



NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Use Permit/Chris Pandolfo/1065 Trinity Drive: Request for a use permit to add on to the lower floor and conduct interior modifications to an existing two-story, single-family residence that would exceed 50 percent of the replacement value of the existing nonconforming structure in a 12-month period. The proposal includes excavation in the required right side, and rear yard setbacks associated with landscape improvements. The parcel is located in the R-E-S (Residential Estate Suburban) zoning district. As part of the proposed development, eight heritage-size, Monterey pine trees, in poor health, are proposed to be removed.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Ori Paz, Planning Technician, at (650) 330-6711 or email him at oripaz@menlopark.org. The Planning Division encourages submittal of comments and questions by January 12, 2017 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.



RECEIVED

NOV 30 2016

CITY OF MENLO PARK
BUILDING

October 25th, 2016

City of Menlo Park
Community Development
Planning Division
701 Laurel Street,
Menlo Park, CA 94025

Re: 1065 Trinity Drive
Project description letter for 218 McKendry, Grundy Residence

The purpose of this letter is to describe the proposed addition and remodel project at 1065 Trinity Drive, to accompany our submittal of plans and application for the Use Permit approval. The overall project includes adding 479 sf to the existing lower floor and combined with interior remodeling of the existing residence, as well as adding 279 sf to the existing main floor. The total proposed residence will be 758 sf. The parcel is 16,024 sf, zoned as R-E-S. Based on lot dimensions. The existing home structure is located approximately 9' -9" from the side yard property line, where 15" is the current minimum required, so that section of home and eave represent an existing non-conformity. The proposed scope of work, combined with the parcel size and non-conformity, necessitate a Use Permit approval for development.

The owners would like to expand their house for their growing family while maintaining the main character of the house and be able to reside in the same neighborhood they have lived for ~~xx~~ years.

5 1/2

The architecture of the home is designed in a craftsman shingle style, with front facing gable ends, open eaves, tapered front porch columns, and trim/moulding consistent with the style. The design will feature a wide covered front porch, to provide a welcoming presence and emphasize the pedestrian scale of the streetscape. The front door will face the street with high visibility. Wall materials will be stucco to match existing finish, with painted trim, casing, and mouldings. The entry columns will be painted wood to coordinate with the trim and millwork and with a stone veneer at the base. The windows will be aluminum clad with wood trim, predominantly casement style. On the left side there is no proposed new window and the existing driveway provides additional setback distance, and on the right side the proposed windows face a line of pine trees with 7'-0" separation in between which serve as a privacy screen. For the front two proposed bedrooms and master bedroom addition, the larger casement windows are facing the front and rear to minimize privacy concerns.

The existing attached garage will remain and there will be no change to the existing driveway which provides additional off-street parking.

The existing lower and main floor left side setback of 9'-9" will remain unchanged. The existing right side setback of 10" will remain, with the front addition aligning with this existing wall line, to maintain the driveway width.

Most residences have an attached two-car garage with a side driveway connecting to the street for the additional tandem parking. There are heritage size street tree along the right side setback, which will remain. Also, there is no work proposed on the front setback that could affect the protected street pine trees. Other trees located on the front and rear yard are non-protected trees.

As part of the outreach efforts for this project, the owners have reached out to immediately adjacent neighbors to the side and rear, as well as a few others, to provide awareness of the proposed improvements and to solicit feedback and support. Any correspondence received will be included with the application.

Thank you for your time in review of this project. We are proud to present this design for your consideration, and look forward to the opportunity to create this new high quality residence to compliment the neighborhood.

A handwritten signature in black ink, appearing to read 'Andrew Young', with a large, stylized flourish at the end.

Sincerely,

Andrew Young

Young and Borlik Architects Inc.

PANDOLFO RESIDENCE MENLO PARK, CALIFORNIA

RECEIVED

NOV 30 2016

CITY OF MENLO PARK
BUILDING



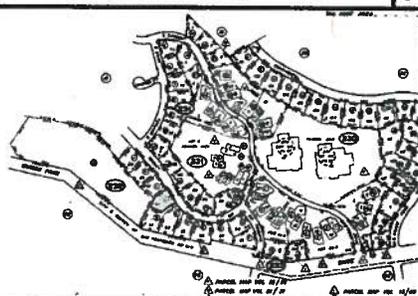
PROPOSED FRONT ELEVATION

N.T.S. 1



VICINITY MAP

6



PARCEL MAP

5

ARCHITECT
YOUNG AND BORLIK ARCHITECTS, INC.
6902 EL CAMINO REAL, SUITE 218
LOS ALTOS, CA 94022
TEL: (650) 668-1990
FAX: (650) 668-1112
ATTN: ANDREW YOUNG
ayoung@yborlikarch.com

ARCHITECT
RED PATCHETT CONSULTING, INC.
638 BUENA VISTA STREET
MOORE BEACH, CA 94028
TEL: (650) 725-4500
FAX: (650) 697-8023
ATTN: RED PATCHETT
red@redpatchettconsulting.com

SCOPE OF WORK:
LOWER AND MAIN FLOOR ADDITION AND REMODEL.

SURVEYOR & CIVIL ENGINEER
LEA & BRACE ENGINEERS, INC.
2008 INDUSTRIAL PARKWAY WEST
MAYWOOD, CA 94546
TEL: (916) 887-4000

SOILS ENGINEER
BERRY ENGINEERS, INC.
508 PRESIDENT AVENUE
LOS ALTOS, CA 94024
TEL: (650) 886-6662
FAX: (650) 886-6665
ATTN: TOM TOPHER KORTH
tk@berrymgengineers.com

PROJECT DESIGN DATA:
2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA PLUMBING CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE
2013 CALIFORNIA FIRE CODE
2013 CALIFORNIA ENERGY STANDARDS
& 3915 ENERGY STANDARDS
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS
THE DOCUMENTS PREPARED BY THESE CONSULTANTS ARE AN INTEGRAL PART OF THE ARCHITECTURAL CONSTRUCTION DOCUMENTS AND SHALL BE INCORPORATED INTO THIS SET BY REFERENCE. I.E. SOILS REPORT, TITLE-SH, STRUCTURAL CALCULATIONS, ETC. THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED. THE CONTRACTOR SHALL OBTAIN CURRENT COPIES OF ALL DOCUMENTS, READ, UNDERSTAND AND CONFIRM ANY CONFLICTS OR DISCREPANCIES ON QUESTIONS WITH APPROPRIATE CONSULTANTS.

CONSULTANTS

4

ARCHITECTURAL

- AA.1 VICINITY MAP, PARCEL MAP, SHEET INDEX, CONSULTANTS, PROJECT SUMMARY, PROPOSED FRONT ELEVATION
- AA.2 AREA PLAN
- AA.3 AREA CALCULATIONS
- AA.3.1 NONCONFORMING STRUCTURES-NEW WORK VALUE CALCULATION
- AA.4 EXISTING SITE PLAN
- AA.5 PROPOSED SITE PLAN
- A1.0 EXISTING LOWER FLOOR PLAN
- A1.1 EXISTING MAIN FLOOR PLAN
- AA.1.1 PROPOSED LOWER FLOOR PLAN
- AA.1.1.1 PROPOSED MAIN FLOOR PLAN
- AA.1.1.2 PROPOSED ROOF PLAN
- AA.1.2 PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
- AA.1.3 EXISTING & PROPOSED FRONT ELEVATIONS
- AA.1.4 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.5 EXISTING & PROPOSED REAR ELEVATIONS
- AA.1.6 EXISTING & PROPOSED REAR ELEVATIONS
- AA.1.7 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.8 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.9 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.10 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.11 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.12 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.13 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.14 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.15 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.16 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.17 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.18 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.19 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.20 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.21 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.22 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.23 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.24 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.25 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.26 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.27 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.28 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.29 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.30 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.31 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.32 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.33 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.34 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.35 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.36 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.37 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.38 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.39 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.40 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.41 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.42 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.43 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.44 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.45 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.46 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.47 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.48 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.49 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.50 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.51 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.52 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.53 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.54 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.55 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.56 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.57 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.58 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.59 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.60 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.61 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.62 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.63 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.64 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.65 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.66 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.67 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.68 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.69 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.70 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.71 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.72 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.73 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.74 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.75 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.76 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.77 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.78 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.79 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.80 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.81 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.82 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.83 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.84 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.85 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.86 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.87 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.88 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.89 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.90 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.91 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.92 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.93 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.94 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.95 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.96 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.97 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.98 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.99 EXISTING & PROPOSED SIDE ELEVATIONS
- AA.1.100 EXISTING & PROPOSED SIDE ELEVATIONS

SURVEY

- SM1 TOPOGRAPHIC AND BOUNDARY SURVEY

CIVIL

- CI.0 TITLE SHEET
- CI.1 GRADING AND DRAINAGE PLAN
- CI.2 DETAILS
- CI.3 GRADING SPECIFICATIONS
- CI.4 EROSION CONTROL PLAN
- CI.5 EROSION CONTROL DETAILS
- CI.6 STORMWATER POLLUTION PREVENTION PLAN

SHEET INDEX

APR:

PROPERTY OWNER:	CHRIS PANDOLFO
PROJECT ADDRESS:	1085 TRINITY DRIVE, MENLO PARK, CA 94025
ZONING:	R-60
OCCUPANCY:	R-5, U-1
CONSTRUCTION:	TYPE I-A
FOR CODE COMPLIANCE:	2013 CALIFORNIA CODES (CBC, CBC, CBC, CPC) 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA ENERGY CODE
LOT SIZE:	16,059 sf (0.37 acres)
ALLOWABLE F.A.L.:	5,905 sf (36.8% of lot area)
PROPOSED FLOOR:	2,828 sf (50% FAL)
ALLOWABLE COVERAGE:	4,897.2 sf (30% FOR TWO STORY)
FRONT & REAR SETBACK:	20'
SIDE SETBACK:	25' TOTAL WITH A MINIMUM OF 10' ON ONE SIDE
HEIGHT LIMIT:	25' AVERAGE HEIGHT (FROM LOWEST EXISTING GRADE)
EXISTING LOWER FLOOR:	604.6 sf
EXISTING MAIN FLOOR:	2,081.5 sf
EXISTING GARAGE:	568.6 sf
EXISTING TOTAL F.A.L.:	4,254.7 sf
PROPOSED LOWER FLOOR:	1,601.1 sf
PROPOSED MAIN FLOOR:	1,227.2 sf
PROPOSED GARAGE:	600.0 sf
PROPOSED TOTAL F.A.L.:	3,428.3 sf < 4,897.2 sf
PROPOSED MAIN FLOOR COVERAGE:	4,024.8 sf
PROPOSED PATIO & DECK COVERAGE:	781.8 sf
PROPOSED TOTAL COVERAGE:	4,806.6 sf < 4,897.2 sf
SEE ALSO AREA CALCULATION AA.3.1	
PLANNING NOTE:	1. THE EXISTING HOUSE IS A TWO STORY HOUSE. 2. NOURMENTALITY SHOULD REFER TO LOWER FLOOR AND MAIN FLOOR. 3. INCORPORATE 20% CONTRIBUTIONS TO FLOOR AREA FOR SPACES WITH A CEILING HEIGHT GREATER THAN 12'

PROJECT SUMMARY

2

ISSUE LOG
PLANNING ESSENTIAL
OCT. 27, 2016

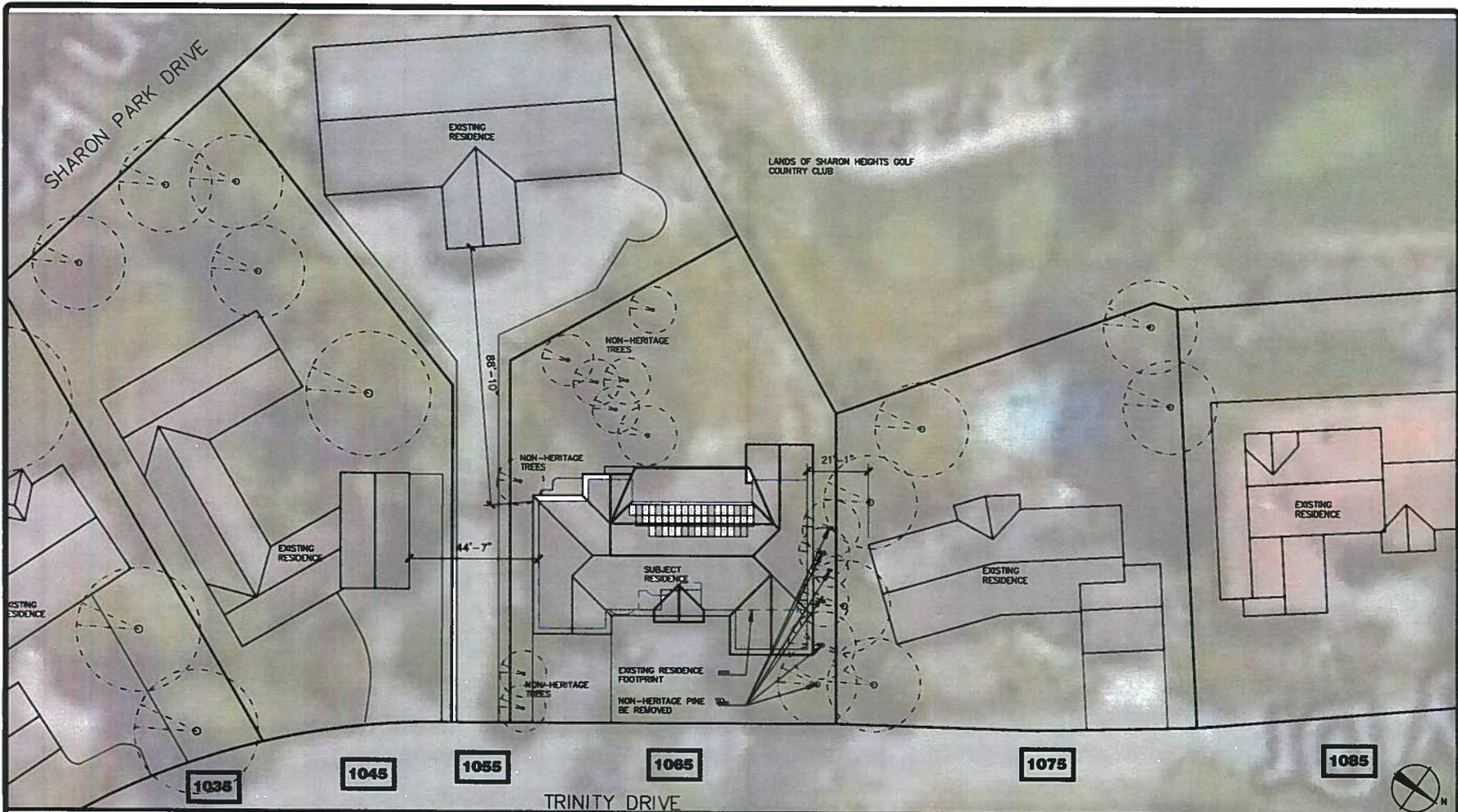
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
6902 EL CAMINO REAL, SUITE 218
PALO ALTO, CA 94022
TEL: (650) 668-1990 FAX: (650) 323-1112
www.yborlikarchitects.com



