



MEMORANDUM

Date: 11/4/2016
To: Planning Commission
From: Thomas Rogers, Principal Planner
Re: 612 College Avenue – Determination of Substantial Conformance

For all applications that involve the construction or alteration of structures (e.g., Architectural Control and Use Permit), a standard condition of approval is applied requiring the subsequent development to be in substantial conformance with the approved plans. Staff has come across a case where the proposed modifications warrant notification of the Planning Commission, although staff believes they are in substantial conformance with the original approval. Any Planning Commissioner may request that the item be added to the agenda of the next pending Planning Commission meeting for further discussion of the item.

Background

On September 8, 2014, the Planning Commission approved an architectural control application at 612 College Avenue in the SP-ECR/D (El Camino Real/Downtown Specific Plan) zoning district. The project consists of four new residential units within two three-story structures.

The Planning Commission staff report and minutes are available through the links provided below.

Staff report

<http://www.menlopark.org/DocumentCenter/View/5074>

Minutes

<http://www.menlopark.org/AgendaCenter/ViewFile/Minutes/09082014-2410>

The associated building permits were issued on September 9, 2015, and construction has been underway since that time. The floor plans and elevations as issued as part of the building permits are included as Attachment A, with the sheets for Building A and Building B shown in succession.

Proposed Revisions

The applicant is now requesting changes to the approved plans. Most if not all of the changes have already been initiated in the field, although this should not be considered as a basis either for or against the proposed revisions.

The applicant's project description letter is included as Attachment B, and the revised floor plans and elevations are included as Attachment C. As with Attachment A, the revised plans include the sheets for Building A and Building B shown in succession.

The primary changes include the following:

Rooftop mechanical penthouse

- As originally approved, each of the two buildings has a central rooftop mechanical area for HVAC (Heating, Ventilation, and Air Conditioning) equipment. As the applicant got into the details of the mechanical system's construction, they found the HVAC system functioned better with two separate mechanical areas on the roof. All of the mechanical equipment would still be screened from view.

Windows

- Multiple windows are proposed to change location slightly, with shifts of between approximately six and 12 inches. These modifications include both vertical and horizontal shifts.
- Several windows that were originally proposed to have operable side panes are proposed to have a fixed single-pane design, and some other windows' grid patterns are proposed to be simplified.

No changes are proposed to more substantive elements such as building height, overall square footage, number of dwelling units, off-street parking, or landscaping. No changes are proposed to the exterior materials or colors, although staff notes that one of the metal accents used at certain pop-out elements differs somewhat from what is shown on the approved color and materials board. However, it matches the manufacturer's color name as previously specified, and staff believes it still provides a complement to that building's primary colors.

To assist the Planning Commission in reviewing the changes, staff has prepared an overlay diagram that shows the elevations with areas of change designated in red (Attachment D). For example, on Building A's elevation #2 (top left diagram), the slight rightward shift of the windows in the center inset area can be seen with the red color.

In general, staff does not consider changes to rooftop equipment screening to be something that typically requires Planning Commission review. Similarly, slight shifts in window size and placement can often be approved by staff as part of the standard building permit process. However, due to the number of changes and the fact that this project is the first all-new construction in the El Camino Real/Downtown Specific Plan, staff determined that the revisions warranted this substantial conformance memorandum.

Staff Review

Staff has determined that the changes to the project plans are in substantial conformance with the Planning Commission's previous architectural control recommendation, based on the following:

- The overall integrity of the architectural design is maintained with the proposed exterior changes;
- Although the mechanical penthouses would each be divided into two elements,

- they would remain minor elements that typically become a background feature;
- Staff also believes that breaking the central mechanical penthouses into separate screened areas is preferable to a single, larger penthouse, which might become a more prominent design element;
 - Individually, most of the window shifts are of a minor degree that appear difficult to discern in the field;
 - In some cases, the window shifts result in a more cohesive alignment with other windows;
 - Staff provided a summary of the key changes and copies of the overlay diagrams to the most immediately-affected neighbor at 620 College Avenue, with an opportunity to relay if these modifications are a concern, and no response has been received; and
 - The project continues to meet all development regulations in the ECR/D-SP El Camino Real/Downtown Specific Plan zoning district.

Planning Commission Review

If any member of the Commission would like to discuss the changes to the plans described above at the November 14, 2016 Planning Commission meeting, please notify staff no later than 5:00 p.m. on Monday, November 7, 2016. If staff does not receive a request from a Planning Commissioner, there will be no further review and the City will proceed with processing the described modifications as part of the building permit application. If any member of the Commission makes such a request, the item would be placed on the November 14, 2016 agenda as a regular business item to give the full Commission the opportunity to determine whether or not the correction meets the intent of the original approval. No additional materials beyond what is contained in this memorandum would be prepared for the agenda item.

If you have questions about the project or process, please contact Thomas Rogers at throgers@menlopark.org.

Attachments

- A. Approved Floor Plans and Elevations
- B. Project Description Letter
- C. Proposed Floor Plans and Elevations
- D. Elevations Overlay Comparison



MARK E. DONAHUE ARCHITECT



612 College Ave
Building A - 612 & 614
Menlo Park, CA 94025

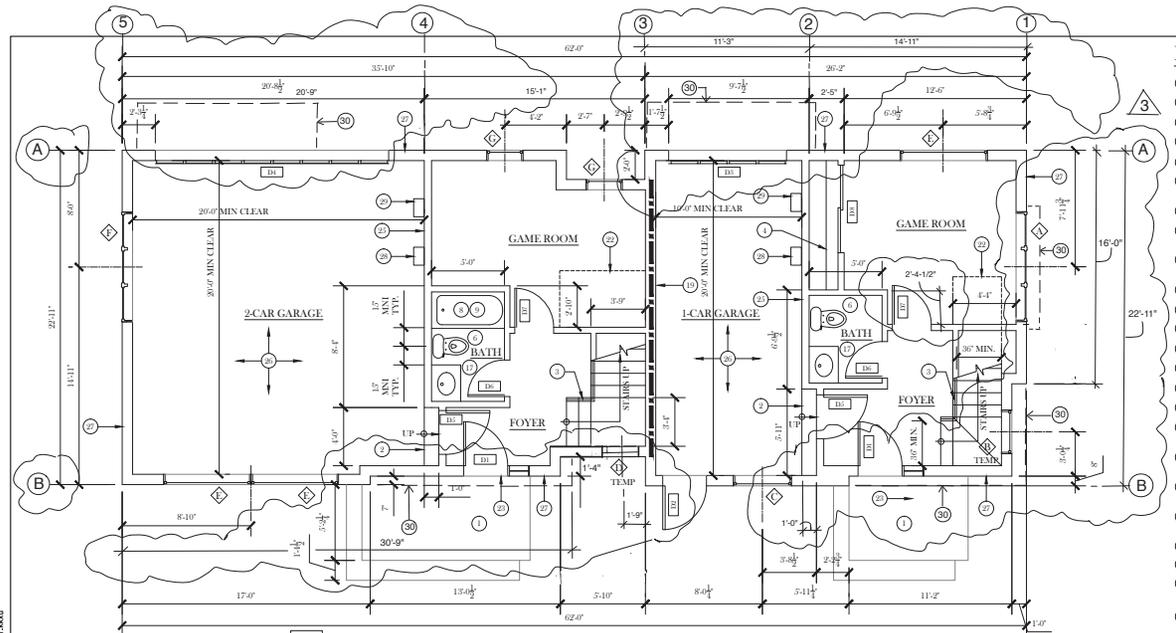
ISSUE DATE
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11/18/15

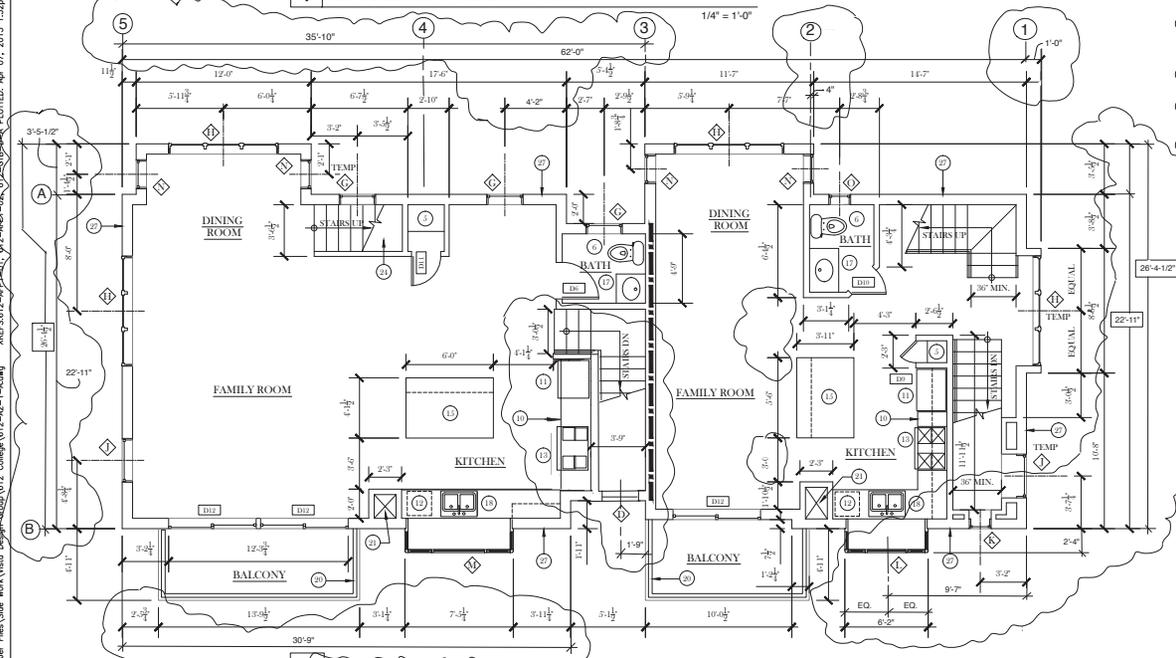
DRAWING TITLE

GROUND & SECOND FLOOR

A2.1



1 GROUND FLOOR PLAN



2 SECOND FLOOR PLAN

KEYNOTES:

