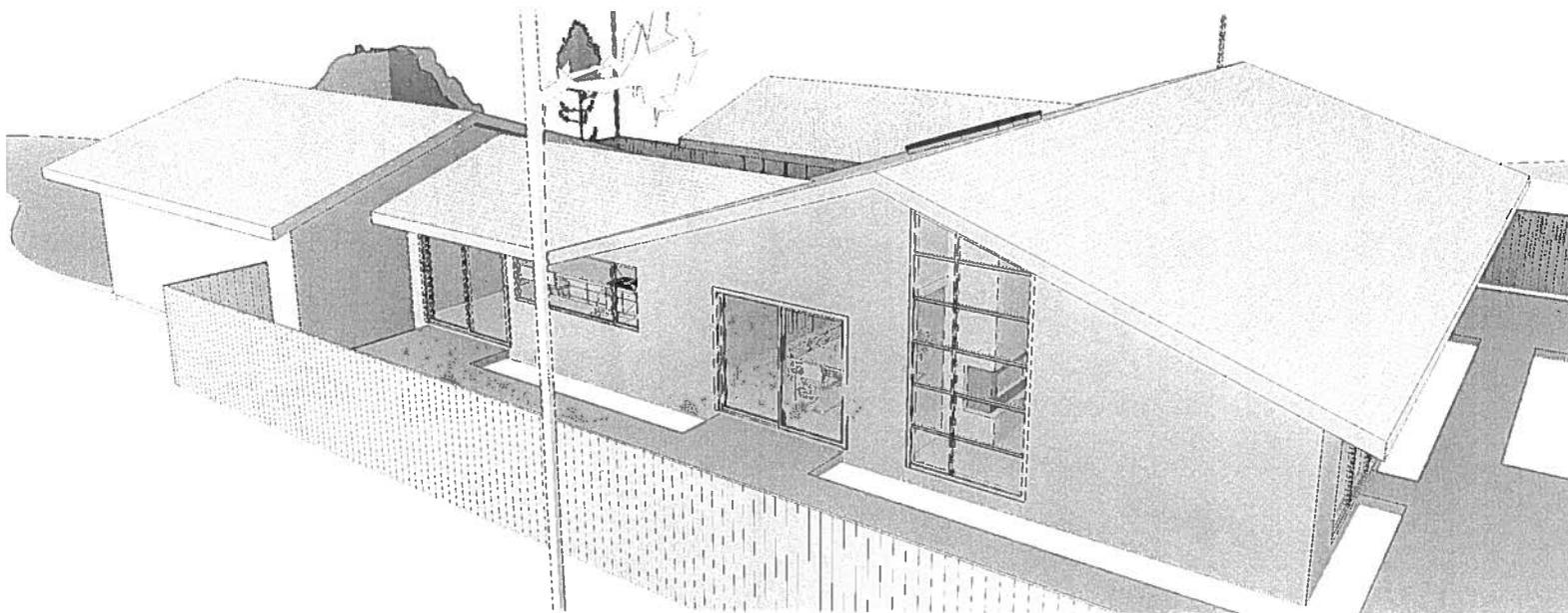
2 EXISTING/ PROPOSED EAST ELEVATION
1/4" = 1'-0"



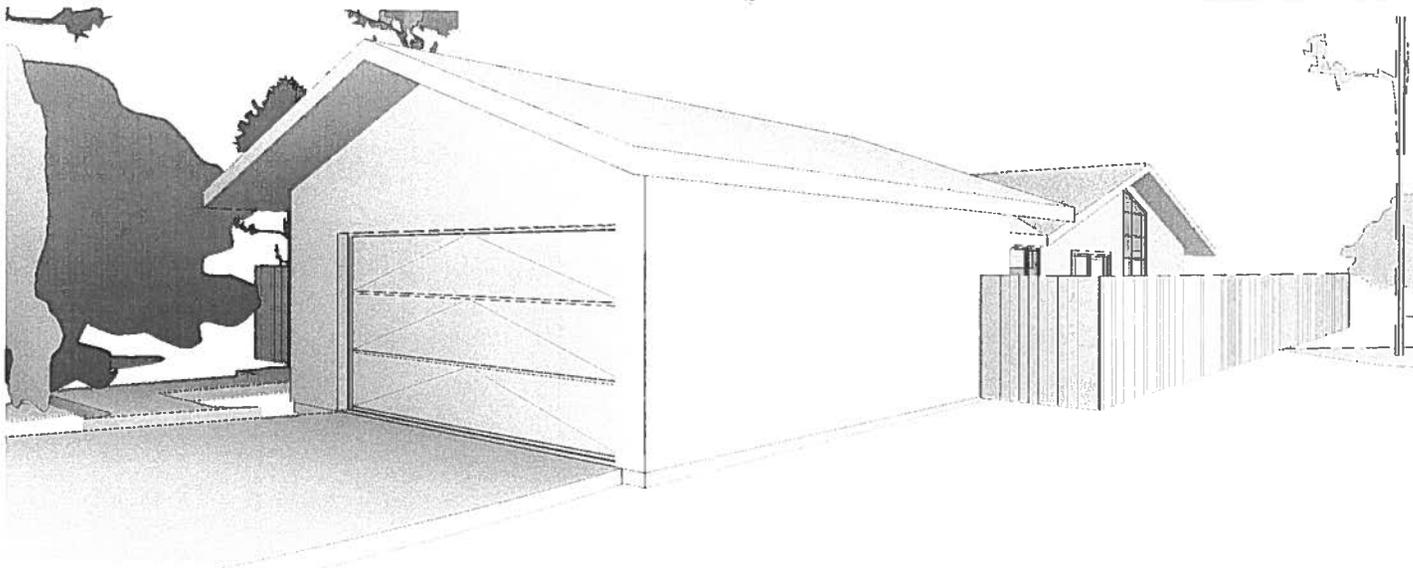
1 EXISTING/ PROPOSED NORTH ELEVATION
1/4" = 1'-0"



A3.1



12 SE CORNER OF LIVING ROOM LOOKING WEST



14 SW CORNER OF GARAGE LOOKING EAST

TRISTAN WARREI
ARCHITECT

Three Monarchs Road
Irvine, CA 92618
1.510.219.2973
t.warrei@tristanwarrei.com



PROJECT NAME
**BABIAK
RESIDENCE**

PERMIT#
JOB NO. 2016003
PROJECT ADDRESS
**6 CARTER WAY
MENLO PARK, CA**

CLIENT NAME
MICHAEL BABIAK

CURRENT RELEASE DATE:
10.25.2016
CURRENT RELEASE SET:
**DESIGN
SUBMITTAL**

PREVIOUS RELEASE

SHEET TITLE
EXTERIOR 3D VIEWS

SCALE

A1.2