FOR REMODEL FOR:
AMY & CHRIS PANDOLFO
1085 TRINITY DRIVE
MENLO PARK, CA 94025

A.P.N. 074-232-040
CITY OF MENLO PARK
JUNE 25, 2016
PANDOLFO

A0.1



PROPOSED AREA PLAN W/ CONTEXTUAL AERIAL VIEW

1/16"=1'-0" 2



STREET SCENE ELEVATION TRINITY DRIVE

1/16"=1'-0" 1

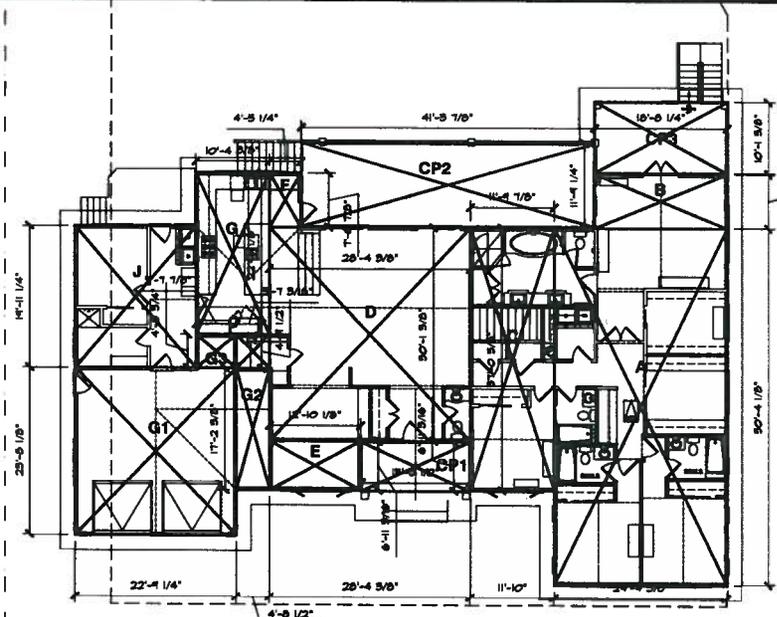
REUSE LOG
 PLANNING PERMITTING
 OCT. 27, 2016

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4842 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 666-1950 FAX: (650) 323-1112 www.yabarchitects.com

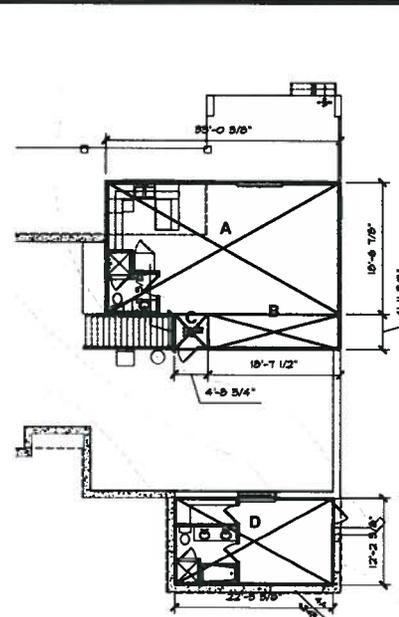
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

REMODEL FOR:
 A.P.N. 074-232-040
 OWNER: AMY & CHRIS PANDOLFO
 DATE: JUNE 28, 2016
 ARCHITECT: PANDOLFO

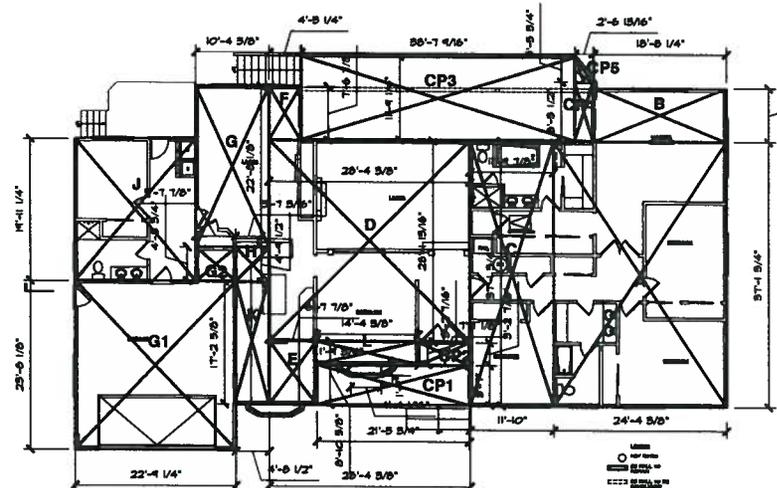
A0.2



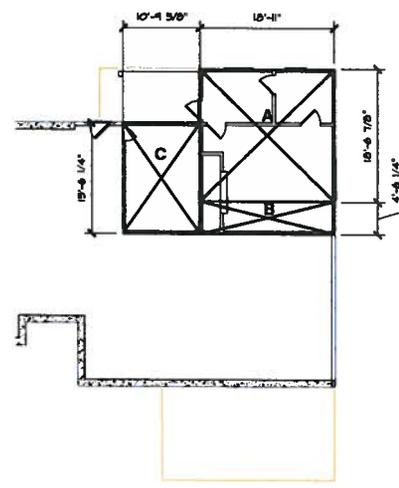
PROPOSED MAIN FLOOR PLAN w/ GARAGE



PROPOSED LOWER FLOOR



EXISTING MAIN FLOOR PLAN w/ GARAGE



EXISTING LOWER FLOOR

AREA CALCULATIONS

EXISTING MAIN FLOOR CALCULATIONS (EXISTING/PROPOSED)		
BOX	Area (SF)	NOTES
A	505.0	
B	542.0	
C	480.0	
D	798.0	
E	581.0	
F	308.0	
G	350.0	
H	57.0	
I	542.0	
J	581.0	
K	65.0	

EXISTING MAIN FLOOR AREA (SF)	5,899.0
-------------------------------	---------

EXISTING GARAGE		
BOX	Area (SF)	NOTES
G1	581.0	
G2	581.0	

EXISTING GARAGE FLOOR AREA (SF)	581.0
---------------------------------	-------

EXISTING LOWER FLOOR CALCULATION		
Area	Notes	
A	351.0	
B	287.7	
C	69.0	
D	69.0	
E	69.0	
F	69.0	
G	69.0	
H	69.0	
I	69.0	
J	69.0	
K	69.0	
L	69.0	
M	69.0	
N	69.0	
O	69.0	
P	69.0	
Q	69.0	
R	69.0	
S	69.0	
T	69.0	
U	69.0	
V	69.0	
W	69.0	
X	69.0	
Y	69.0	
Z	69.0	

TOTAL EXISTING SQUARE FOOTINGS	6,580.0 < 5,000 SF MAX (25%)
--------------------------------	------------------------------

COVERED PATIO		
Area	Notes	
CP1	130.0	
CP2	22.7	
CP3	484.7	
CP4	25.0	
CP5	4.0	
CP6	4.0	
CP7	4.0	
CP8	4.0	
CP9	4.0	
CP10	4.0	
CP11	4.0	
CP12	4.0	
CP13	4.0	
CP14	4.0	
CP15	4.0	
CP16	4.0	
CP17	4.0	
CP18	4.0	
CP19	4.0	
CP20	4.0	
CP21	4.0	
CP22	4.0	
CP23	4.0	
CP24	4.0	
CP25	4.0	
CP26	4.0	
CP27	4.0	
CP28	4.0	
CP29	4.0	
CP30	4.0	
CP31	4.0	
CP32	4.0	
CP33	4.0	
CP34	4.0	
CP35	4.0	
CP36	4.0	
CP37	4.0	
CP38	4.0	
CP39	4.0	
CP40	4.0	
CP41	4.0	
CP42	4.0	
CP43	4.0	
CP44	4.0	
CP45	4.0	
CP46	4.0	
CP47	4.0	
CP48	4.0	
CP49	4.0	
CP50	4.0	
CP51	4.0	
CP52	4.0	
CP53	4.0	
CP54	4.0	
CP55	4.0	
CP56	4.0	
CP57	4.0	
CP58	4.0	
CP59	4.0	
CP60	4.0	
CP61	4.0	
CP62	4.0	
CP63	4.0	
CP64	4.0	
CP65	4.0	
CP66	4.0	
CP67	4.0	
CP68	4.0	
CP69	4.0	
CP70	4.0	
CP71	4.0	
CP72	4.0	
CP73	4.0	
CP74	4.0	
CP75	4.0	
CP76	4.0	
CP77	4.0	
CP78	4.0	
CP79	4.0	
CP80	4.0	
CP81	4.0	
CP82	4.0	
CP83	4.0	
CP84	4.0	
CP85	4.0	
CP86	4.0	
CP87	4.0	
CP88	4.0	
CP89	4.0	
CP90	4.0	
CP91	4.0	
CP92	4.0	
CP93	4.0	
CP94	4.0	
CP95	4.0	
CP96	4.0	
CP97	4.0	
CP98	4.0	
CP99	4.0	
CP100	4.0	

TOTAL EXISTING COVERED PATIO (SF)	631.0
-----------------------------------	-------

TOTAL EXISTING LOT COVERAGE (SF)	4,967.0 < 4,827.0 MAX ALLOWABLE
----------------------------------	---------------------------------

PROPOSED MAIN FLOOR CALCULATIONS (EXISTING/PROPOSED)		
BOX	Area (SF)	NOTES
A	1,526.0	
B	542.0	
C	480.0	
D	694.0	
E	581.0	
F	308.0	
G	350.0	
H	57.0	
I	542.0	
J	581.0	
K	65.0	

PROPOSED MAIN FLOOR AREA (SF)	5,979.0
-------------------------------	---------

PROPOSED GARAGE		
Area	Notes	
G1	581.0	
G2	581.0	
G3	581.0	
G4	581.0	
G5	581.0	
G6	581.0	
G7	581.0	
G8	581.0	
G9	581.0	
G10	581.0	
G11	581.0	
G12	581.0	
G13	581.0	
G14	581.0	
G15	581.0	
G16	581.0	
G17	581.0	
G18	581.0	
G19	581.0	
G20	581.0	
G21	581.0	
G22	581.0	
G23	581.0	
G24	581.0	
G25	581.0	
G26	581.0	
G27	581.0	
G28	581.0	
G29	581.0	
G30	581.0	
G31	581.0	
G32	581.0	
G33	581.0	
G34	581.0	
G35	581.0	
G36	581.0	
G37	581.0	
G38	581.0	
G39	581.0	
G40	581.0	
G41	581.0	
G42	581.0	
G43	581.0	
G44	581.0	
G45	581.0	
G46	581.0	
G47	581.0	
G48	581.0	
G49	581.0	
G50	581.0	
G51	581.0	
G52	581.0	
G53	581.0	
G54	581.0	
G55	581.0	
G56	581.0	
G57	581.0	
G58	581.0	
G59	581.0	
G60	581.0	
G61	581.0	
G62	581.0	
G63	581.0	
G64	581.0	
G65	581.0	
G66	581.0	
G67	581.0	
G68	581.0	
G69	581.0	
G70	581.0	
G71	581.0	
G72	581.0	
G73	581.0	
G74	581.0	
G75	581.0	
G76	581.0	
G77	581.0	
G78	581.0	
G79	581.0	
G80	581.0	
G81	581.0	
G82	581.0	
G83	581.0	
G84	581.0	
G85	581.0	
G86	581.0	
G87	581.0	
G88	581.0	
G89	581.0	
G90	581.0	
G91	581.0	
G92	581.0	
G93	581.0	
G94	581.0	
G95	581.0	
G96	581.0	
G97	581.0	
G98	581.0	
G99	581.0	
G100	581.0	

PROPOSED GARAGE AREA (SF)	5,810.0
---------------------------	---------

PROPOSED LOWER FLOOR CALCULATION		
Area	Notes	
A	612.0	
B	612.0	
C	25.0	
D	25.0	
E	25.0	
F	25.0	
G	25.0	
H	25.0	
I	25.0	
J	25.0	
K	25.0	
L	25.0	
M	25.0	
N	25.0	
O	25.0	
P	25.0	
Q	25.0	
R	25.0	
S	25.0	
T	25.0	
U	25.0	
V	25.0	
W	25.0	
X	25.0	
Y	25.0	
Z	25.0	

PROPOSED LOWER FLOOR AREA (SF)	5,962.0
--------------------------------	---------

TOTAL PROPOSED SQUARE FOOTINGS	5,962.0 < 5,000 SF MAX (25%)
--------------------------------	------------------------------