- 1 CONCRETE STUOP AND STEPS
- 2 CONCRETE STEPS
- 3 36" HIGH WOOD RAILING
- 4 WOOD SHELF AND CLOTHES ROD
- 5 BUILT-IN STORAGE SHELVES
- 6 FLOOR MOUNTED L.S. GYP. TOILET MIN. SIDE CLEARANCE OF 15 INCHES ON EACH SIDE FROM CENTRELINE OF FIXTURE. (TYP)
- 7 FULLY TEMPERED, LAMINATED SAFETY GLASS
- 8 BUILT-IN TUB SHOWER. PROVIDE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVES.
- 9 CERAMIC TILE TUB SHOWER SURROUND OVER MOSTLY RE-RESISTANT BOARD. MIN. 6'-6" ABOVE FLOOR. (TYP)
- 10 BUILT-IN UPPER AND LOWER CABINETS
- 11 REFRIGERATOR W/ WATER CONNECTION FOR ICE MAKER
- 12 UNDER-COUNTER DISHWASHER
- 13 OVEN WITH EXHAUST HOOD ABOVE
- 14 WASHER AND DRYER
- 15 KITCHEN ISLAND
- 16 BUILT-IN WINDOW BENCH WITH STORAGE BELOW
- 17 BUILT-IN CABINET AND COUNTERTOP WITH L.S. GYP. BATHROOM SINK
- 18 KITCHEN SINK CENTERED ON WINDOW WITH MAXIMUM FLOW RATE OF 2.2 GPM
- 19 1 HOUR RATED WALL AND CEILING CONSTRUCTION BETWEEN GARAGE AND REST OF HOUSE. SEE DETAILS 8 & 9 ON SHEET A5.1.
- 20 42" HIGH STAINLESS STEEL GUARDRAIL WITH TEMPERED GLASS INSERTS
- 21 MECHANICAL DUCTWORK CHASE
- 22 GYP. BD. ENCLOSURE AT UNDERSIDE OF STAIRS
- 23 LANDING AT EXTERIOR DOORS SHALL BE A MAX. OF 7.75 INCHES BELOW DOOR THRESHOLD.
- 24 UNDERSIDE OF STAIRS IN CLOSET SHALL BE PROTECTED WITH 1/2" GYP. BD.
- 25 5/8" TYPE-X GYP. BD ON GARAGE SIDE OF WALLS SEPARATING THE HABITABLE SPACE FROM GARAGE.
- 26 5/8" TYPE-X GYP. BD ON GARAGE SIDE OF CEILING SEPARATING HABITABLE SPACE ABOVE FROM GARAGE AND MIN. 2" GYP. BD ON ALL STRUCTURE SUPPORTING THE FLOOR CEILING.
- 27 EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 BATT INSULATION
- 28 ELECTRIC CAR CHARGING STATION - MOUNT AT A.F.F. (SEE ELECTRICAL DRAWINGS)
- 29 TANKLESS WATER HEATER - SEE ELECTRICAL DRAWINGS
- 30 OVERHANG OF WALL FLOOR ABOVE - SHOWN DASHED

SHEET NOTES:

- 1. ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
- 2. FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
- 3. TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
- 4. BATH TUB AND SHOWER FLOORS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBANT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR
- 5. ALL WALL-MOUNTED EQUIPMENT LOCATED IN A GARAGE, INCLUDING WATER HEATER PIPING, SHALL BE INSTALLED A MINIMUM OF 48" ABOVE THE GARAGE FLOOR

STAIR NOTES:

- 1. STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.75 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 1/4" INCH
 - STAIRWAYS SHALL BE A MAXIMUM OF 36" INCHES IN WIDTH
- 2. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPABLE WITH OUTSIDE DIAMETER OF 1.1 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1.1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 300 LBS LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL

WALL SCHEDULE:

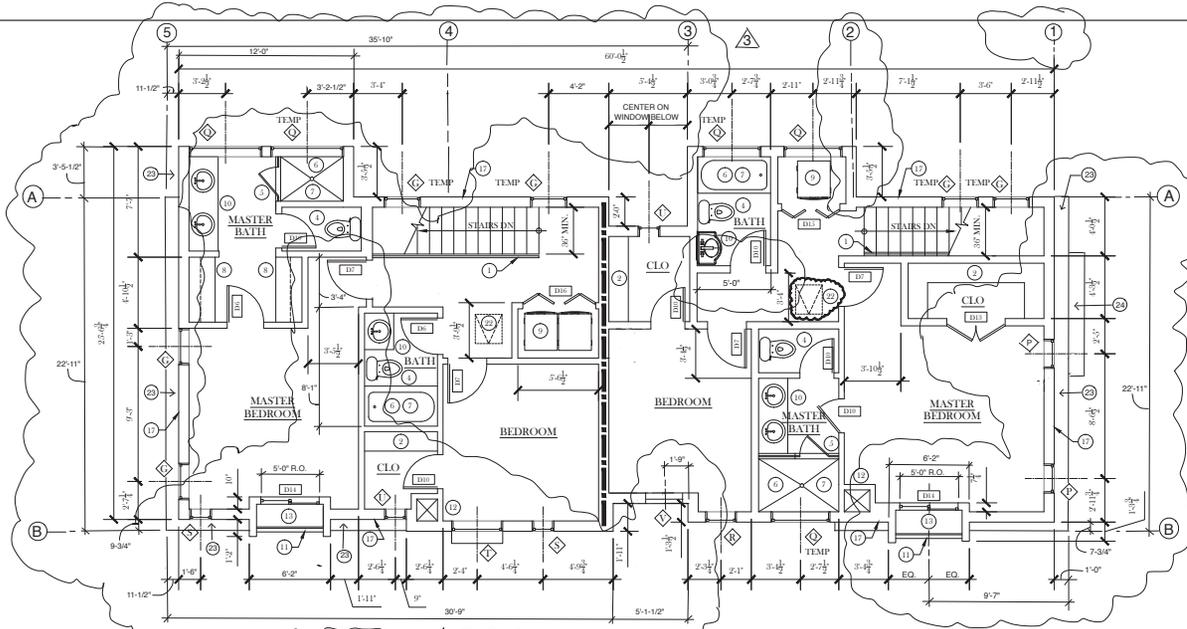
- NON RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL - 2X6 STUDS @ 16" O.C. WITH 2 LAYERS OF 5/8" TYPE-X GYP. BD. EACH SIDE OF WALL - FILL CAVITY SPACE WITH 5/8" SOUND BATT TO ACHIEVE MIN. STC 45 RATING. SOUND RATING PER NAIMA RL05

DOOR SCHEDULE				
DOOR TAG	DOOR SIZE	DOOR TYPE	COUNT	COMMENTS
D1	3'-0" X 7'-0"	ENTRY DOOR W/16" SHELFBOLT	2	TEMPERED GLASS
D2	3'-0" X 7'-0"		1	
D3	8'-0" X 7'-0"	GARAGE DOOR	1	
D4	16'-0" X 7'-0"	GARAGE DOOR	1	
D5	3'-0" X 7'-0"	20MIN RATED	2	MIN. 1-3/8" SOLID CORE SELF CLOSING
D6	3'-0" X 7'-0"		5	
D7	2'-8" X 7'-0"		6	
D8	PAIR 3'-0" X 7'-0"	SLIDING CLOSET DOORS	1	
D9	1'-0" X 7'-0"		1	
D10	2'-4" X 7'-0"		7	
D11	2'-0" X VARIES		1	TOP OF DOOR SLOPES W/STAIRS
D12	6'-0" X 7'-0"	SLIDING GLASS DOOR	3	TEMPERED GLASS
D13	PAIR 2'-0" X 7'-0"		1	
D14	5'-0" X 7'-0"	SLIDING GLASS DOOR	2	TEMPERED GLASS
D15	PAIR 2'-0" X 7'-0"	BI FOLD DOORS	1	
D16	PAIR 2'-0" X 7'-0"	BI FOLD DOORS	1	

WINDOW SCHEDULE				
WINDOW TAG	WINDOW SIZE	WINDOW TYPE	COUNT	COMMENTS
A	7'-0" X 4'-0"	CASEMENT - OXO	1	
B	3'-0" X 4'-0"	FIXED	1	
C	4'-0" X 4'-0"	FIXED	1	
D	2'-0" X 4'-0"	FIXED	2	
E	6'-0" X 1'-0"	FIXED	3	
F	7'-0" X 1'-0"	CASEMENT - OXO	1	
G	2'-0" X 4'-0"	FIXED	13	
H	7'-0" X 5'-0"	CASEMENT - OXO	4	
J	3'-0" X 5'-0"	FIXED	2	
K	1'-0" X 3'-0"	FIXED	1	
L	1'-0" X 5'-0" X 5'-0"	CASEMENT - OXO	1	RAY WINDOW
M	1'-0" X 7'-0" X 5'-0"	CASEMENT - OXO	1	RAY WINDOW
N	2'-0" X 5'-0"	FIXED	4	
O	1'-0" X 2'-0"	FIXED	1	
P	2'-0" X 3'-0"	FIXED	2	
Q	3'-0" X 1'-0"	AWNING	5	
R	2'-0" X 2'-0"	CASEMENT	1	EGRESS WINDOW
S	1'-0" X 4'-0"	FIXED	2	
T	3'-0" X 4'-0"	CASEMENT	1	EGRESS WINDOW
U	1'-0" X 2'-0"	FIXED	2	
V	2'-0" X 4'-0"	CASEMENT	1	EGRESS WINDOW

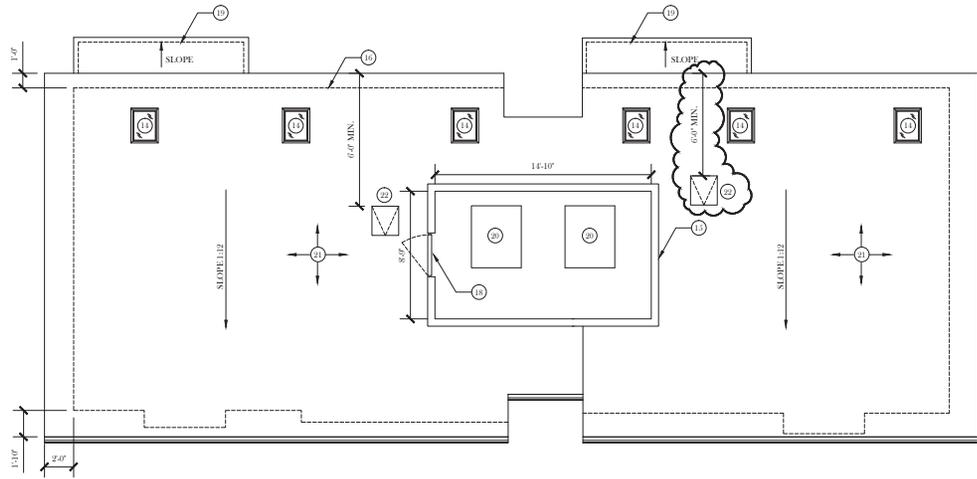
NOTE: FINISHED SILL HEIGHT AT EGRESS WINDOWS TO BE A MAXIMUM OF 41" A.F.F.