COVERED PATIO		
Area	Notes	
CP1	130.0	
CP2	684.0	
CP3	130.0	
CP4	130.0	
CP5	130.0	
CP6	130.0	
CP7	130.0	
CP8	130.0	
CP9	130.0	
CP10	130.0	
CP11	130.0	
CP12	130.0	
CP13	130.0	
CP14	130.0	
CP15	130.0	
CP16	130.0	
CP17	130.0	
CP18	130.0	
CP19	130.0	
CP20	130.0	
CP21	130.0	
CP22	130.0	
CP23	130.0	
CP24	130.0	
CP25	130.0	
CP26	130.0	
CP27	130.0	
CP28	130.0	
CP29	130.0	
CP30	130.0	
CP31	130.0	
CP32	130.0	
CP33	130.0	
CP34	130.0	
CP35	130.0	
CP36	130.0	
CP37	130.0	
CP38	130.0	
CP39	130.0	
CP40	130.0	
CP41	130.0	
CP42	130.0	
CP43	130.0	
CP44	130.0	
CP45	130.0	
CP46	130.0	
CP47	130.0	
CP48	130.0	
CP49	130.0	
CP50	130.0	
CP51	130.0	
CP52	130.0	
CP53	130.0	
CP54	130.0	
CP55	130.0	
CP56	130.0	
CP57	130.0	
CP58	130.0	
CP59	130.0	
CP60	130.0	
CP61	130.0	
CP62	130.0	
CP63	130.0	
CP64	130.0	
CP65	130.0	
CP66	130.0	
CP67	130.0	
CP68	130.0	
CP69	130.0	
CP70	130.0	
CP71	130.0	
CP72	130.0	
CP73	130.0	
CP74	130.0	
CP75	130.0	
CP76	130.0	
CP77	130.0	
CP78	130.0	
CP79	130.0	
CP80	130.0	
CP81	130.0	
CP82	130.0	
CP83	130.0	
CP84	130.0	
CP85	130.0	
CP86	130.0	
CP87	130.0	
CP88	130.0	
CP89	130.0	
CP90	130.0	
CP91	130.0	
CP92	130.0	
CP93	130.0	
CP94	130.0	
CP95	130.0	
CP96	130.0	
CP97	130.0	
CP98	130.0	
CP99	130.0	
CP100	130.0	

TOTAL PROPOSED COVERED PATIO (SF)	6,812.0
-----------------------------------	---------

TOTAL PROPOSED LOT COVERAGE (SF)	4,862.0 < 4,827.0 MAX ALLOWABLE
----------------------------------	---------------------------------

ISSUE LOG
PLANNING SUBMITTAL
OCT. 27, 2016

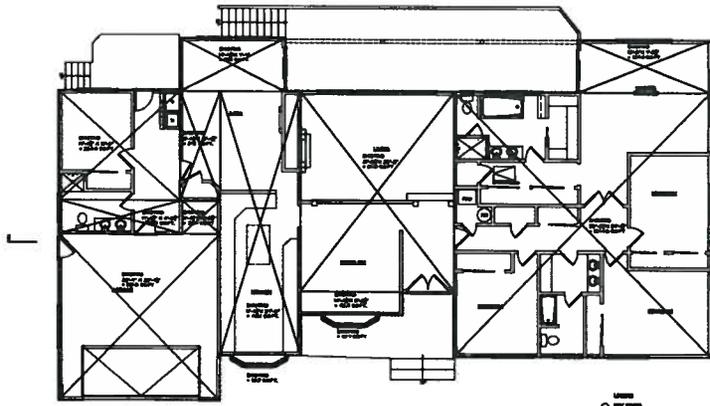
YOUNG AND BORLIK
ARCHITECTS, INCORPORATED
6942 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
TEL: (650) 688-1950 FAX: (650) 323-1112 www.yabarchitects.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
1065 TRINITY DRIVE
MENLO PARK, CA 94025

A.P.N. 074-232-040
DRAWN BY: SA, JT, CH
DATE: JUNE 26, 2016
SCALE: AS SHOWN
PANDOLFO

A0.3.1



EXISTING

1/8" = 1'-0"
 1/4" = 1'-0"
 1/2" = 1'-0"

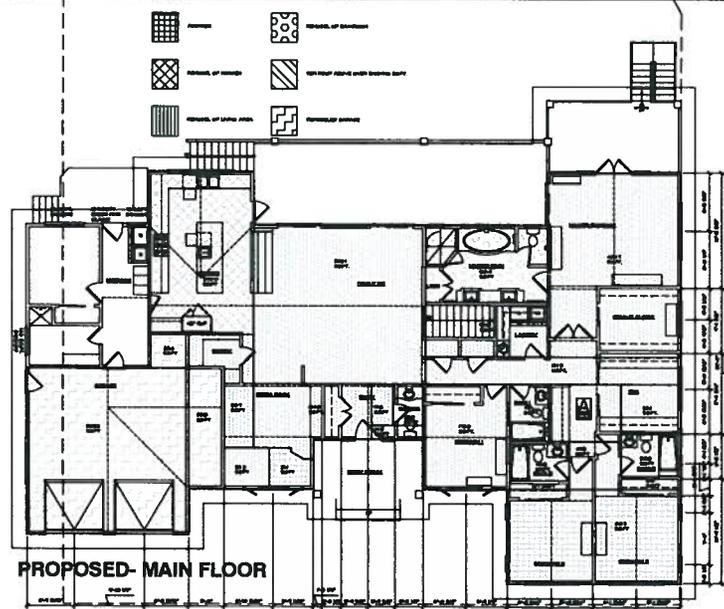
NONCONFORMING STRUCTURE - NEW WORK VALUE CALCULATION

Address: 1065 TRINITY DRIVE
 Case No.:
 SWS of Existing Value: \$282,822.00
 PV of Existing Value: \$282,822.00
 Value of Proposed Project: \$664,652.00 PVS

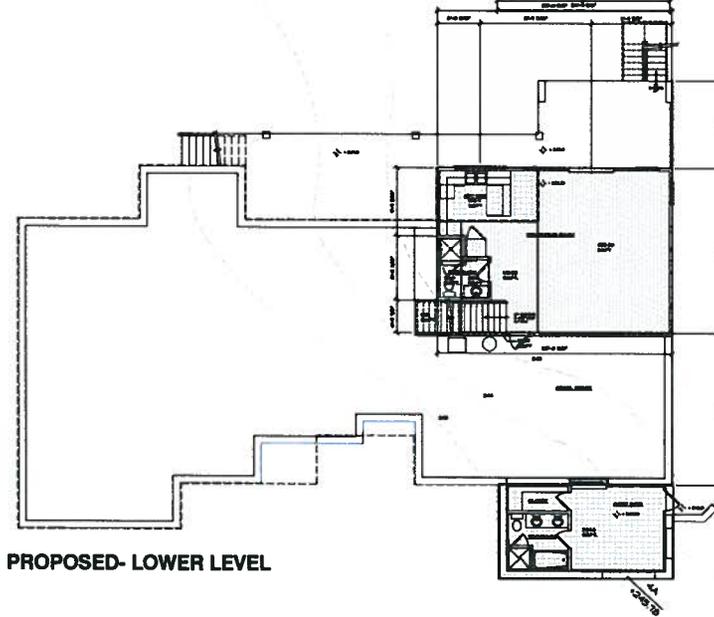
Non-Developing Structure Type	Square Footage	Rate	Qualification	Building Value
Existing 1st Floor	2128.2	0.13	SD3000a, P1	\$276,666.00
Existing 2nd Floor	0	0	SD3000a, P1	\$0.00
Existing Treatment	604.4	0.33	SD3000a, P1	\$199,500.00
Existing Garage	657.2	0.22	SD3000a, P1	\$144,660.00
Total	4392			\$520,826.00

Note: This spreadsheet is to be used for non-completing structures. If a new structure is added to the project site, it shall not be included in this spreadsheet and subject to new work or general of workmanship, or manufacturing but not subject to new work.

Proposed Development Type	Square Footage	Qualification	Development Value
Category 1: New work below base of existing structure, not located on 1st floor address	324.0	0.13	\$42,120.00
2nd Floor Addition	0	0	\$0.00
Removal Floor Addition	617.40	0.13	\$80,262.00
Garage Addition	0	0	\$0.00
Category 2: Removal of existing structure, beyond base of existing structure, not located on 1st floor address	0	0	\$0.00
Removal of Bedrooms	210	0.13	\$27,300.00
Removal of Other Living Areas	586.3	0.33	\$194,359.00
Removal of Garages	657.9	0.22	\$144,822.00
Category 3: Existing structure, as constructed	0	0	\$0.00
Replacement of Existing Windows	61.4	0.13	\$7,982.00
Replacement of Existing Doors	273.8	0.13	\$35,594.00
Total	1475.18		\$300,876.00



PROPOSED- MAIN FLOOR



PROPOSED- LOWER LEVEL

NONCONFORMING STRUCTURE- NEW WORK VALUE CALCULATION

1/8" = 1'-0" 1

REMILO LOO
 PLANNING & ARCHITECTURE
 OCT. 27, 2018

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4982 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 684-1950 FAX: (650) 323-1112 www.ybarchitects.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 074-232-040
 DRAWN BY: AMY
 DATE: JUNE 28, 2016
 CHECKED BY: CHRIS PANDOLFO

A0.3.2

PROJECT DATA:

LOT SIZE: 16,024 sf
 ALLOWABLE F.A.L.: 5,089 sf
 ALLOWABLE COVERAGE: 4,897.3 sf (30%)

FRONT & REAR SETBACK: 30'
 SIDE SETBACK: 30'
 HEIGHT LIMIT:

EXISTING LOWER FLOOR: 884.9 sf
 EXISTING MAIN FLOOR: 3,085.1 sf
 EXISTING GARAGE: 868.9 sf

EXISTING TOTAL F.A.L.: 4,268.9 sf

PROPOSED LOWER FLOOR: 1,251.1 sf
 PROPOSED MAIN FLOOR: 3,377.8 sf
 PROPOSED GARAGE: 657.8 sf

PROPOSED TOTAL F.A.L.: 5,286.7 sf

PROPOSED MAIN FLOOR COVERAGE: 4,854.6 sf
 PROPOSED PATIO & DECK COVERAGE: 781.8 sf
 PROPOSED TOTAL COVERAGE: 4,889.3 sf

GROSS LOT SIZE: 16,024 sf
 NET LOT SIZE: 16,024 sf

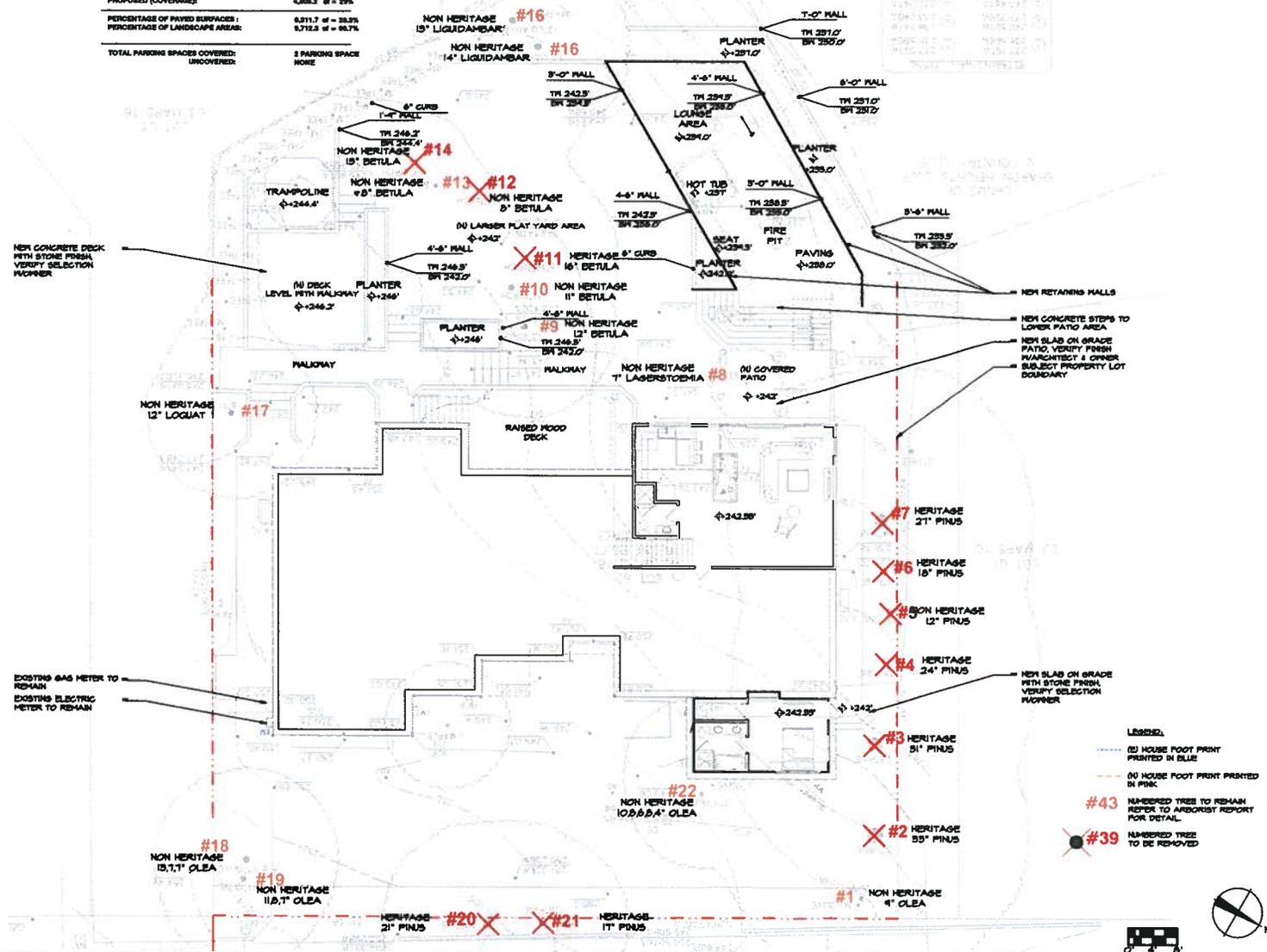
LAND COVERED BY STRUCTURES:
 EXISTING COVERAGE: 3,994.9 sf = 24%
 PROPOSED COVERAGE: 4,889.3 sf = 30%

PERCENTAGE OF PAVED SURFACES:
 EXISTING COVERAGE: 5,712.3 sf = 35.6%
 PROPOSED COVERAGE: 5,712.3 sf = 35.6%

TOTAL PARKING SPACES COVERED: 3 PARKING SPACE

UNCOVERED: NONE

AVERAGE NATURAL GRADE CALCULATION			
LOWEST	236.21		
HIGHEST	250.4		
AVERAGE	486.61		243.305



- LEGEND:
- (O) HOUSE FOOT PRINT PRINTED IN BLUE
 - (O) HOUSE FOOT PRINT PRINTED IN PINK
 - NUMBERED TREE TO REMAIN REFER TO ARBORIST REPORT FOR DETAIL
 - NUMBERED TREE TO BE REMOVED

PROPOSED SITE PLAN LOWER LEVEL



1/8" = 1'-0" 1

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4882 EL CAMINO REAL, SUITE 215 PALO ALTO, CA 94022
 TEL: (650) 695-1900 FAX: (650) 323-1112 www.yabarchitects.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 674-228-040
 SHEET NO. 10 OF 10
 DATE: JUNE 29, 2015
 DRAWN BY: PANDOLFO

A0.5

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4962 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94302
 TEL: 650.658.1950 FAX: 650.323.1112 www.yab.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 974-232-060
 DRAWN BY: AMY
 CHECKED BY: SA, JT, CH
 DATE: JUNE 29, 2018
 DESIGNED BY: PANDOLFO

A1.0

Copyright 2018 YOUNG AND BORLIK ARCHITECTS, INC. All Rights Reserved. Reproduction, storage, retrieval, transmission, or any other means, without the express written permission of the author, is prohibited. This document is the property of the author and shall remain the property of the author. Use is restricted to the project for which it was prepared.