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1 THIRD FLOOR PLAN

1/4"=1'-0"



2 ROOF PLAN

1/4"=1'-0"

SHEET NOTES:

- ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
- FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
- TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD. ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
- TYPICAL EXTERIOR WALL CONSTRUCTION: 2X6 WOOD STUDS @ 16" O.C. W/ BAIN SCREEN SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE AND 1/2" GYP. BD. ON INTERIOR SIDE.
- SEE SHEET A2.1 FOR DOOR AND WINDOW SCHEDULES.

STAIR NOTES:

- STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.25 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 3/8 INCH
 - STAIRWAYS SHALL BE A MAXIMUM OF 36 INCHES IN WIDTH
- HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPPABLE WITH OUTSIDE DIAMETER OF 1 1/4 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1 1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL.

WALL SCHEDULE:

- NON RATED WOOD FRAMED WALL - 2X6 OR 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. WITH 1 LAYER OF 5 TYPE-X GYP. BD ON 1 RESISTENT CHANNEL ON ONE SIDE OF WALL & 1 LAYER OF TYPE-X GYP. BD ON THE OTHER SIDE OF WALL - FILL CAVITY SPACE WITH 3 1/2" SOF NOB BATT INSULATION TO ACHIEVE MIN. STC RATING (DESIGN PER I.L.U.327)

KEYNOTES:

- 30" HIGH WOOD RAILING
- WOOD SHELF AND CLOTHES ROD
- BUILT-IN STORAGE SHELVES
- FLOOR MOUNTED L3 GPF TOILET
- FULLY TEMPERED, LAMINATED SAFETY GLASS
- BUILT-IN TUB SHOWER - PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- BUILT-UP UPPER AND LOWER CABINETS
- WASHER AND DRYER
- BUILT-IN CABINET AND COUNTERTOP WITH L3 GPM BATHROOM SINK
- 42" HIGH STAINLESS STEEL GUARDRAIL WITH TEMPERED GLASS INSERTS
- MECHANICAL DUCTWORK CHASE
- PLANTER BOX
- SKYLIGHT - VELUX MODEL TCM-2239 W/ TEMPERED GLAZING & ICL STEPPED FLASHING OR APPROVED EQUAL
- WOOD VENER MECHANICAL SCREEN
- DASHED LINE INDICATES WALLS BELOW
- EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-8 BATT INSULATION
- 40" SWINGING ACCESS GATE - MATCH EQUIPMENT SCREEN FINISH AND COLOR
- LINE OF EYEBROW ROOF BELOW - SEE EXTERIOR ELEVATIONS
- ROOFTOP HVAC UNIT - SEE ELECTRICAL DRAWINGS.
- 4PLY BUILT-UP ROOFING SYSTEM OVER PLYWOOD ROOF SHEATHING AND TR FRAMING - SEE STRUCTURAL DRAWINGS.
- ROOF ACCESS HATCH W/ INTEGRAL FOLDING LADDER (MIN. 22" X 24" IN SIZE)
- WALL LEDGE BELOW - SLOPE TO DRAIN - SEE 4/A5.1
- TOP OF BAY WINDOW BELOW



612 College Ave
Building A - 612 & 614
Menlo Park, CA 94025

ISSUE DATE
12/5/14

- ISSUED FOR PERMIT
- PLAN CHECK COMMENTS
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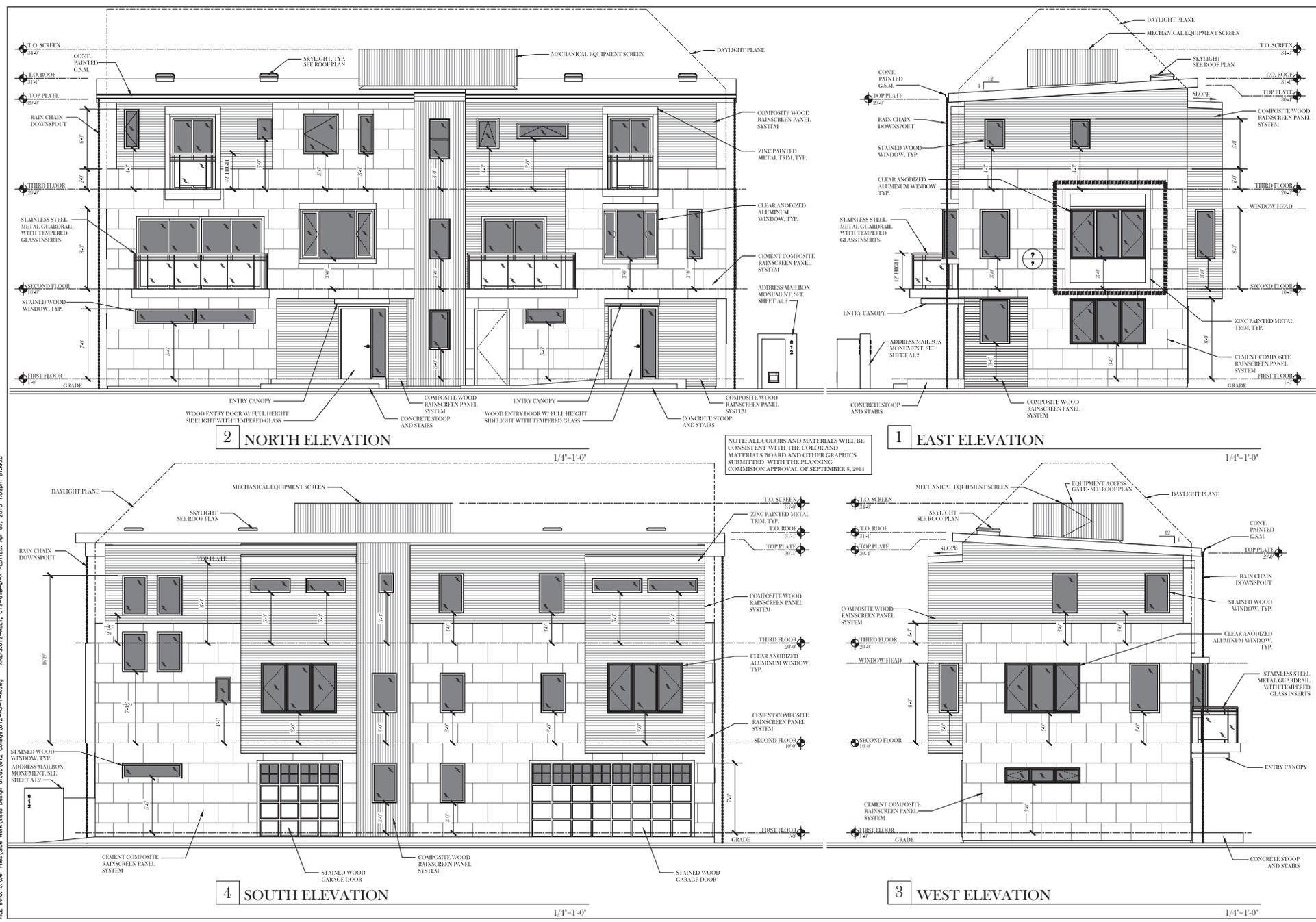
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THIRD & ROOF PLANS

A2.2

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 DATE: Apr 07, 2015 10:29am
 USER: Mark E. Donahue



Mark E. Donahue



612 College Ave
 Building A - 612 & 614
 Menlo Park, CA 94025

ISSUE DATE:
 12/5/14

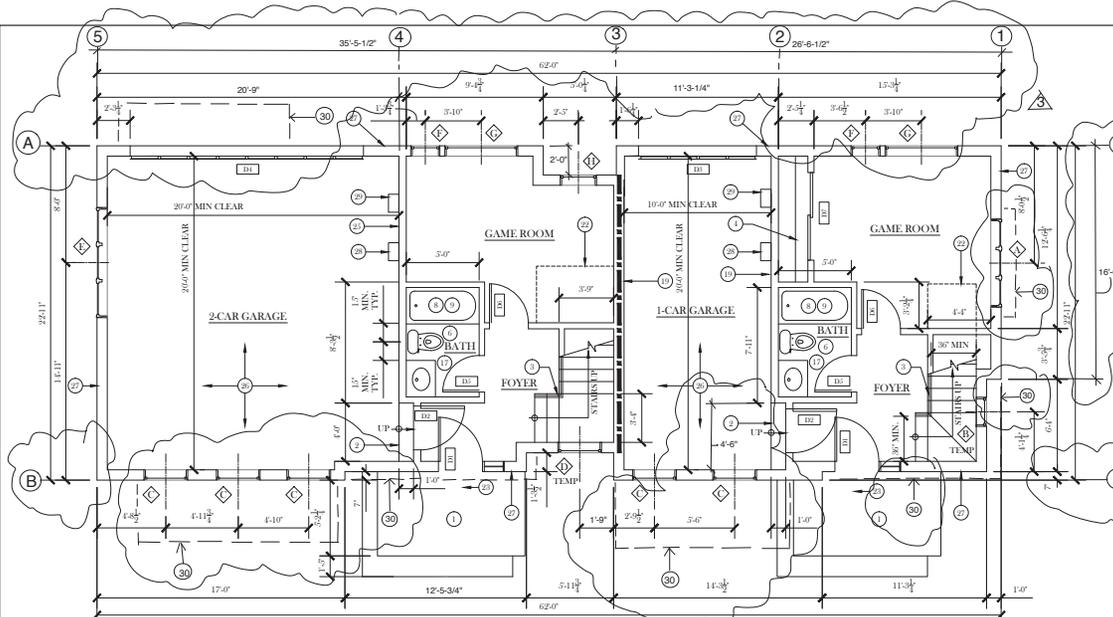
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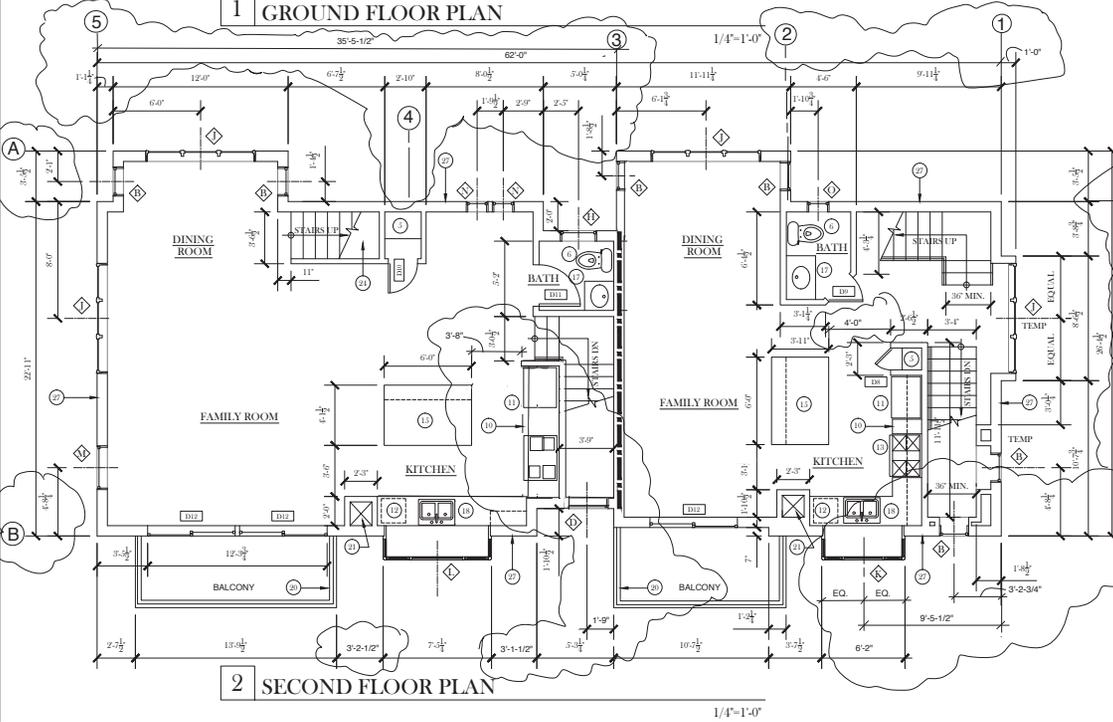
EXTERIOR ELEVATIONS