DEMOLITION NOTES:

EXISTING ELEMENTS TO BE REMOVED OR MODIFIED SHOWN DASHED, TYPICAL. SEE ALSO PROPOSED FLOOR PLAN A2.1.

PRIOR TO DEMOLITION, WALK THROUGH WITH OWNER AND VERIFY ANY REMOVED FIXTURES, LIGHTING, FINISHES, WINDOWS, DOORS, ETC. TO BE SAVED FOR REUSE OR RELOCATION.

VERIFY CITY RECYCLE WASTE DIVERSION PROGRAMS FOR DEMOLITION & CONSTRUCTION DEBRIS PRIOR TO DEMOLITION.

PROVIDE DUST SCREENING AS NECESSARY TO PROTECT UNTOUCHED AREAS DURING CONSTRUCTION.

SEAL OFF DUCT OPENINGS & VENTS PRIOR TO DEMOLITION & THROUGHOUT CONSTRUCTION TO PREVENT DUST INFILTRATION.

SEE ADDITIONAL DEMOLITION & FLOOR PLAN NOTES ON GENERAL NOTES SHEET A0.2

PRIOR TO DEMOLITION, VERIFY COMPLIANCE WITH EPA RECYCLE PRACTICES & CERTIFICATION FOR LEAD CONTAMINATION.

THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIRES THAT FIRMS PERFORMING RENOVATION, REPAIR, AND PAINTING PROJECTS THAT INVOLVE LEAD-BASED PAINT IN PRE-WAR HOMES, CHILD CARE FACILITIES, AND SCHOOLS BE CERTIFIED BY EPA, AND THAT THEY USE CERTIFIED RENOVATORS WHO ARE TRAINED BY EPA-APPROVED TRAINING PROVIDERS TO FOLLOW LEAD-SAFE WORK PRACTICES.

<http://www.epa.gov/lead/safe/renovation.htm>

CONTRACTORS TO PROVIDE ALL WORK IN COMPLIANCE WITH REQUIRED LEAD-SAFE WORK PRACTICES, PROJECT DOCUMENTATION, AND PROFESSIONAL CERTIFICATIONS.

TREE PROTECTION NOTES:

PROVIDE TEMPORARY CONSTRUCTION FENCING AS SHOWN TO PROTECT ENTIRE ROOT ZONE TO OUTSIDE OF THE TREE CANOPY PERIMETER. FENCE SHOULD BE IN PLACE PRIOR TO ARRIVAL OF ANY MATERIALS OR EQUIPMENT AND SHOULD REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED AND GIVEN FINAL APPROVAL. PROTECTIVE FENCING MUST NOT BE TEMPORARILY MOVED DURING CONSTRUCTION.

NO GRADING, TRENCHING, OR SURFACE SCRAPING INSIDE THE CANOPY PERIMETER OF RETAINED TREES, UNLESS SPECIFICALLY INDICATED ON THE ENCLOSED PLANS. EXCAVATED SOIL OR EQUIPMENT MAY NOT BE STORED TEMPORARILY OR EXTENDED UNDER THE CANOPIES OF TREES.

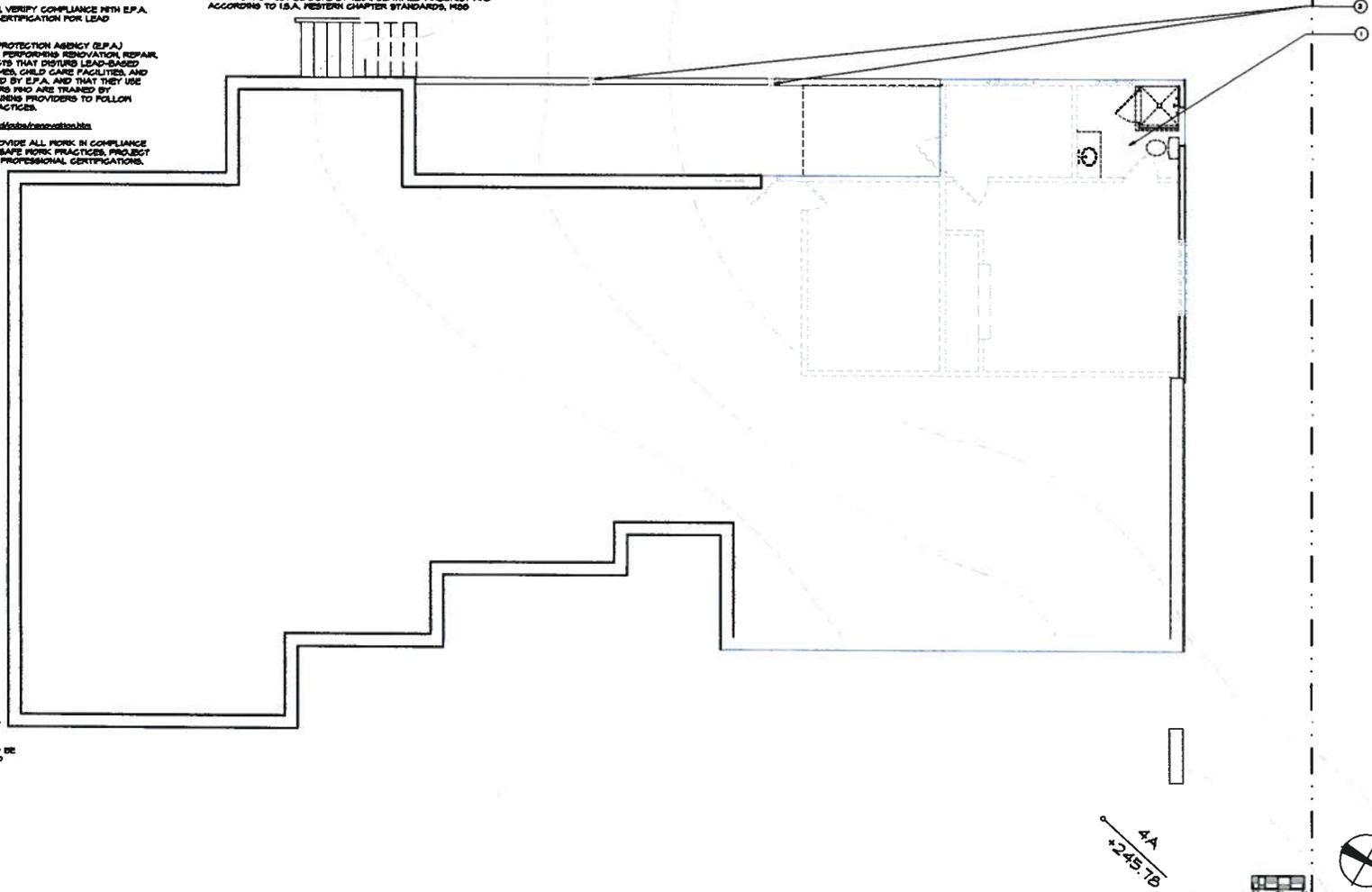
LANDSCAPE MATERIALS (CORBELS, DECORATIVE BARK STONES, FENCING, ETC.) MUST NOT BE INSTALLED DIRECTLY IN CONTACT WITH THE BARK OF TREES TO PREVENT RISK OF SERIOUS DISEASE OR INFECTION. LANDSCAPE PATHWAYS OR OTHER AMENITIES (IF ANY) CONSTRUCTED UNDER TREE CANOPIES MUST BE COMPLETELY ON GRADE WITHOUT EXCAVATION.

ANY PRUNING MUST BE DONE BY I.S.A. CERTIFIED ARBORIST AND ACCORDING TO I.S.A. WESTERN CHAPTER STANDARDS, H20

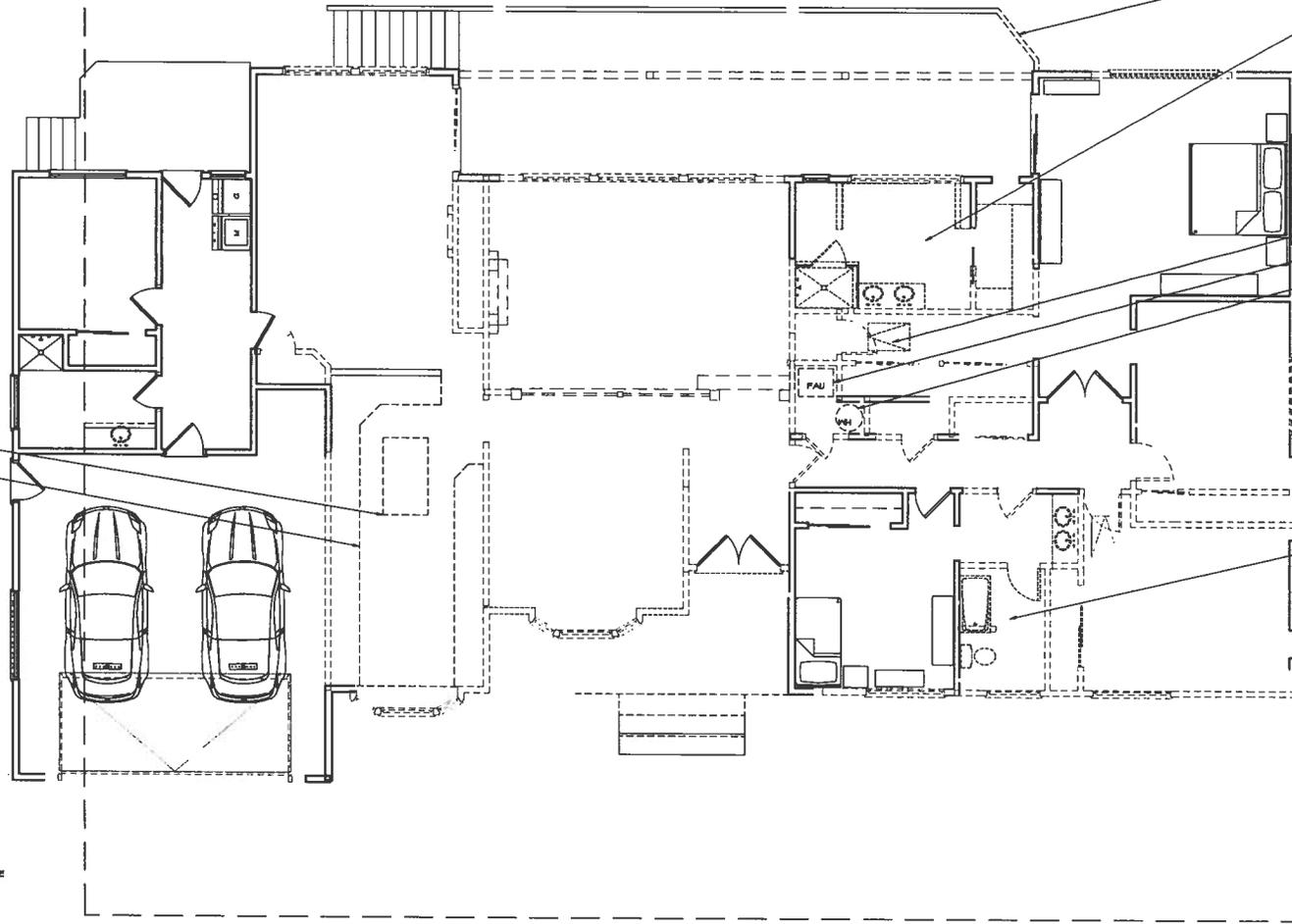
DEMOLITION NOTES:

- (E) BATHROOM TO BE COMPLETELY DEMOLISHED TO FRAMING. REMOVE ALL FIXTURES, FINISHES, WALL BOARD, SUB FLOOR AS NECESSARY TO CAP (E) PLUMBING SUPPLY AND WASTE.
- REMOVE (E) HOOD COLUMN.

- LEGEND**
- KEY NOTES
 - (E) WALL TO REMAIN
 - - - - (E) WALL TO BE DEMOLISHED



EXISTING LOWER FLOOR PLAN w/ DEMOLITION NOTES



- DEMOLITION NOTES:**
1. REMOVE (E) BATHROOM FIXTURES AND FINISHES.
 2. CAREFULLY REMOVE (E) WOOD RAILING, (E) DECK AND RAILING TO TIE-IN TO (E) DECK AND RAILING.
 3. (E) ATTIC ACCESS TO BE RELOCATED.
 4. (E) FURNACE TO BE RELOCATED.
 5. REMOVE (E) KITCHEN CABINETS, APPLIANCES AND FINISHES.
 6. (E) SKYLIGHT TO BE REMOVED.
 7. (E) WATER HEATER TO BE RELOCATED.