A3.1

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1 GROUND FLOOR PLAN



2 SECOND FLOOR PLAN

KEYNOTES:

- 1 CONCRETE STUOP AND STEPS
- 2 CONCRETE STEPS
- 3 36" HIGH WOOD RAILING
- 4 WOOD SHELF AND CLOTHES ROD
- 5 BUILT-IN STORAGE SHELVES
- 6 FLOOR MOUNTED 1.5 GYP TOILET (MIN. SIDE CLEARANCE OF 15 INCHES ON EACH SIDE FROM CENTERLINE OF FIXTURE, TYP.)
- 7 FULLY TEMPERED, LAMINATED SAFETY GLASS
- 8 BUILT-IN TUB SHOWER, PROVIDE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVES.
- 9 CERAMIC TILE TUB SHOWER SURROUND OVER MOST TURE RESISTANT BOARD, MIN. 5'-0" ABOVE FLOOR, TYP.
- 10 BUILT-IN UPPER AND LOWER CABINETS
- 11 REFRIGERATOR W/ WATER CONNECTION FOR ICE MAKER
- 12 UNDER-COUNTER DISHWASHER
- 13 OVEN WITH EXHAUST HOOD ABOVE
- 14 WASHER AND DRYER
- 15 KITCHEN ISLAND
- 16 BUILT-IN WINDOW BENCH WITH STORAGE BELOW.
- 17 BUILT-IN CABINET AND COUNTERTOP WITH 1.5 GPM BATHROOM SINK
- 18 KITCHEN SINK CENTERED ON WINDOW WITH MAXIMUM FLOW RATE OF 2.2 GPM.
- 19 1 HOUR RATED WALL AND CEILING CONSTRUCTION BETWEEN GARAGE AND REST OF HOUSE. SEE DETAILS & 9' ON SHEET A3-1.
- 20 42" HIGH STAINLESS STEEL GUARDRAIL WITH TEMPERED GLASS INFILLS
- 21 MECHANICAL DUCTWORK CHASE
- 22 GYP. BD. ENCLOSURE AT UNDERSIDE OF STAIRS
- 23 LANDING AT EXTERIOR DOORS SHALL BE A MAX. OF 7.75 INCHES BELOW DOOR THRESHOLD.
- 24 UNDERSIDE OF STAIRS IN CLOSET SHALL BE PROTECTED WITH 1/2" GYP. BD.
- 25 3/8" TYPE 'X' GYP. BD ON GARAGE SIDE OF WALLS SEPARATING THE HABITABLE SPACE FROM GARAGE.
- 26 1/2" TYPE 'X' GYP. BD ON GARAGE SIDE OF CEILING SEPARATING HABITABLE SPACE ABOVE FROM GARAGE AND MIN. 1/2" GYP. BD ON ALL STRUCTURE SUPPORTING THE FLOOR/CEILING ASSEMBLY
- 27 EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 BATT INSULATION
- 28 ELECTRIC CAR CHARGING STATION - MOUNT 48" A.F.E. (SEE ELECTRICAL DRAWINGS)
- 29 TANKLESS WATER HEATER - SEE ELECTRICAL DRAWINGS
- 30 LINE OF OVERHANG ABOVE - SHOWN DASHED

SHEET NOTES:

1. ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
2. FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
3. TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
4. BATH TUB AND SHOWER FLOORS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBANT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR
5. ALL WALL-MOUNTED EQUIPMENT LOCATED IN A GARAGE, INCLUDING WATER HEATER PIPING, SHALL BE INSTALLED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR

STAIR NOTES:

1. STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.75 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 1/8" INCH
 - STAIR RUNS SHALL BE A MAXIMUM OF 89 INCHES IN WIDTH
2. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPPABLE WITH OUTSIDE DIAMETER OF 1 1/4 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1 1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL

WALL SCHEDULE:

- NON RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. (TYP.)
- 1 HOUR RATED WOOD FRAMED WALL (DESIGN PER CBC ITEM #14.3.3 - 2X4 STUDS @ 16" O.C. WITH 1 LAYER OF 1/2" TYPE 'X' GYP. BD. EACH SIDE OF WALL - FILL CAVITY SPACE WITH 1/2" SOUND BATT) TO ACHIEVE MIN. STC 6 RATING, SOUND RATING PER NAIMA BL03

DOOR SCHEDULE				
DOOR TAG	DOOR SIZE	DOOR TYPE	COUNT	COMMENTS
D1	3'-0" X 7'-0"	ENTRY DOOR W/10" SHELVEIGHT	2	TEMPERED GLASS
D2	3'-0" X 7'-0"	30-MIN RATED	2	MIN. 1 1/8" SOLID-CORE SELF-CLOSING
D3	8'-0" X 7'-0"	GARAGE DOOR	1	
D4	10'-0" X 7'-0"	GARAGE DOOR	1	
D5	2'-0" X 7'-0"		5	
D6	2'-8" X 7'-0"		6	
D7	6'-0" X 7'-0"	SLIDING GLASS DOOR	1	TEMPERED GLASS
D8	1'-0" X 7'-0"		1	
D9	2'-4" X 7'-0"		6	
D10	2'-0" X 7'-0"		1	
D11	2'-10" X 7'-0"		1	
D12	6'-0" X 7'-0"	SLIDING GLASS DOOR	3	
D13	4'-0" X 7'-0"	SLIDING GLASS DOOR	2	
D14	PAIR 2'-0" X 7'-0"	BIFOLD DOORS	1	
D15	PAIR 2'-0" X 7'-0"	BIFOLD DOORS	1	
D16	PAIR 2'-0" X 7'-0"	BIFOLD DOORS	1	

WINDOW SCHEDULE				
WINDOW TAG	WINDOW SIZE	WINDOW TYPE	COUNT	COMMENTS
A	6'-0" X 3'-0"			
B	2'-0" X 3'-0"		7	
C	3'-0" X 3'-0"		3	
D	3'-0" X 3'-0"		3	
E	2'-0" X 1'-0"		1	
F	2'-0" X 1'-0"		2	
G	3'-0" X 1'-0"		3	
H	2'-0" X 4'-0"		4	
J	2'-0" X 3'-0"		4	
K	1'-8" X 3'-0" X 3'-0"	RAY WINDOW	1	
L	1'-8" X 2'-0" X 3'-0"	RAY WINDOW	1	
M	3'-0" X 3'-0"		1	
N	1'-0" X 3'-0"		5	
O	1'-0" X 2'-0"		1	
P	2'-0" X 3'-0"		1	
Q	2'-0" X 4'-0"		1	
R	2'-0" X 4'-0"		1	
S	3'-0" X 4'-0"		1	
T	1'-0" X 2'-0"		2	
U	1'-0" X 4'-0"		4	
V	4'-0" X 1'-0"		4	
W	1'-0" X 3'-0"		2	
X	3'-0" X 4'-0"	CASEMENT	1	EGRESS WINDOW

NOTE: FINISHED SILL HEIGHT AT EGRESS WINDOWS TO BE A MAXIMUM OF 44" A.F.F.



Mark E. Donahue, P.E.



612 College Ave
Building B - 616 & 618
Menlo Park, CA 94025

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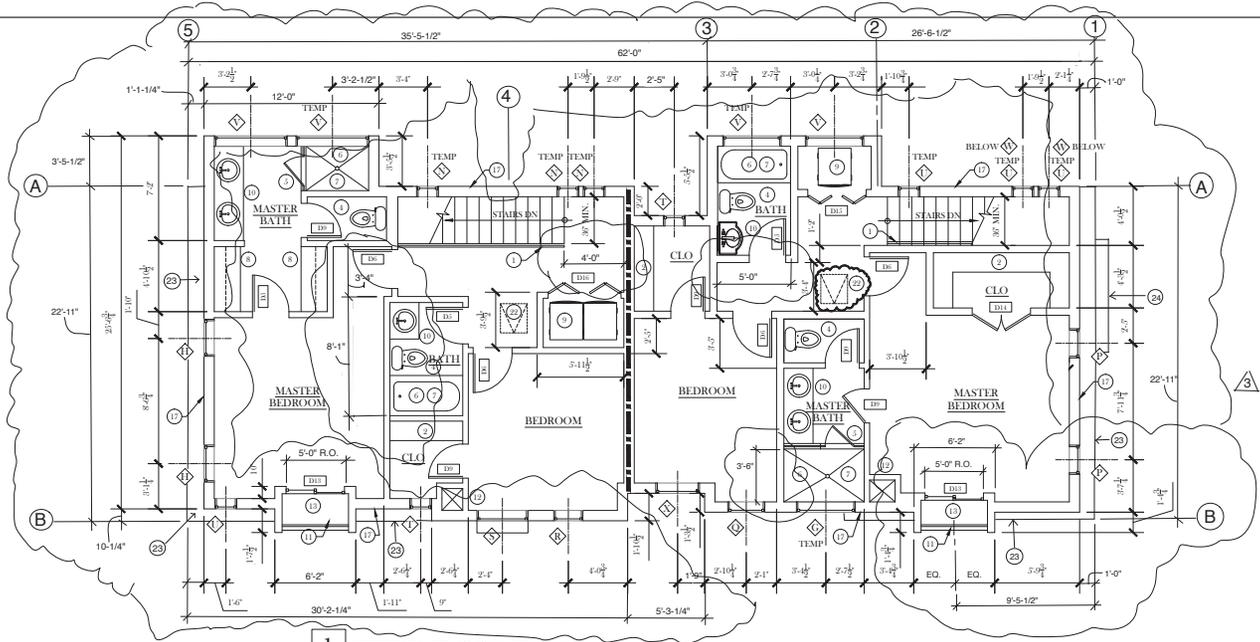
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- 2 PLAN CHECK COMMENTS
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11/20/15