- LEGEND:**
- KEY NOTES
 - (E) WALL TO REMAIN
 - (D) WALL TO BE DEMOLISHED



EXISTING MAIN FLOOR PLAN w/ DEMOLITION NOTES

1/8" = 1'-0" 1

ISSUE LOG
 PLANNING SUBMITTAL
 OCT. 27, 2018

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4962 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 666-1950 FAX: (650) 323-1112 www.yabarchitects.com

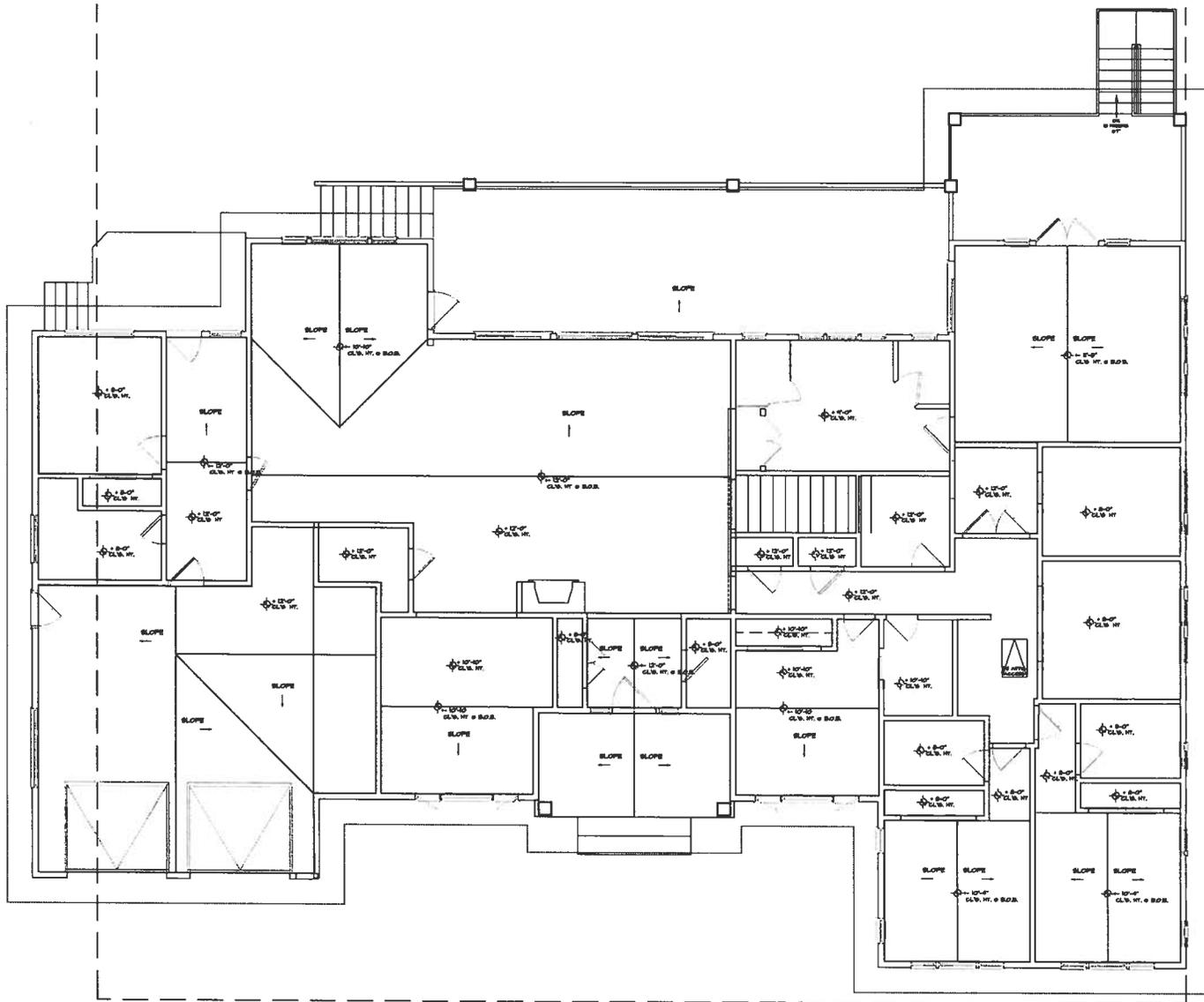


REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 076-232-040
 DRAWN BY: AMY
 CHECKED BY: AL-CT, CH
 DATE: JUNE 28, 2018
 DESIGNED BY: PANDOLFO

A1.1

Copyright 2018, YOUNG AND BORLIK ARCHITECTS, INC. All Rights Reserved. No portion of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. The architect shall be held responsible for the accuracy of the information provided on this drawing.



FIRST FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0" 1

ISSUE LOG
 PLANNING SUBMITTAL
 OCT. 27, 2018

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4982 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 665-1950 FAX: (650) 325-1112 www.ybarchitects.com

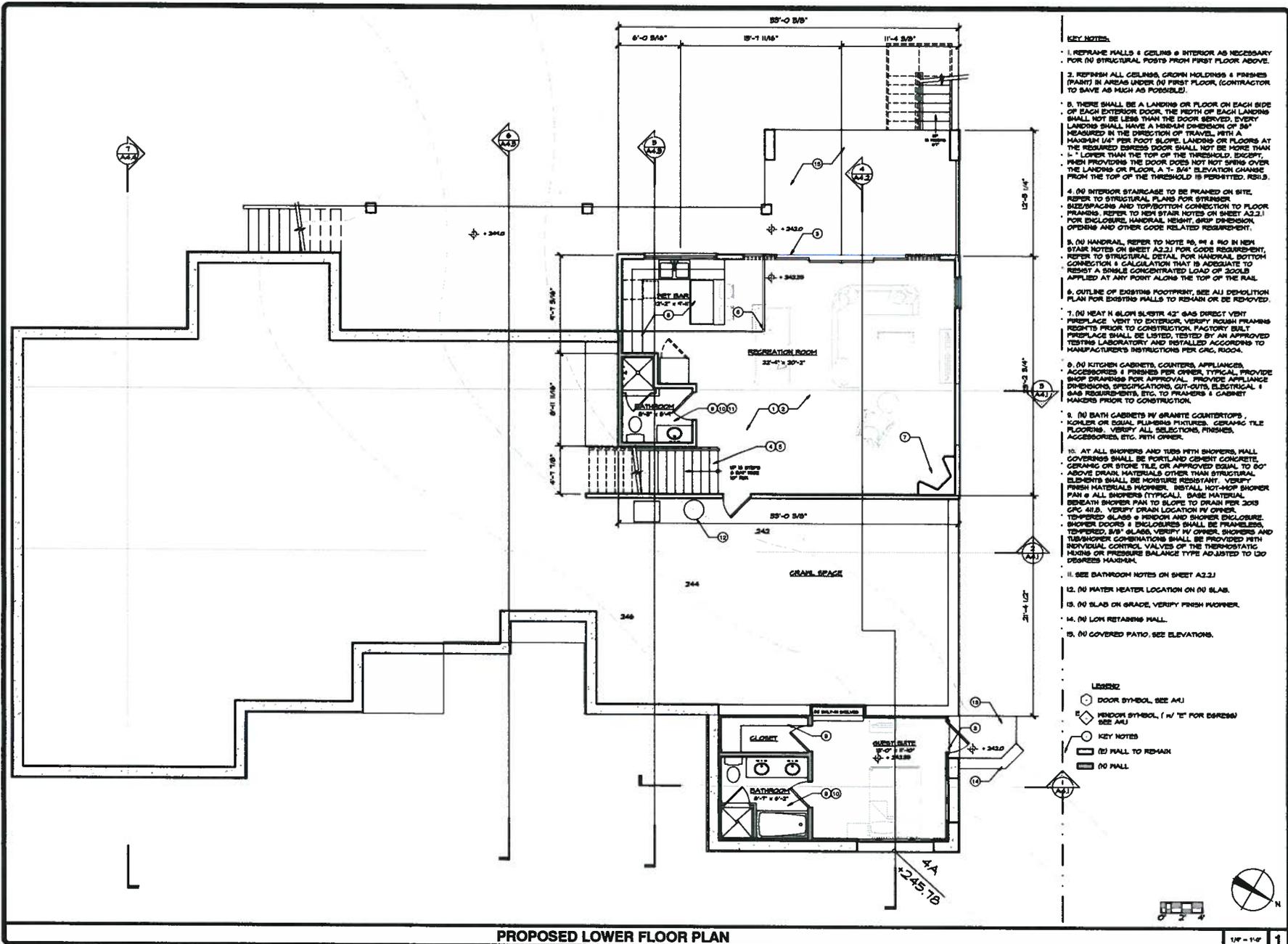


REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 076-832-040
 OWNER: AMY & CHRIS PANDOLFO
 DATE: JUNE 26, 2015
 DRAWN BY: PANDOLFO

A2.3

Copyright 2015 YOUNG AND BORLIK ARCHITECTS, INC. All rights reserved. No part of this document may be reproduced without the prior written consent of the architect. Design and construction documents are prepared by the architect. Engineer and contractor shall ensure the proper use of the building. Engineer responsibility is limited to the building. Design and construction documents are prepared by the architect. Design and construction documents are prepared by the architect. Design and construction documents are prepared by the architect.



- KEY NOTES:**
1. REFRAME WALLS & CEILINGS & INTERIOR AS NECESSARY FOR (N) STRUCTURAL POSTS FROM FIRST FLOOR ABOVE.
 2. REFRESH ALL CEILINGS, GROUT MOLDINGS & FINISHES (PAINT) IN AREAS UNDER (N) FIRST FLOOR, CONTRACTOR TO SAVE AS MUCH AS POSSIBLE.
 3. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVICE. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL, WITH A MINIMUM 1/4" PER FOOT SLOPE. LANDINGS ON FLOORS AT THE REQUIRED EXCESS DOOR SHALL NOT BE MORE THAN 1" LOWER THAN THE TOP OF THE THRESHOLD, EXCEPT WHEN PROVIDING THE DOOR DOES NOT SPING OVER THE LANDING OR FLOOR, A 1-3/4" ELEVATION CHANGE FROM THE TOP OF THE THRESHOLD IS PERMITTED. RE: 8.
 4. (N) INTERIOR STAIRCASE TO BE FRAMED ON SITE. REFER TO STRUCTURAL PLANS FOR STRONGER SIZES/PACINGS AND TOP/BOTTOM CONNECTION TO FLOOR FRAMING. REFER TO NEW STAIR NOTES ON SHEET A2.1 FOR ENCLOSURE, HANDRAIL HEIGHT, GRIP DIMENSION, OPENING AND OTHER CODE RELATED REQUIREMENT.
 5. (N) HANDRAIL, REFER TO NOTE 16, 14 & 10 IN NEW STAIR NOTES ON SHEET A2.1 FOR CODE REQUIREMENT. REFER TO STRUCTURAL DETAIL FOR HANDRAIL BOTTOM CONNECTION & CALCULATION THAT IS ADEQUATE TO RESIST A SINGLE CONCENTRATED LOAD OF 300LB APPLIED AT ANY POINT ALONG THE TOP OF THE RAIL.
 6. OUTLINE OF EXISTING FOOTPRINT, SEE ALL DEMOLITION PLAN FOR EXISTING WALLS TO REMAIN OR BE REMOVED.
 7. (N) HEAT N. 6LON SL. 42" GAS DIRECT VENT FIREPLACE VENT TO EXTERIOR, VERIFY ROOM FRAMING RIGHTS PRIOR TO CONSTRUCTION. FACTORY BUILT FIREPLACE SHALL BE LISTED, TESTED BY AN APPROVED TESTING LABORATORY AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS PER CPC, ICCA.
 8. (N) KITCHEN CABINETS, COUNTERS, APPLIANCES, ACCESSORIES & FINISHES FOR OWNER, TYPICAL. PROVIDE SHOP DRAWINGS FOR APPROVAL. PROVIDE APPLIANCE DIMENSIONS, SPECIFICATIONS, CUT-OUTS, ELECTRICAL & GAS REQUIREMENTS, ETC. TO FRAMERS & CABINET MAKERS PRIOR TO CONSTRUCTION.
 9. (N) BATH CABINETS W/ GRANITE COUNTERTOPS, KOHLER OR EQUAL, PLUMBING FIXTURES, CERAMIC TILE FLOORING. VERIFY ALL SELECTIONS, FINISHES, ACCESSORIES, ETC. WITH OWNER.
 10. AT ALL SHOWERS AND TUBS WITH SHOWERS, WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE OR APPROVED EQUAL TO 60" ABOVE DRAIN MATERIALS OTHER THAN STRUCTURAL. ELEMENTS SHALL BE MOISTURE RESISTANT. VERIFY FINISH MATERIALS FINISHES. INSTALL HOT-WAX SHOWER PAN @ ALL SHOWERS (TYPICAL). BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER 2013 CPC 418. VERIFY DRAIN LOCATION W/ OWNER. TEMPERED GLASS @ HROOD AND SHOWER ENCLOSURE. SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 3/8" GLASS, VERIFY W/ OWNER. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE ADJUSTED TO 120 DEGREES MAXIMUM.
 11. SEE BATHROOM NOTES ON SHEET A2.1.
 12. (N) WATER HEATER LOCATION ON (N) SLAB.
 13. (N) SLAB ON GRADE, VERIFY FINISH WORKER.
 14. (N) LOW RETAINING WALL.
 15. (N) COVERED PATIO, SEE ELEVATIONS.
- LEGEND:**
- DOOR SYMBOL, SEE A4J
 - WINDOW SYMBOL, (W) "E" FOR EXCESS/ SEE A4J
 - KEY NOTES
 - (R) WALL TO REMAIN
 - NO WALL