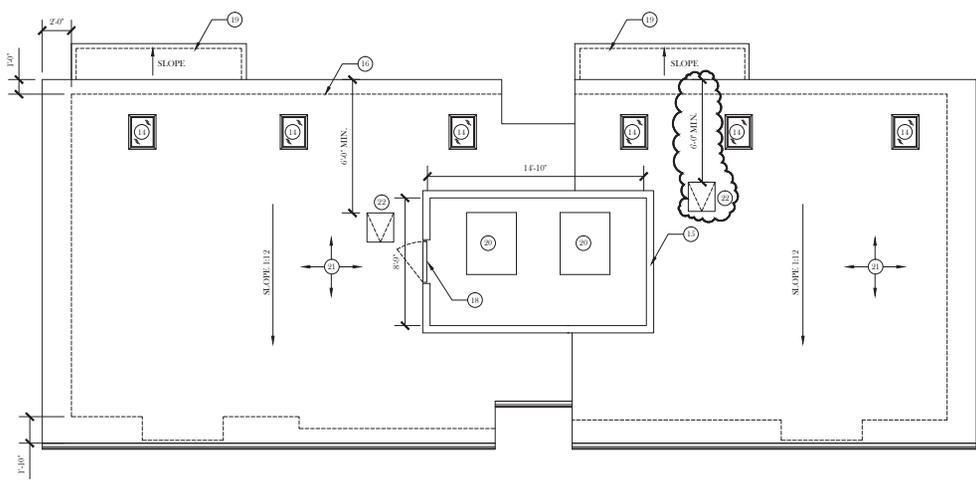
DRAWING TITLE

GROUND & SECOND FLOOR

A2.1



1 THIRD FLOOR PLAN
1/4"=1'-0"



2 ROOF PLAN
1/4"=1'-0"

SHEET NOTES:

- ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
- FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
- TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
- TYPICAL EXTERIOR WALL CONSTRUCTION: 2X6 WOOD STUDS @ 16" O.C. W/ BAIN SCREEN SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE AND 1/2" GYP. BD. ON INTERIOR SIDE.
- SEE SHEET A2.1 FOR DOOR AND WINDOW SCHEDULES.

STAIR NOTES:

- STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.75 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 3/8 INCH
 - STAIRWAYS SHALL BE A MAXIMUM OF 39 INCHES IN WIDTH
- HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPPABLE WITH OUTSIDE DIAMETER OF 1 1/4 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1 1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL.

WALL SCHEDULE:

- NON RATED WOOD FRAMED WALL - 2X6 OR 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. WITH 1 LAYER OF 5 TYPE-X GYP. BD ON 1 RESILIENT CHANNEL ON ONE SIDE OF WALL & 1 LAYER OF TYPE-X GYP. BD ON THE OTHER SIDE OF WALL - FILL CAVITY SPACE WITH 3 1/2" SOFND BATTIS TO ACHIEVE MIN. STC RATING (DESIGN PER I.L. H327)

KEYNOTES:

- 36" HIGH WOOD RAILING
- WOOD SHelf AND CLOTHES ROD
- BUILT-IN STORAGE SHELVES
- FLOOR MOUNTED 1.5 GPF TOILET
- FULLY TIMPERED, LAMINATED SAFETY GLASS
- BUILT-IN TUB SHOWER - PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- CERAMIC TILE TUB SHOWER SURROUND OVER MOISTURE RESISTANT BOARD.
- BUILT IN UPPER AND LOWER CABINETS
- WASHER AND DRYER
- BUILT IN CABINET AND COUNTERTOP WITH 1.5 GPM BATHROOM SINK
- 1/2" HIGH STAINLESS STEEL GUARDRAIL WITH TIMPERED GLASS INSERTS
- MECHANICAL DUCTWORK CHASE
- PLANTER BOX
- SKYLIGHT - VELUX MODEL FCM-2200 W/TIMPERED GLAZING & ECL STEPPED FLASHING (OR APPROVED EQUAL)
- WOOD VENER MECHANICAL SCREEN
- DASHED LINE INDICATES WALLS BELOW
- EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 BATT INSULATION
- 1/0" SWINGING ACCESS GATE - MATCH EQUIPMENT SCREEN FINISH AND COLOR
- LINE OF EYEBROW ROOF BELOW - SEE EXTERIOR ELEVATIONS
- ROOFTOP HVAC UNIT - SEE ELECTRICAL DRAWINGS.
- 4PLY BUILT UP ROOFING SYSTEM OVER PLYWOOD ROOF SHEATHING AND TJH FRAMING - SEE STRUCTURAL DRAWINGS.
- ROOF ACCESS HATCH W/ INTEGRAL FOLDING LADDER (MIN. 22" X 24" IN SIZE)
- WALL LEDGE BELOW - SLOPE TO DRAIN - SEE 4/A5.1
- TOP OF BAY WINDOW BELOW



612 College Ave
Building B - 616 & 618
Menlo Park, CA 94025

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12/5/14

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▲	PLAN CHECK COMMENTS
▲	11/21/15
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DRAWING TITLE

THIRD & ROOF PLANS

A2.2

FILE INFO: J:_Per Tech\Site Work\Vista Design Group\612 College Ave\612-A2-2-Roof.dwg XREFS:612-APP-03; 612-APP-04; 612-APP-05; 612-APP-06; 612-APP-07; 612-APP-08; 612-APP-09; 612-APP-10; 612-APP-11; 612-APP-12; 612-APP-13; 612-APP-14; 612-APP-15; 612-APP-16; 612-APP-17; 612-APP-18; 612-APP-19; 612-APP-20; 612-APP-21; 612-APP-22; 612-APP-23; 612-APP-24; 612-APP-25; 612-APP-26; 612-APP-27; 612-APP-28; 612-APP-29; 612-APP-30; 612-APP-31; 612-APP-32; 612-APP-33; 612-APP-34; 612-APP-35; 612-APP-36; 612-APP-37; 612-APP-38; 612-APP-39; 612-APP-40; 612-APP-41; 612-APP-42; 612-APP-43; 612-APP-44; 612-APP-45; 612-APP-46; 612-APP-47; 612-APP-48; 612-APP-49; 612-APP-50; 612-APP-51; 612-APP-52; 612-APP-53; 612-APP-54; 612-APP-55; 612-APP-56; 612-APP-57; 612-APP-58; 612-APP-59; 612-APP-60; 612-APP-61; 612-APP-62; 612-APP-63; 612-APP-64; 612-APP-65; 612-APP-66; 612-APP-67; 612-APP-68; 612-APP-69; 612-APP-70; 612-APP-71; 612-APP-72; 612-APP-73; 612-APP-74; 612-APP-75; 612-APP-76; 612-APP-77; 612-APP-78; 612-APP-79; 612-APP-80; 612-APP-81; 612-APP-82; 612-APP-83; 612-APP-84; 612-APP-85; 612-APP-86; 612-APP-87; 612-APP-88; 612-APP-89; 612-APP-90; 612-APP-91; 612-APP-92; 612-APP-93; 612-APP-94; 612-APP-95; 612-APP-96; 612-APP-97; 612-APP-98; 612-APP-99; 612-APP-100

RECEIVED

OCT 20 2016

CITY OF MENLO PARK
BUILDING**Job Site : 612 College Ave.**

Menlo Park Planning Department
Attn: Thomas Rodgers

-Each building has a recessed element on the **south** elevation. The windows were laid out differently on each building.

Building B –permit #14-1453 has the 3rd & 2nd floor windows pushed to the right side. We continued that line with the 1st floor window so it lined up with those above.

Building A - permit #14-1451 has the windows all in the same line centered in the exterior slot, but the 2nd floor window is restricted from being located in the center by the kitchen wall. We moved the other two, 1st floor & 3rd floor windows, over to align on the exterior view, which we felt was better than having one offset from the other two. All the windows are only 6" off center.

-Also, on the **south** elevations of each building on the 3rd floor, the window head heights all line up with the tops of the sliding glass doors. This puts the windows at the same height in the bedrooms so the interior finishes also line up.

-The kitchen bay windows and the large sliding doors have also changed on the **south** elevation.

The outer kitchen bay window is one large fixed window on all 4 units – both buildings.

The two 12' sliding doors at unit #2 & #4 both operate in the center. There is no longer a mullion in the centers.

The **north** elevations have some height adjustments also. These happened because of the stairs and the drop ceilings containing HVAC ducts.

Building A - permit #14-1451 has the windows on the 3rd floor set all at the same head height. This changes the sill height of the four 4'-0"x1'-6" to 5'-6" from the floor and was done because of the tub in unit #1 and again we felt it important to keep all the windows in the same line. Also, on the 2nd floor, the three between the two large windows moved up to the same height across that line because of the stairs in unit #2 – we brought the powder room window up to match others. Last, the group of four windows to the left had to move over 1'-0" further to the left to make the stairs work in unit #1.

(2)

The **north** elevations cont.

Building B –permit #14-1453 has the two large windows on the 2nd floor in the pop-out elements changed in style. This was done because of how it affected the design of the dining rooms from the inside. Also on the 2nd floor the powder room window in unit #4 was lowered because we could not put a 9'-0" high window in a room with an 8'-0" ceiling height – they all line up across the 2nd floor and the powder room window in unit #3 stayed the same. On the 3rd floor, the three 1'-6"x5'-0" (these were drawn originally as 4'-0" windows, but were always listed in the schedule as 1'-6"x5'-0") in unit #4 had to be lowered 12" to make the drop ceilings containing HVAC ducts work. In unit #3 the three 1'-6"x4'-0" had to be lowered 6" to make the drop ceilings containing HVAC ducts work.

The **east** elevation on building B had an adjustment also on the first floor. The windows were called out to be 5'-0" tall. The stairs are the same in each building and could not allow a window taller than 4'-6" at the landing. The window to the left also had to be moved left towards the center of the recessed element to work with the stairs. The large window also became 4'-6" tall to match. On the 2nd floor the stair window also moved to the left to line with the one below.

The other item was the roof top fences (A/C enclosures). Each HVAC unit needed its own enclosure because of the separation between the units. This had to happen to allow them to function – the supplies had to line up to the chases designed inside the buildings. These being on top of the 3 story building limits visibility to them also.

Thank you for reviewing these changes to the original set of plans.

Jeffrey L. Warmboe
Springs Construction
(650) 888-5150



MARK E. DONAHUE ARCHITECT



612 College Ave
Building A - 612 & 614
Menlo Park, CA 94025

ISSUE DATE
12/5/14

- 1 ISSUED FOR PERMIT
- 2 PLAN CHECK COMMENTS
- 3 PLAN CHECK COMMENTS

11/18/15

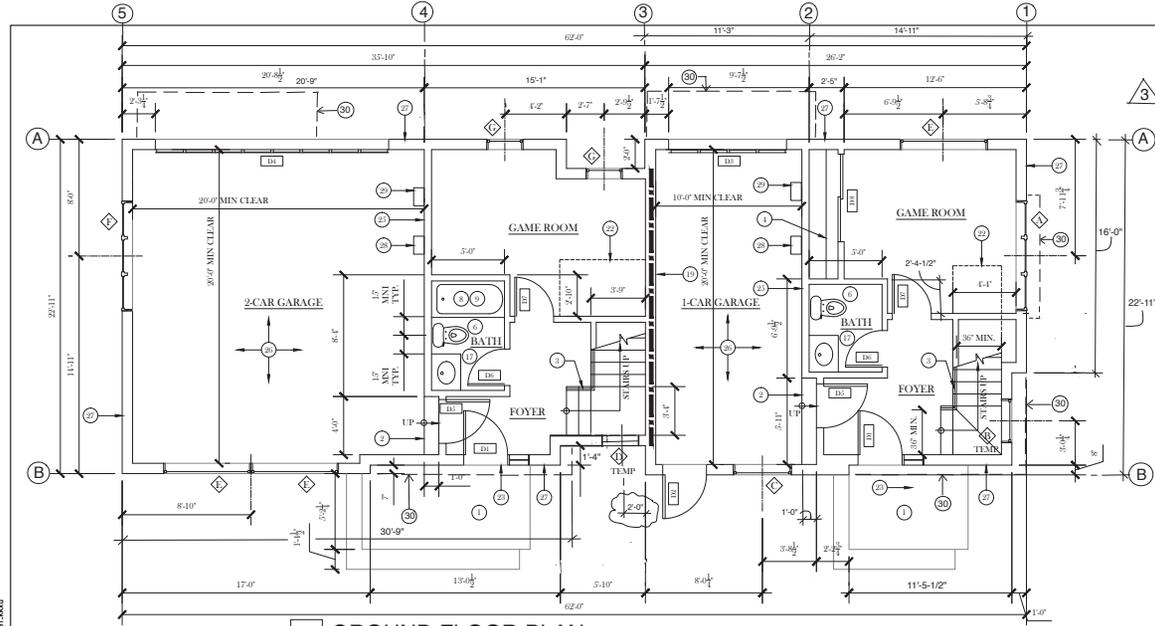
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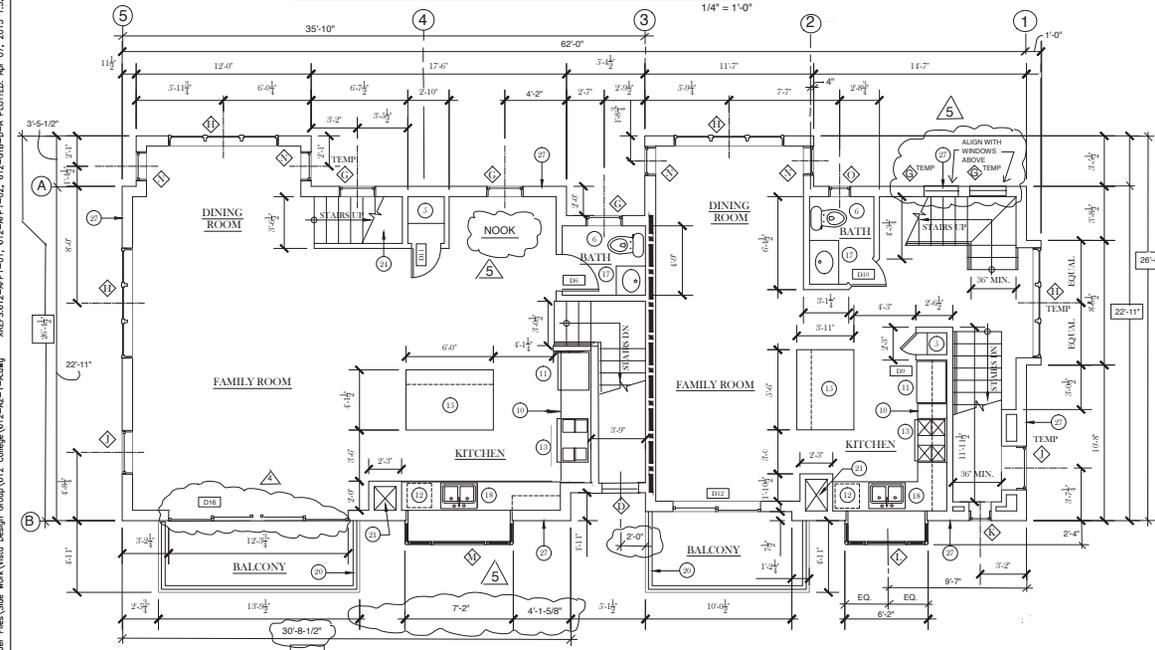
DRAWING TITLE

GROUND & SECOND FLOOR

A2.1



1 GROUND FLOOR PLAN



2 SECOND FLOOR PLAN

KEYNOTES:

- 1 CONCRETE STUOP AND STEPS
- 2 CONCRETE STEPS
- 3 36" HIGH WOOD RAILING
- 4 WOOD SHELF AND CLOTHES ROD
- 5 BUILT-IN STORAGE SHELVES
- 6 FLOOR MOUNTED L.G.P.P. TOILET MIN. CLEARANCE OF 15 INCHES ON EACH SIDE FROM CENTRELINE OF FIXTURE. (TYP)
- 7 FULLY TEMPERED, LAMINATED SAFETY GLASS
- 8 BUILT-IN TUB SHOWER. PROVIDE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVES.
- 9 CERAMIC TILE TUB SHOWER SURROUND OVER MOISTURE RESISTANT BOARD. MIN. 6" ABOVE FLOOR. (TYP)
- 10 BUILT-IN UPPER AND LOWER CABINETS
- 11 REFRIGERATOR W/ WATER CONNECTION FOR ICE MAKER
- 12 UNDER-COUNTER DISHWASHER
- 13 OVEN WITH EXHAUST HOOD ABOVE
- 14 WASHER AND DRYER
- 15 KITCHEN ISLAND
- 16 BUILT-IN WINDOW BENCH WITH STORAGE BELOW
- 17 BUILT-IN CABINET AND COUNTERTOP WITH L.G.P.P. BATHROOM SINK
- 18 KITCHEN SINK CENTERED ON WINDOW WITH MAXIMUM FLOW RATE OF 2.2 GPM
- 19 1 HOUR RATED WALL AND CEILING CONSTRUCTION BETWEEN GARAGE AND REST OF FLOOR. SEE DETAILS 8 & 9 ON SHEET 4.1.1.
- 20 42" HIGH STAINLESS STEEL GUARDRAIL WITH TEMPERED GLASS INSERTS
- 21 MECHANICAL DUCTWORK CHASE
- 22 GYP. BD. ENCLOSURE AT UNDERSIDE OF STAIRS
- 23 LANDING AT EXTERIOR DOORS SHALL BE A MAX. OF 7.75 INCHES BELOW DOOR THRESHOLD.
- 24 UNDERSIDE OF STAIRS IN CLOSET SHALL BE PROTECTED WITH 1/2" GYP. BD.
- 25 5/8" TYPE-X GYP. BD ON GARAGE SIDE OF WALLS SEPARATING THE HABITABLE SPACE FROM GARAGE.
- 26 5/8" TYPE-X GYP. BD ON GARAGE SIDE OF CEILING SEPARATING HABITABLE SPACE ABOVE FROM GARAGE. AND MIN. 2" GYP. BD ON ALL STRUCTS BE SUPPORTING THE FLOOR CEILING ASSEMBLY
- 27 EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 INSULATION
- 28 ELECTRIC CAR CHARGING STATION - MOUNT AT A.F.F. (SEE ELECTRICAL DRAWINGS)
- 29 TANKLESS WATER HEATER - SEE ELECTRICAL DRAWINGS
- 30 OVERHANG OF WALL FLOOR ABOVE - SHOWN DASHED

SHEET NOTES:

1. ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
2. FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
3. TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
4. BATH TUB AND SHOWER FLOORS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBANT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR
5. ALL WALL-MOUNTED EQUIPMENT LOCATED IN A GARAGE, INCLUDING WATER HEATER PIPING, SHALL BE INSTALLED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR

STAIR NOTES:

1. STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.75 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 1/4" INCH
 - STAIRWAYS SHALL BE A MAXIMUM OF 36" INCHES IN WIDTH
2. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPABLE WITH OUTSIDE DIAMETER OF 1.14 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1.12 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 300 LBS DOWNWARD LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL.