PROPOSED LOWER FLOOR PLAN

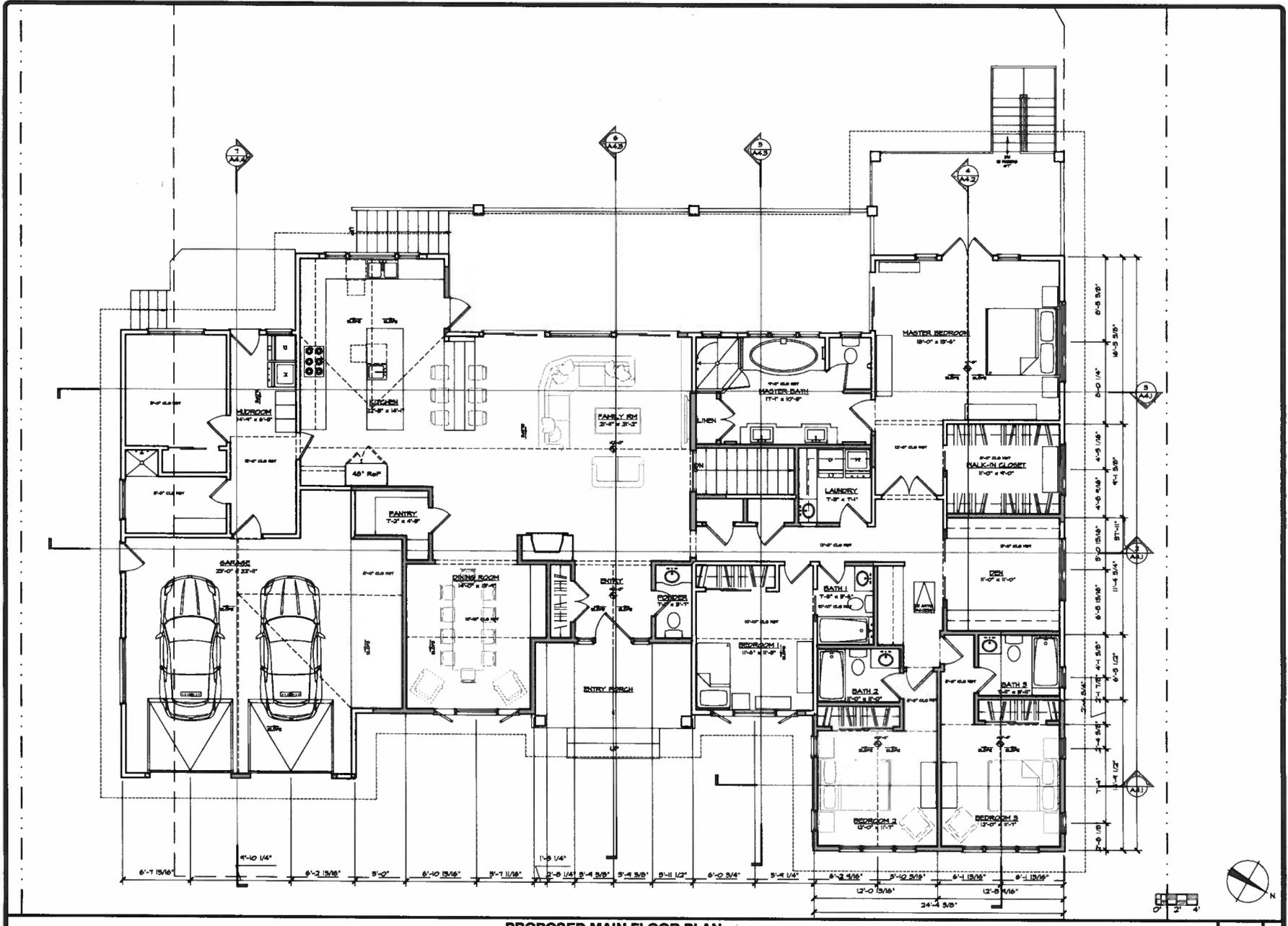
ISSUE LOG
 FLOORING SUBMITTAL
 OCT. 27, 2018

YOUNG AND BORKL
 ARCHITECTS, INCORPORATED
 4942 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 684-1900 FAX: (650) 323-1112 www.ybarchitects.com

REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 674-232-040
 CREATED BY: AMY
 DATE: JUNE 28, 2015
 CHECKED BY: SA, JT, CH
 DRAWN BY: PANDOLFO

A2.0.1



PROPOSED MAIN FLOOR PLAN

1/4" = 1'-0" 1

REVISION LOG
 PLANNING SUBMITTAL
 OCT. 27, 2018

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4602 EL CAMINO REAL, SUITE 210 PALO ALTO, CA 94022
 TEL: (650) 665-1900 FAX: (650) 325-1112 www.yjarchitects.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 076-232-040
 SHEET NO. 108
 DATE: JUNE 29, 2018
 BY: PANDOLFO

A2.1.1

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4882 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 688-1998 FAX: (650) 325-1112 www.yabarchitects.com

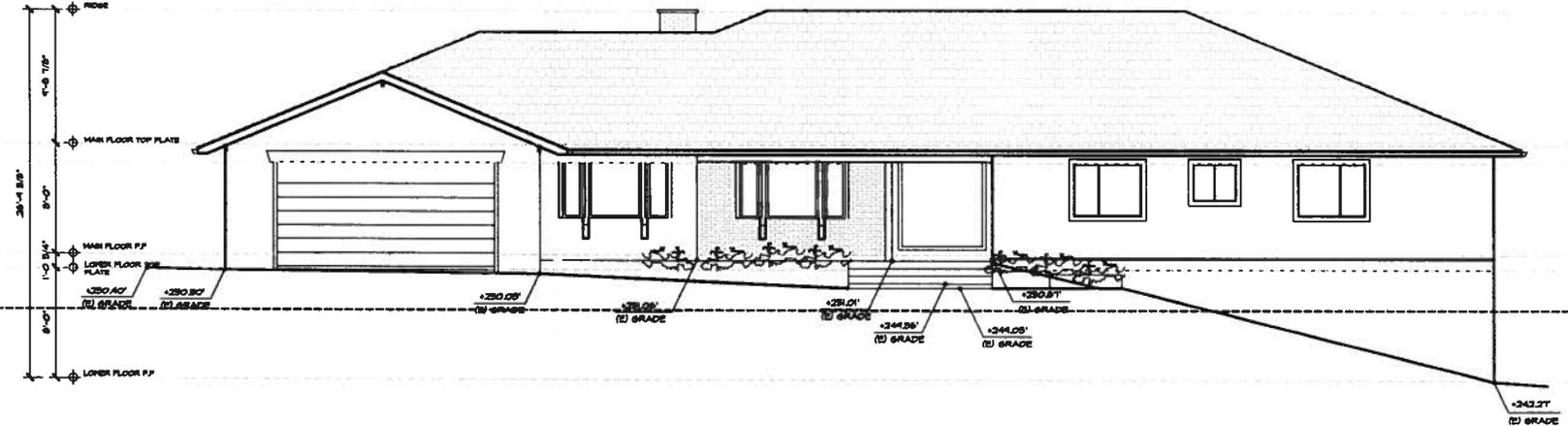


REMODEL FOR:
AMY & CHRIS PANDOLFO
 1085 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 874-228-040
 SHEET NO. 1085 TRINITY DRIVE
 DATE: JUNE 28, 2015
 JOB # PANDOLFO

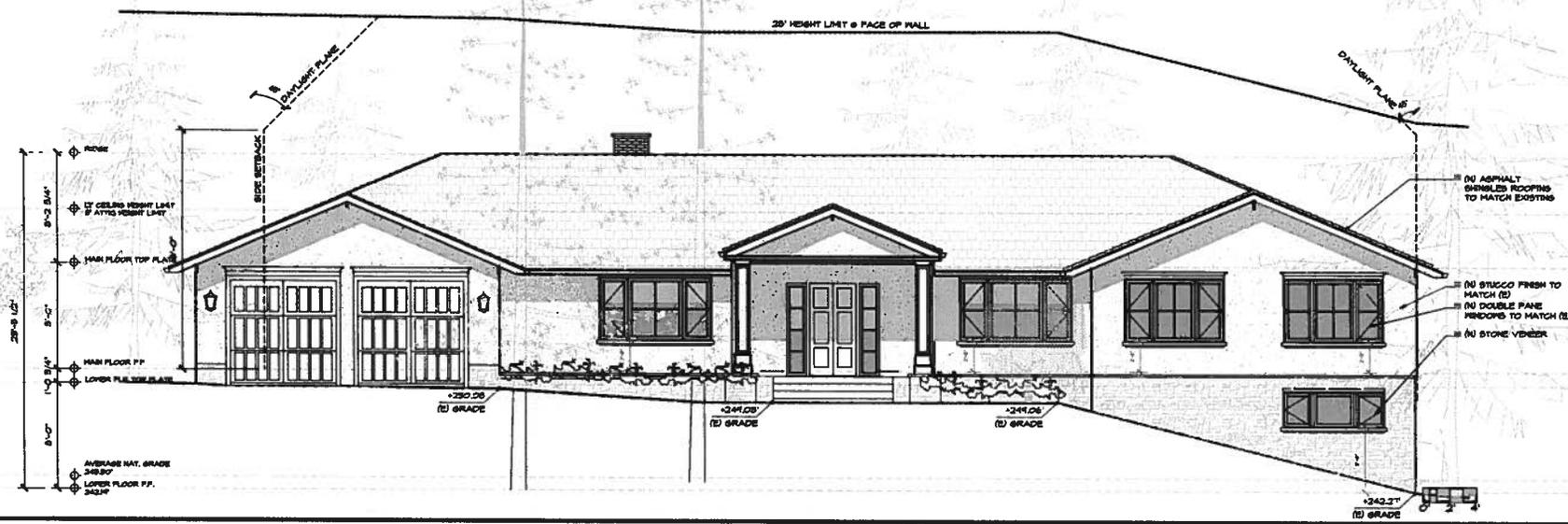
A3.1

Copyright 2015, Young and Borlik Architects, Inc. All drawings, including, but not limited to, site plans, floor plans, elevations, sections, and details, are the property of Young and Borlik Architects, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Young and Borlik Architects, Inc.



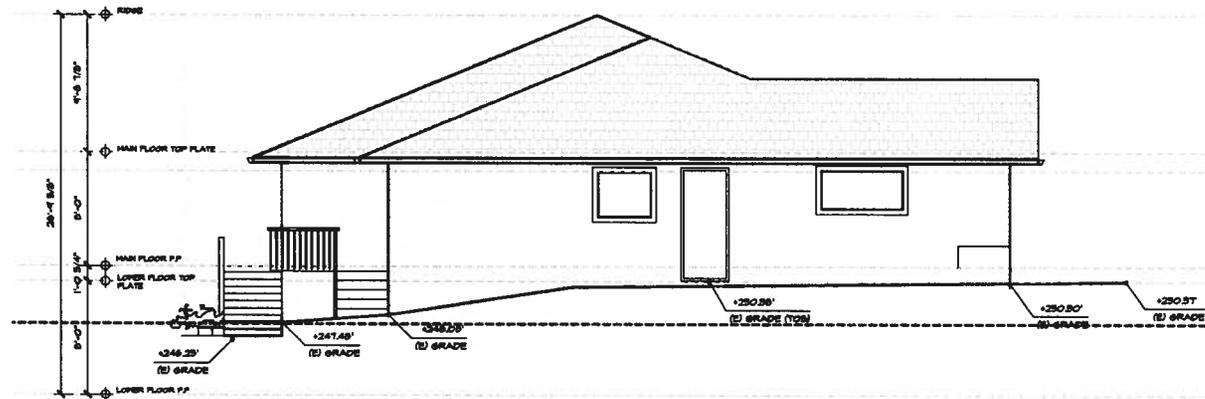
EXISTING FRONT ELEVATION

1/4" = 1'-0" 2



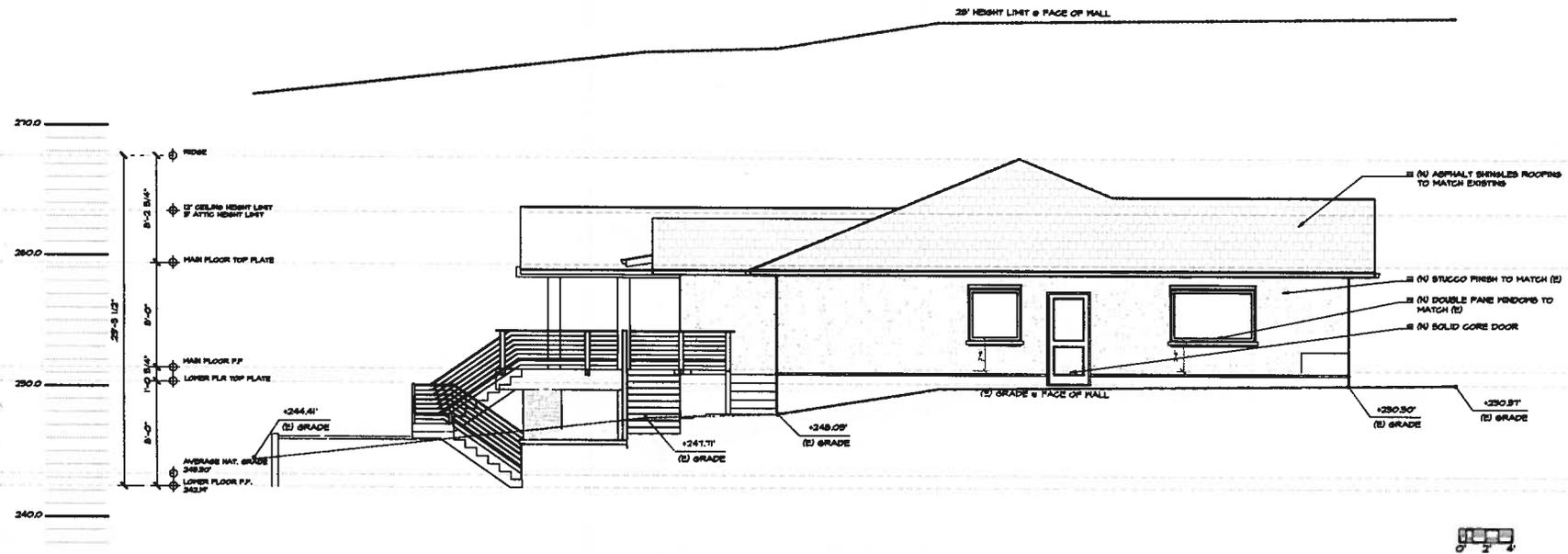
PROPOSED FRONT ELEVATION

1/4" = 1'-0" 1



EXISTING SIDE ELEVATION- SOUTHEAST

1/4" = 1/4" 2



PROPOSED SIDE ELEVATION- SOUTHEAST

1/4" = 1/4" 1

ISSUE LOG
 FLOORING SUBMITTAL
 OCT. 27, 2018

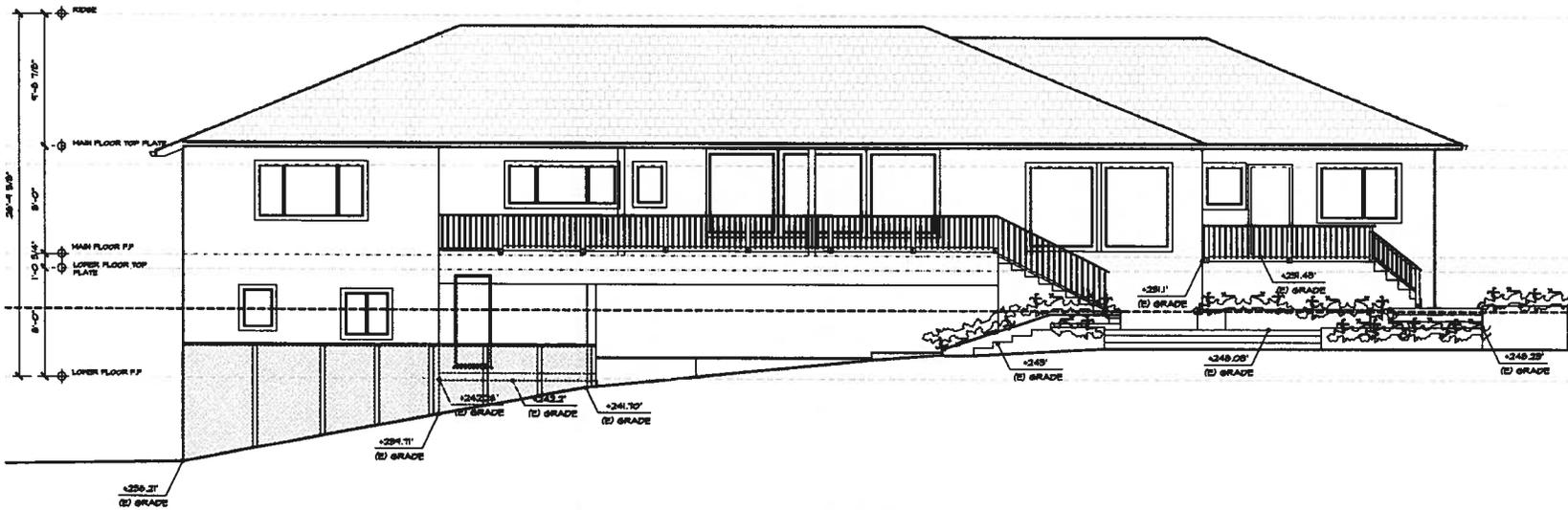
YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 4893 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: 650.498.1999 FAX: 650.323.1112 www.yjarchitects.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