WALL SCHEDULE:

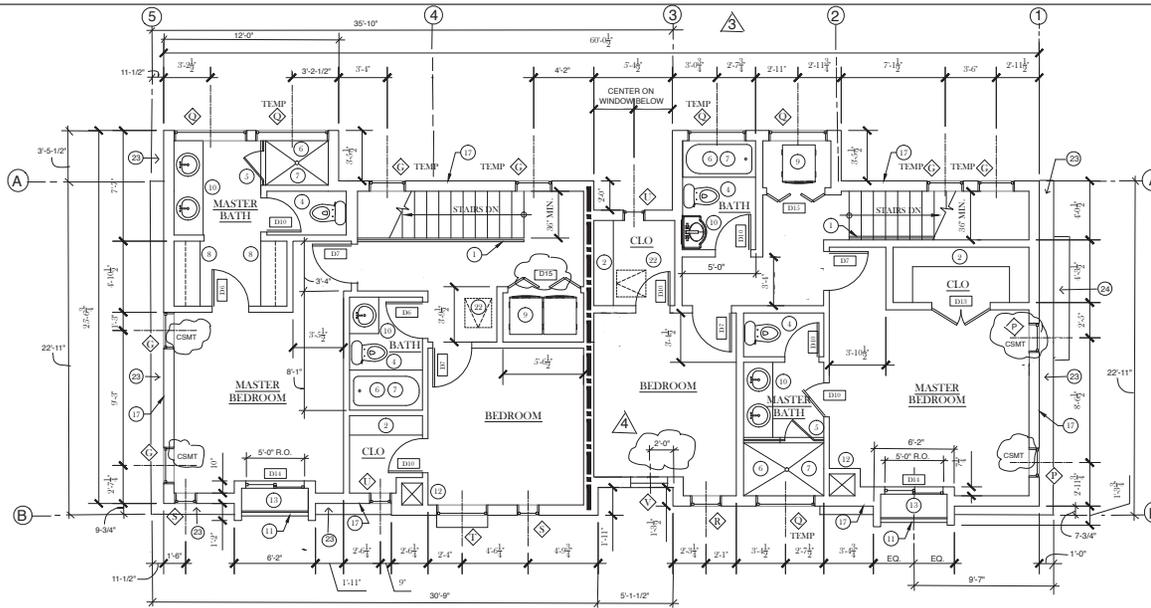
- NON RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL - 2X6 STUDS PER CBC ITEM 14.1.3.0 - 2X4 STUDS @ 16" O.C. WITH 2 LAYERS OF 5/8" TYPE-X GYP. BD. EACH SIDE OF WALL - FILL CAVITY SPACE WITH 5/2" SOUND RATING BATTIS TO ACHIEVE MIN. STC 45 RATING. SOUND RATING PER NAIMA BL-015

DOOR SCHEDULE				
DOOR TAG	DOOR SIZE	DOOR TYPE	COUNT	COMMENTS
D1	3-0" X 7-0"	ENTRY DOOR W/16" SHELFRIGHT	2	TEMPERED GLASS
D2	3-0" X 7-0"		1	
D3	8-0" X 7-0"	GARAGE DOOR	1	
D4	16-0" X 7-0"	GARAGE DOOR	1	
D5	3-0" X 7-0"	20MIN RATED	2	MIN. 1-3/8" SOLID CORE SELF CLOSING
D6	2-0" X 7-0"		5	
D7	2-0" X 7-0"		6	
D8	PAIR 3-0" X 7-0"	SLIDING CLOSET DOORS	1	
D9	1-0" X 7-0"		1	
D10	2-4" X 7-0"		7	
D11	3-0" X VARIES		1	TOP OF DOOR SLOPES W/STAIRS
D12	X 7-0"	SLIDING GLASS DOOR	3	TEMPERED GLASS
D13	PAIR 2-0" X 7-0"		1	
D14	5-0" X 7-0"	SLIDING GLASS DOOR	2	TEMPERED GLASS
D15	PAIR 2-0" X 7-0"	BI FOLD DOORS	2	
D16	12-0" X 7-0"	SLIDING GLASS DOORS	1	CENTER OPERABLE DOORS

WINDOW SCHEDULE				
WINDOW TAG	WINDOW SIZE	WINDOW TYPE	COUNT	COMMENTS
A	7-0" X 4-0"	CASEMENT - OXO	1	
B	3-0" X 4-0"	FIXED	1	
C	4-0" X 4-0"	FIXED	1	
D	2-0" X 4-0"	FIXED	2	
E	6-0" X 12-0"	FIXED	3	
F	7-0" X 1-0"	CASEMENT - OXO	1	BATHROOM UNIT - CASEMENT
G	2-0" X 4-0"	FIXED	13	
H	7-0" X 5-0"	CASEMENT - OXO	4	
J	3-0" X 5-0"	FIXED	2	
K	12-0" X 7-0"	FIXED	3	
L	(2) 1-0" X 4-0" GSMT	FIXED FLANKED BY 2 CSMTS	2	5'-0" X 4'-0" FIXED IN CENTER
M	(2) 1-0" X 4-0" GSMT	FIXED FLANKED BY 2 CSMTS	3	6'-0" X 4'-0" FIXED IN CENTER
N	2-0" X 5-0"	FIXED	1	
O	1-0" X 2-0"	FIXED	1	
P	2-0" X 3-0"	FIXED	2	
Q	4-0" X 1-0"	AWNING	5	VINYL WINDOWS
R	2-0" X 3-0"	CASEMENT	1	
S	1-0" X 1-0"	FIXED	2	
T	3-0" X 1-0"	CASEMENT	1	EGRESS WINDOW
U	1-0" X 2-0"	FIXED	2	EGRESS WINDOW
V	2-4" X 4-0"	CASEMENT	1	EGRESS WINDOW

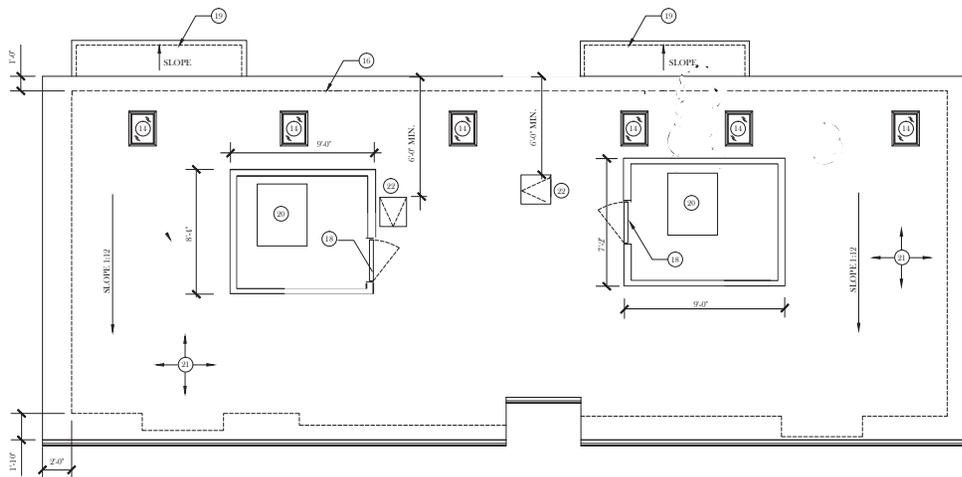
NOTE: FINISHED SILL HEIGHT AT EGRESS WINDOWS TO BE A MAXIMUM OF 41" A.F.F.

FILE INFO: J:\Ark\Arch\Site Work\Vista Design Group\612 College\612-A2-1-Arch\XREFS\612-APP1-01; 612-APP1-02; 612-CIB-D-4; PLOTTED: Apr 07, 2015 1:52pm Bkshau



1 THIRD FLOOR PLAN

1/4"=1'-0"



2 ROOF PLAN

1/4"=1'-0"

SHEET NOTES:

- ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
- FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
- TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD. ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
- TYPICAL EXTERIOR WALL CONSTRUCTION: 2X6 WOOD STUDS @ 16" O.C. W/ BAIN SCREEN SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE AND 1/2" GYP. BD. ON INTERIOR SIDE.
- SEE SHEET A2.1 FOR DOOR AND WINDOW SCHEDULES.

STAIR NOTES:

- STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.25 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 3/8 INCH
 - STAIRWAYS SHALL BE A MAXIMUM OF 36 INCHES IN WIDTH
- HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPPABLE WITH OUTSIDE DIAMETER OF 1-1/4 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1-1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL.

WALL SCHEDULE:

- NON RATED WOOD FRAMED WALL - 2X6 OR 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. WITH 1 LAYER OF 5 TYPE-X GYP. BD ON 1 RESISTENT CHANNEL ON ONE SIDE OF WALL & 1 LAYER OF TYPE-X GYP. BD ON THE OTHER SIDE OF WALL - FILL CAVITY SPACE WITH 3/2" SOFND BATT INS TO ACHIEVE MIN. STC RATING (DESIGN PER I.L.U.327)

KEYNOTES:

- 36" HIGH WOOD RAILING
- WOOD SHELF AND CLOTHES ROD
- BUILT-IN STORAGE SHELVES
- FLOOR MOUNTED L3 GPF TOILET
- FULLY TEMPERED, LAMINATED SAFETY GLASS
- BUILT-IN TUB SHOWER - PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- BUILT-UP UPPER AND LOWER CABINETS
- WASHER AND DRYER
- BUILT-IN CABINET AND COUNTERTOP WITH L3 GPM BATHROOM SINK
- 1/2" HIGH STAINLESS STEEL GUARDRAIL WITH TEMPERED GLASS INSERTS
- MECHANICAL DUCTWORK CHASE
- PLANTER BOX
- SKYLIGHT - VELUX MODEL TCM-2239 W/ TEMPERED GLAZING & T&L STEPPED FLASHING OR APPROVED EQUAL
- WOOD VENEER MECHANICAL SCREEN
- DASHED LINE INDICATES WALLS BELOW
- EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 BATT INSULATION
- 4'0" SWINGING ACCESS GATE - MATCH EQUIPMENT SCREEN FINISH AND COLOR
- LINE OF EYEBROW ROOF BELOW - SEE EXTERIOR ELEVATIONS
- ROOFTOP HVAC UNIT - SEE ELECTRICAL DRAWINGS.
- 4PLY BUILT-UP ROOFING SYSTEM OVER PLYWOOD ROOF SHEATHING AND TR FRAMING - SEE STRUCTURAL DRAWINGS.
- ROOF ACCESS HATCH W/ INTEGRAL FOLDING LADDER (MIN. 22" X 24" IN SIZE)
- WALL LEDGE BELOW - SLOPE TO DRAIN - SEE 4/A5.1
- TOP OF BAY WINDOW BELOW



MARK E. DONAHAY ARCHITECT



612 College Ave
Building A - 612 & 614
Menlo Park, CA 94025

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- 4 11/18/15
- 5 12/12/15
- 6 10/18/16