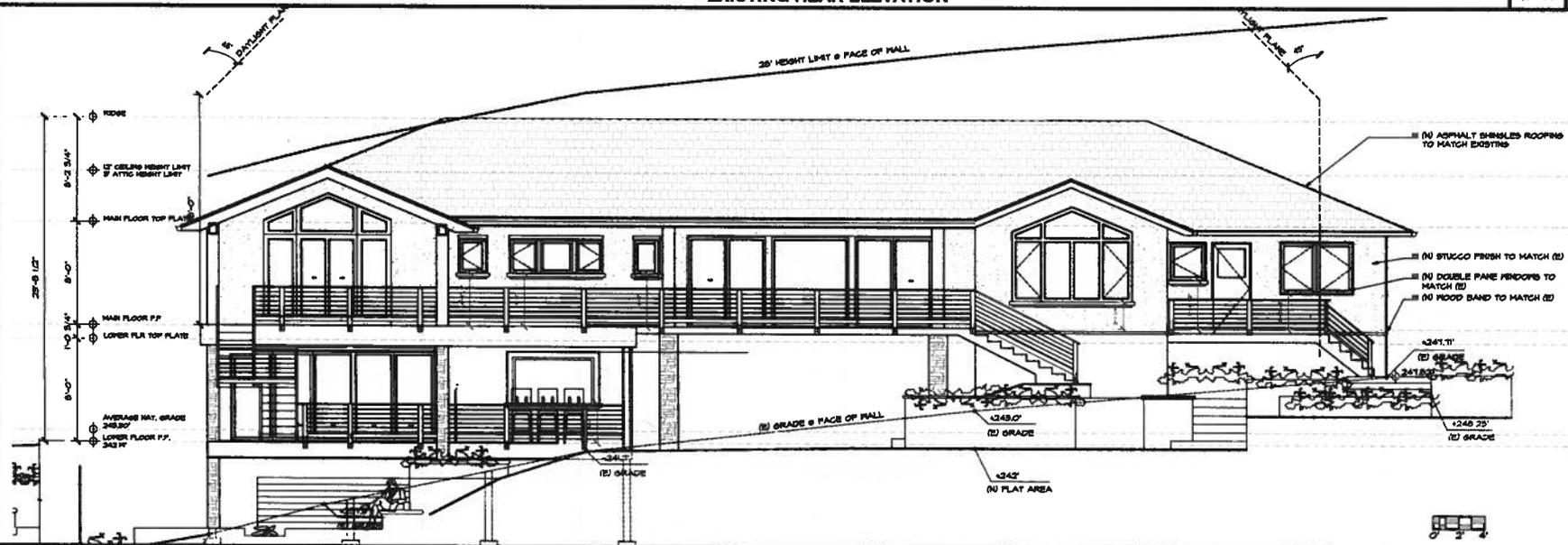
A.P.N. 074-233-046
 SHEET NO. 1 OF 1
 DATE: JUNE 29, 2018
 DRAWN BY: PANDOLFO

A3.2



EXISTING REAR ELEVATION

1/4" = 1'-0" 2



PROPOSED REAR ELEVATION- 2ND OPTION

1/4" = 1'-0" 1

ISSUE LOG
 PLANNING SUBMITTAL
 OCT. 27, 2018

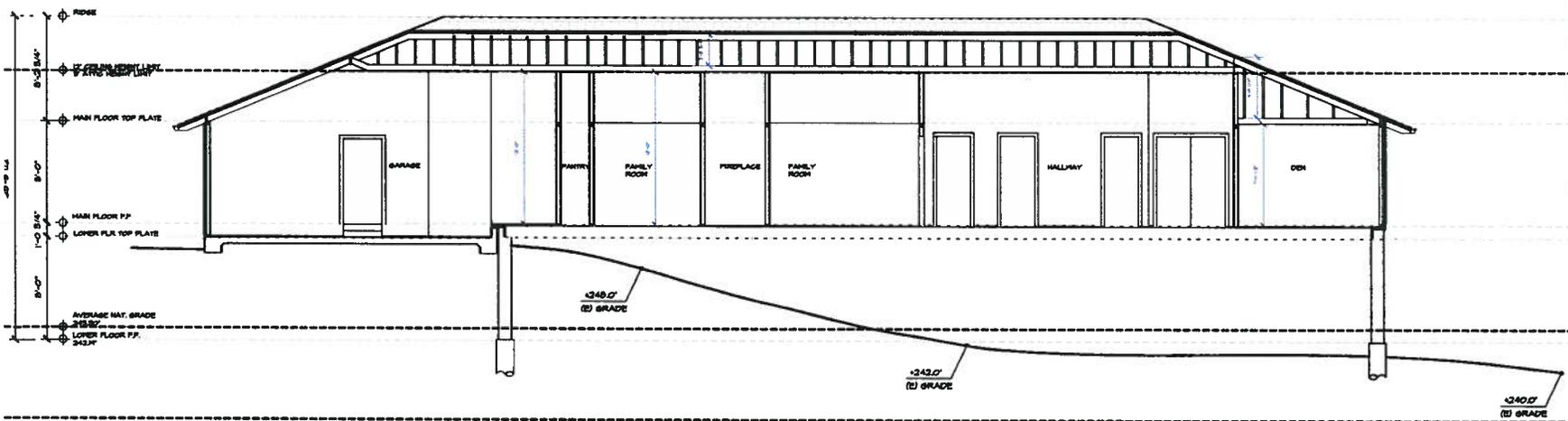
YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 6882 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94302
 TEL: (650) 686-1999 FAX: (650) 325-1113 www.yjarchitects.com



REMODEL FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

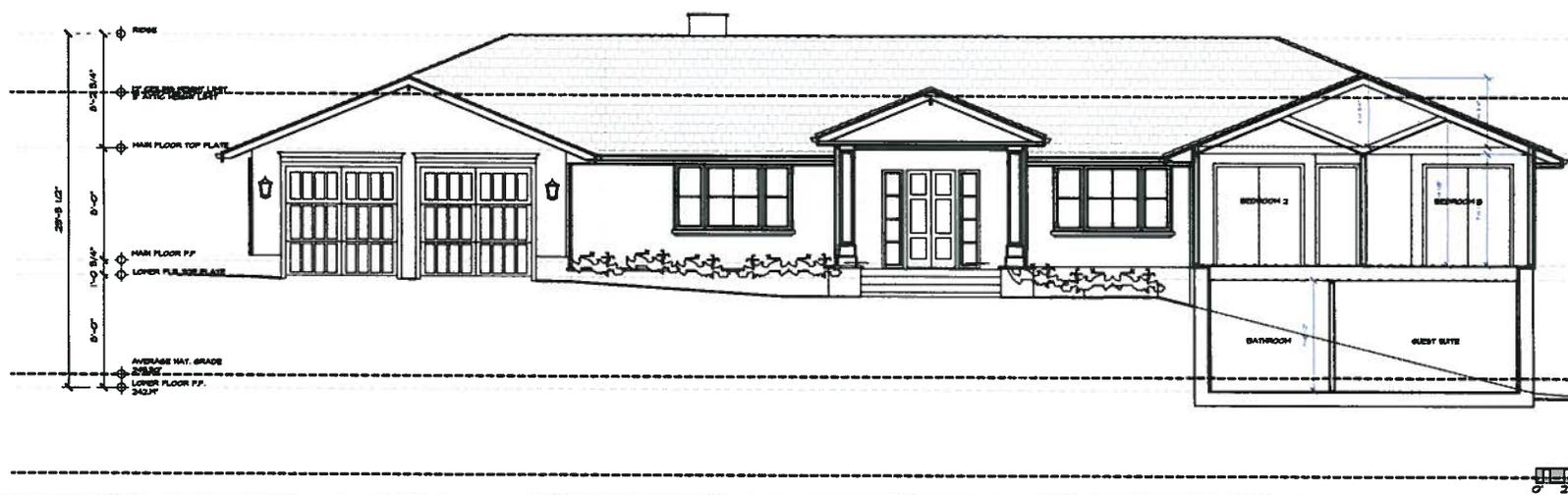
A.P.N. 674-222-040
 SHEET NO. 01
 DATE: JUNE 26, 2018
 BY: PANDOLFO

A3.3



PROPOSED SECTION 2

1/4" = 1/4" 2



PROPOSED SECTION 1

1/4" = 1/4" 1

ISSUE LOG
 PLANNING SUBMITTAL
 OCT. 27, 2018

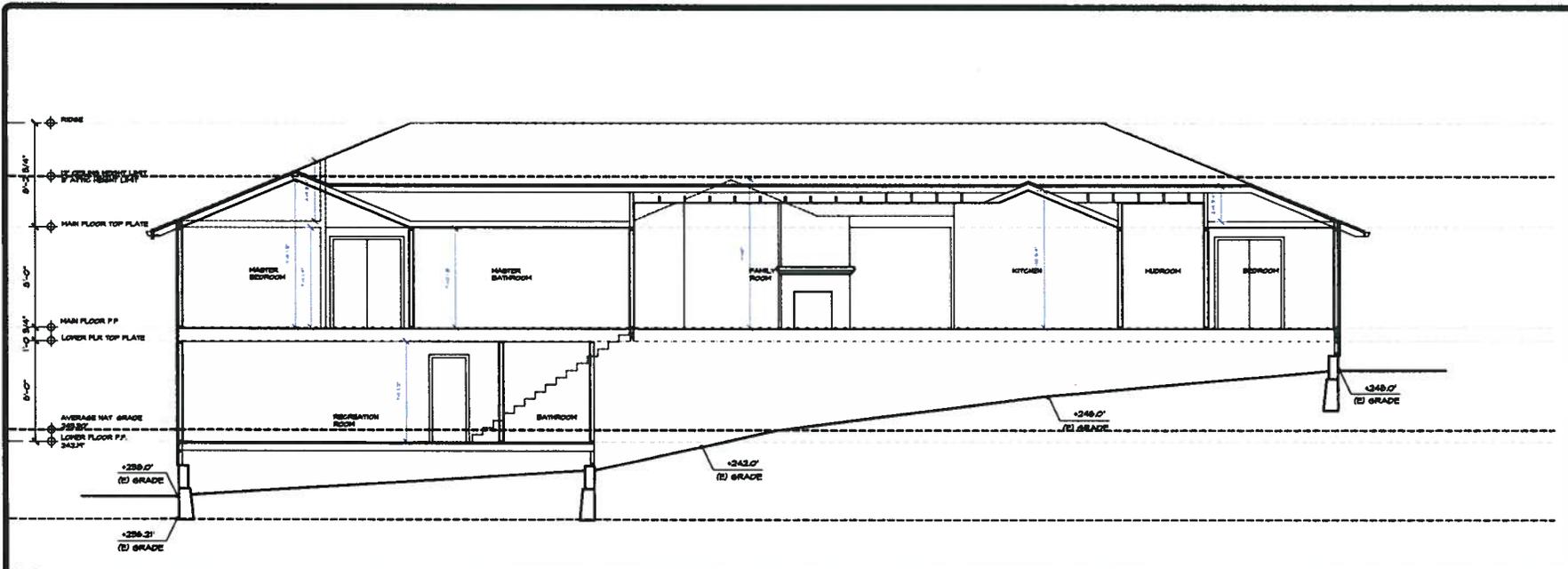
YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 492 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 998-1991 FAX: (650) 228-1111 www.yjarchitects.com



REDESIGN FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

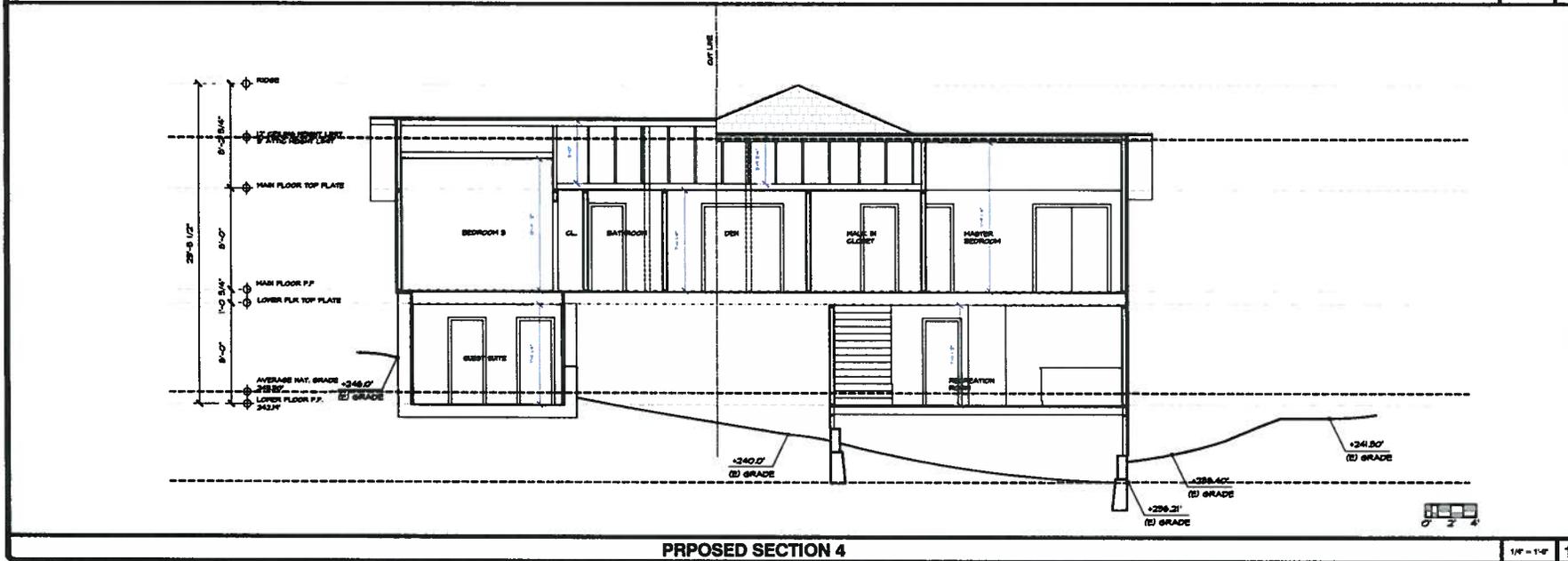
A.P.N. 074-223-040
 DRAWN BY: ADY
 CHECKED BY: SA, JT, CH
 DATE: JUNE 29, 2018
 JOB NO.: 1806
 FIRM: PANDOLFO

A4.1



PROPOSED SECTION 3

1/4" = 1'-0" 2



PROPOSED SECTION 4

1/4" = 1'-0" 1

ISSUE LOG
 FLOODING SUBMITTAL
 OCT. 27, 2018

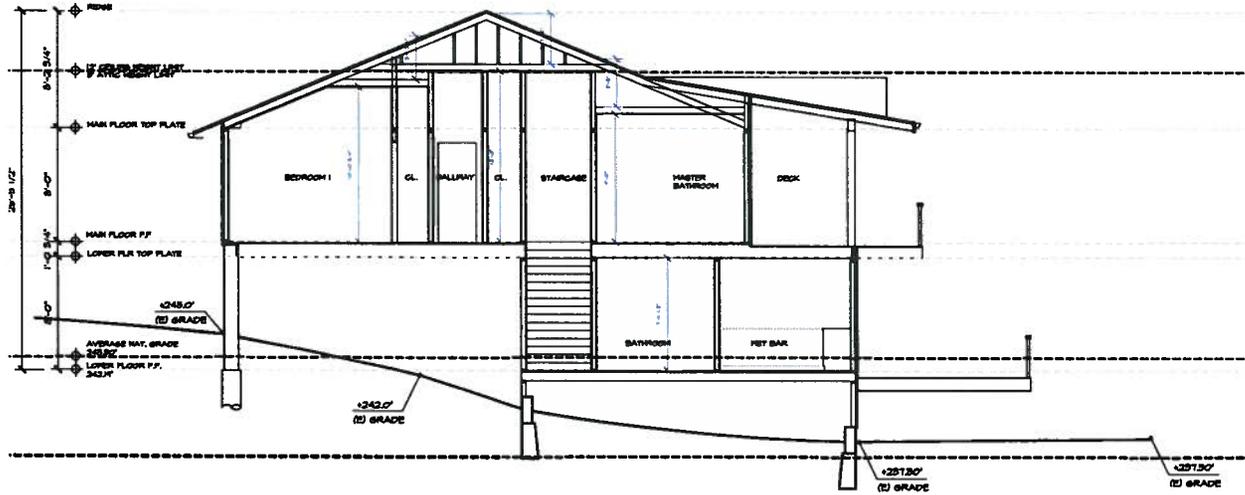
YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 682 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: (650) 685-1998 FAX: (650) 253-1112 www.yabarchitects.com



RESUBMITTED FOR:
AMY & CHRIS PANDOLFO
 1066 TRINITY DRIVE
 MENLO PARK, CA 94025

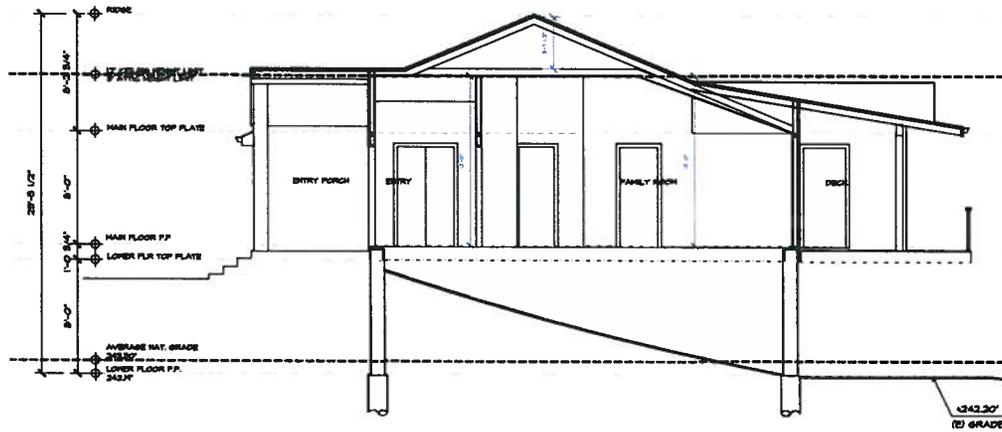
A.P.N. 074-523-040
 SHEET NO. 10 OF 10
 DATE: JUNE 28, 2018
 DRAWN BY: PANDOLFO

A4.2



PROPOSED SECTION 5

1/4" = 1'-0" 2



PROPOSED SECTION 6



1/4" = 1'-0" 1

ISSUE LOG
 PLANNING SUBMITTAL
 OCT. 27, 2016

YOUNG AND BORLIK
 ARCHITECTS, INCORPORATED
 682 EL CAMINO REAL, SUITE 218 PALO ALTO, CA 94022
 TEL: 650 998-1958 FAX: 650 325-1111 www.yabarchitects.com

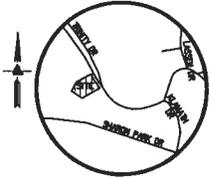


REVISION FOR:
AMY & CHRIS PANDOLFO
 1065 TRINITY DRIVE
 MENLO PARK, CA 94025

A.P.N. 674-223-040
 SHEET NO. 01
 NAME: AMY SA, JT, CH
 DATE: JUNE 28, 2016
 JOB: 01
 PANDOLFO

A4.3

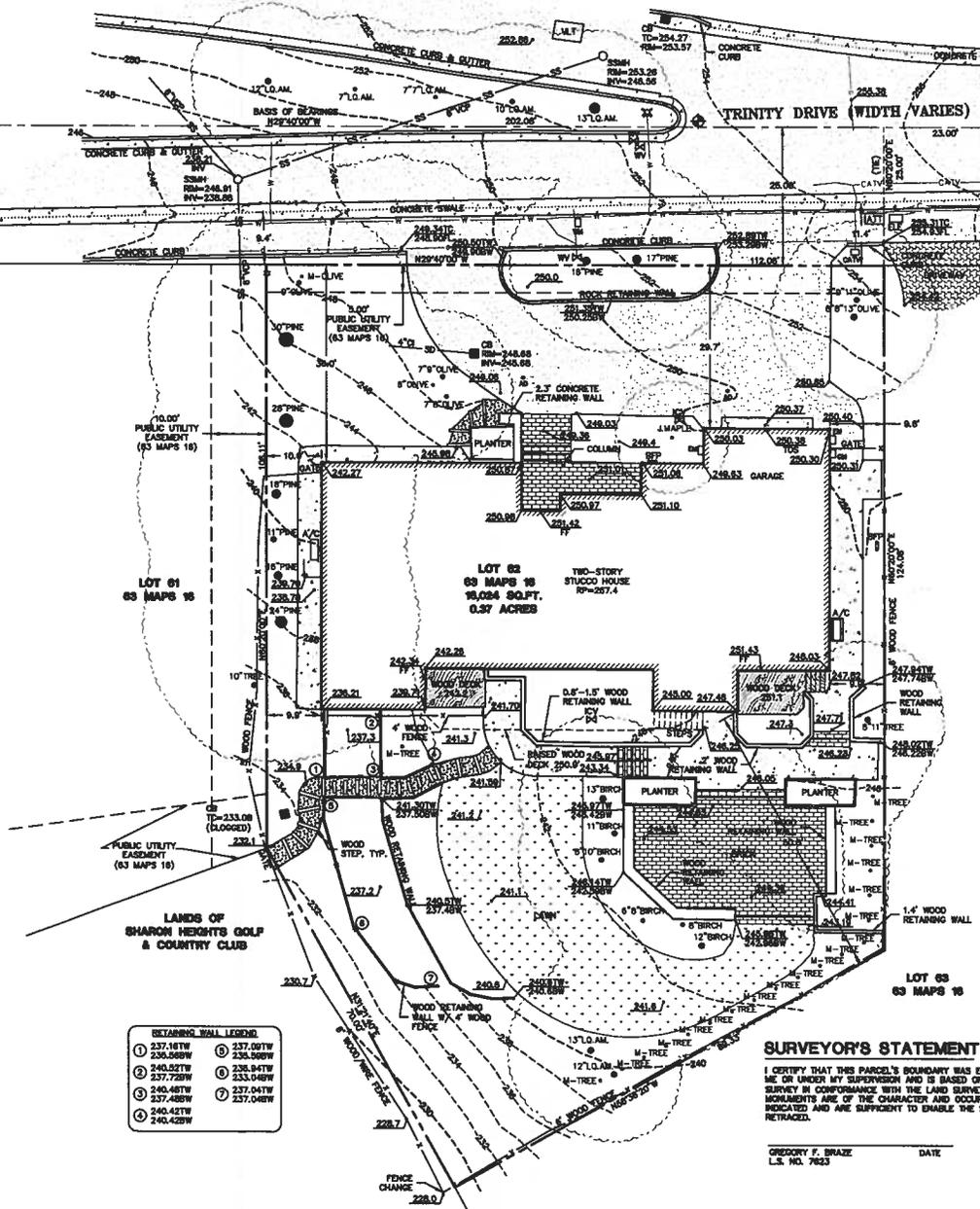
Copyright © 2016 YOUNG AND BORLIK ARCHITECTS, INC. All rights reserved. All other content appearing herein, is the property of its respective owner. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. The information contained herein is not intended to be used for any purpose other than that for which it was prepared.



VICINITY MAP
NO SCALE

- LEGEND AND NOTES**
- BOUNDARY LINE
 - - - EASEMENT
 - - - FENCE LINE
 - - - FLOW LINE
 - SS SANITARY SEWER LINE
 - SD STORM DRAIN LINE
 - W WATER LINE (PAINT MARKINGS)
 - CATV CABLE TV LINE (PAINT MARKINGS)
 - A/C AIR CONDITIONING UNIT
 - AD AREA DRAIN
 - ATV AT&T VAULT
 - BFP BACK FLOW PREVENTER
 - BS BENCHMARK
 - BRV BOTTOM RETAINING WALL
 - CBV CABLE TV BOX
 - CI CAST IRON PIPE
 - CB CATCH BASIN
 - EB ELECTRICAL BOX
 - EM ELECTRICAL METER
 - EV ELECTRICAL VAULT
 - FF FRESH FLOOR
 - FFH FIRE HYDRANT
 - FL FLOW LINE
 - GM GAS METER
 - INV INVERT
 - ICV IRRIGATION CONTROL VALVE
 - JM JAPANESE MAPLE
 - LA LIQUID AMBER
 - M MULTI-TRUNK TREE
 - RP ROOF PEAK
 - SSM SANITARY SEWER MANHOLE
 - SL STREET LIGHT
 - TC TOP OF CURB
 - TRW TOP OF RETAINING WALL
 - TOS TOP OF SLAB
 - UV UTILITY VAULT
 - VCP VITRIFIED CLAY PIPE
 - WM WATER METER
 - WV WATER VALVE
 - SP SPOTGRADE

- RETAINING WALL LEGEND**
- | | |
|------------|------------|
| ① 237.181W | ④ 237.097W |
| ② 230.959W | ⑤ 235.589W |
| ③ 240.227W | ⑥ 235.947W |
| ⑦ 237.729W | ⑧ 233.049W |
| ⑨ 240.487W | ⑩ 237.047W |
| ⑪ 237.486W | ⑬ 237.048W |
| ⑫ 240.427W | ⑭ 240.428W |
- ASPHALT
 - BRICK
 - CONCRETE
 - GRAVEL
 - LAWN
 - WOOD



NOTES
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS OF A FOOT.
UNDERGROUND UTILITY LOCATION IS BASED ON SURFACE EVIDENCE.
BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
FRESH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).

EASEMENT NOTE
EASEMENTS ARE SHOWN PER TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY, TITLE NO. 11-84720060-MA, DATED APRIL 11, 2011.

BASIS OF BEARINGS
THE BEARING NORTH 22°40'00" WEST BETWEEN FOUND MONUMENTS ON TRINITY DRIVE AS SHOWN ON THAT CERTAIN MAP ENTITLED "SHARON HEIGHTS UNIT NO. 13", FILED IN BOOK 63 OF MAPS AT PAGES 16-18, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS OF ALL BEARINGS SHOWN UPON THIS MAP.

BENCHMARK
SANTA CLARA VALLEY WATER DISTRICT BENCHMARK "T8480", BRASS DISK ON TOP OF SIDEWALK AT WEST CORNER OF BRIDGE FOR SAND HILL ROAD OVER SAN FRANCISCO CREEK 150 FEET NORTHEAST FROM SAN ANGELE. ELEVATION = 116.77 (DAVID 08)

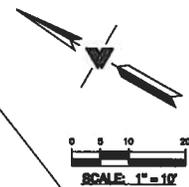
SITE BENCHMARK
SURVEY CONTROL POINT MAG AND SHIRN SET IN ASPHALT ELEVATION = 253.87 (DAVID 08)

SURVEYOR'S STATEMENT

I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

GREGORY F. BRAZE
L.S. NO. 7623

DATE _____



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
1065 TRINITY DRIVE
MENLO PARK, CALIFORNIA 94025
(650) 321-1000
WWW.LEAANDBRAZE.COM

1065 TRINITY DRIVE
MENLO PARK
CALIFORNIA

TOPOGRAPHIC AND
BOUNDARY SURVEY

REVISIONS	BY

JOB NO. 2150082
DATE: 7-14-15
SCALE: 1" = 10'
DRAWN BY: GB
SHEET NO.