DRAWING TITLE

THIRD & ROOF PLANS

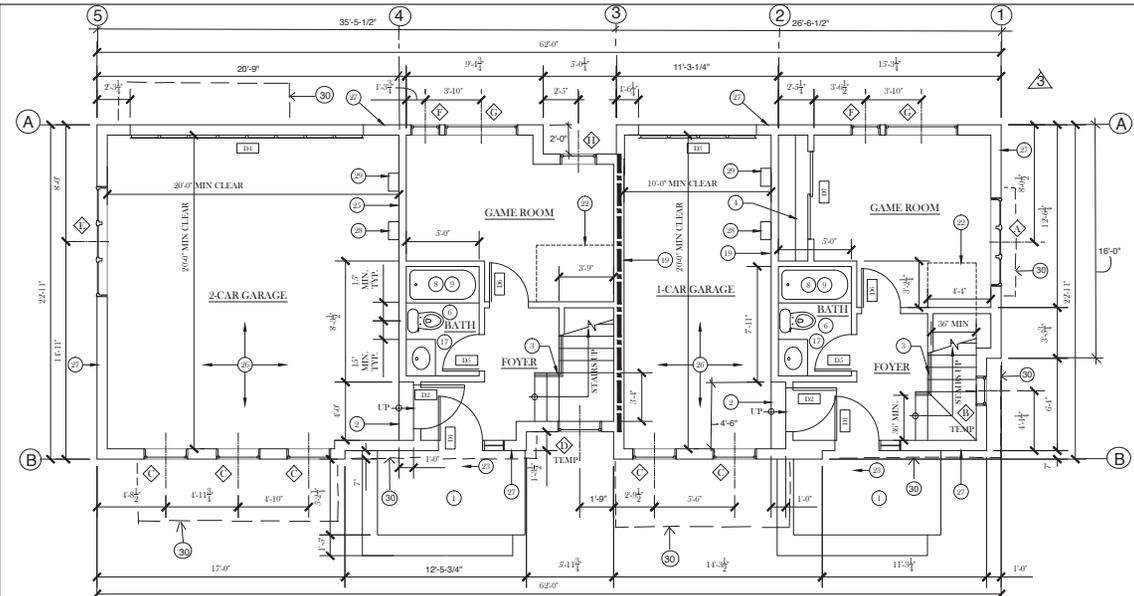
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FILE INFO: J:_Per Tech\Site Work\Villa Vista\612_College\612-A2-2-4.dwg XREFS:612-APP-03; 612-APP-04; 612-APP-05; 612-APP-06; 612-APP-07; 612-APP-08; 612-APP-09; 612-APP-10; 612-APP-11; 612-APP-12; 612-APP-13; 612-APP-14; 612-APP-15; 612-APP-16; 612-APP-17; 612-APP-18; 612-APP-19; 612-APP-20; 612-APP-21; 612-APP-22; 612-APP-23; 612-APP-24; 612-APP-25; 612-APP-26; 612-APP-27; 612-APP-28; 612-APP-29; 612-APP-30; 612-APP-31; 612-APP-32; 612-APP-33; 612-APP-34; 612-APP-35; 612-APP-36; 612-APP-37; 612-APP-38; 612-APP-39; 612-APP-40; 612-APP-41; 612-APP-42; 612-APP-43; 612-APP-44; 612-APP-45; 612-APP-46; 612-APP-47; 612-APP-48; 612-APP-49; 612-APP-50; 612-APP-51; 612-APP-52; 612-APP-53; 612-APP-54; 612-APP-55; 612-APP-56; 612-APP-57; 612-APP-58; 612-APP-59; 612-APP-60; 612-APP-61; 612-APP-62; 612-APP-63; 612-APP-64; 612-APP-65; 612-APP-66; 612-APP-67; 612-APP-68; 612-APP-69; 612-APP-70; 612-APP-71; 612-APP-72; 612-APP-73; 612-APP-74; 612-APP-75; 612-APP-76; 612-APP-77; 612-APP-78; 612-APP-79; 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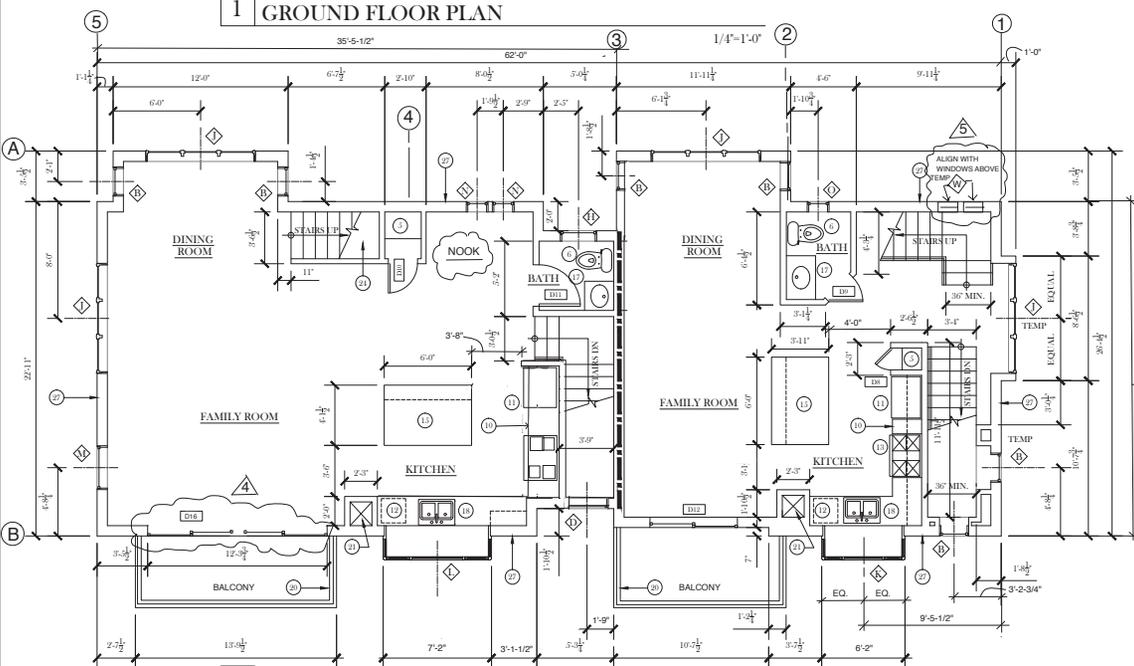


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1 GROUND FLOOR PLAN



2 SECOND FLOOR PLAN

KEYNOTES:

- 1 CONCRETE STUOP AND STEPS
- 2 CONCRETE STEPS
- 3 36" HIGH WOOD RAILING
- 4 WOOD SHELF AND CLOTHES ROD
- 5 BUILT-IN STORAGE SHELVES
- 6 FLOOR MOUNTED 1.5 GPF TOILET MIN. SIDE CLEARANCE OF 15 INCHES ON EACH SIDE FROM CENTERLINE OF FIXTURE (TYP)
- 7 FULLY TEMPERED LAMINATED SAFETY GLASS
- 8 BUILT-IN TUB SHOWER. PROVIDE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVES.
- 9 CERAMIC TILE TUB SHOWER SURROUND OVER MOSTURE RESISTANT BOARD MIN. 5'-0" ABOVE FLOOR, TYP.
- 10 BUILT-IN UPPER AND LOWER CABINETS
- 11 REFRIGERATOR W/ WATER CONNECTION FOR ICE MAKER
- 12 UNDER-COUNTER DISHWASHER
- 13 OVEN WITH EXHAUST HOOD ABOVE
- 14 WASHER AND DRYER
- 15 KITCHEN ISLAND
- 16 BUILT-IN WINDOW BENCH WITH STORAGE BELOW.
- 17 BUILT-IN CABINET AND COUNTERTOP WITH 1.5 GPM BATHROOM SINK
- 18 KITCHEN SINK CENTERED ON WINDOW WITH MAXIMUM FLOW RATE OF 2.2 GPM.
- 19 1 HOUR RATED WALL AND CEILING CONSTRUCTION BETWEEN GARAGE AND REST OF HOUSE. SEE DETAILS & 9'0" SHEET A-1.
- 20 42" HIGH STAINLESS STEEL GUARDRAIL WITH TEMPERED GLASS INFILLS
- 21 MECHANICAL DUCTWORK CHASE
- 22 GYP. BD. ENCLOSURE AT UNDERSIDE OF STAIRS
- 23 LANDING AT EXTERIOR DOORS SHALL BE A MAX. OF 7.75 INCHES BELOW DOOR THRESHOLD.
- 24 GYP. BD. OF STAIRS IN CLOSET SHALL BE PROTECTED WITH 1/2" GYP. BD.
- 25 3/8" TYPE-X GYP. BD ON GARAGE SIDE OF WALLS SEPARATING THE HABITABLE SPACE FROM GARAGE.
- 26 1/2" TYPE-X GYP. BD ON GARAGE SIDE OF CEILING SEPARATING HABITABLE SPACE ABOVE FROM GARAGE AND MIN. 1/2" GYP. BD. ON ALL STRUCTURE SUPPORTING THE FLOOR/CEILING ASSEMBLY
- 27 EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 BATT INSULATION
- 28 ELECTRIC CAR CHARGING STATION - MOUNT 48" A.F.E. (SEE ELECTRICAL DRAWINGS)
- 29 TANKLESS WATER HEATER - SEE ELECTRICAL DRAWINGS
- 30 LINE OF OVERHANG ABOVE - SHOWN DASHED

SHEET NOTES:

1. ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
2. FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
3. TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
4. BATH TUB AND SHOWER FLOORS AND WALLS ABOVE BATH TUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBANT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR
5. ALL WALL-MOUNTED EQUIPMENT LOCATED IN A GARAGE, INCLUDING WATER HEATER PIPING, SHALL BE INSTALLED A MINIMUM OF 18" ABOVE THE GARAGE FLOOR.

STAIR NOTES:

1. STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.75 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 1/8 INCH
 - STAIR HANDRAILS SHALL BE A MAXIMUM OF 36 INCHES IN WIDTH
2. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPPABLE WITH 1/4" OUTSIDE DIAMETER OF 1 1/4 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1 1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL

WALL SCHEDULE:

- NON RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL (DESIGN PER CBC ITEM #14.10 - 2X4 STUDS @ 16" O.C. WITH 1/2" LAYERS OF TYPE-X GYP. BD. EACH SIDE OF WALL - FILL CAVITY SPACE WITH 5-1/2" SOUND BATS TO ACHIEVE MIN. STC 6 RATING, SOUND RATING PER NAIMA BL103

DOOR SCHEDULE				
DOOR TAG	DOOR SIZE	DOOR TYPE	COUNT	COMMENTS
D1	3'-0" X 7'-0"	ENTRY DOOR W/16" SHELFLIGHT	2	TEMPERED GLASS
D2	3'-0" X 7'-0"	36" WIDE RATED	2	MIN. 1 1/8" SOLID-CORE SELF-CLOSING
D3	8'-0" X 7'-0"	GARAGE DOOR	1	
D4	10'-0" X 7'-0"	GARAGE DOOR	1	
D5	2'-6" X 7'-0"		5	
D6	2'-8" X 7'-0"		6	
D7	6'-0" X 7'-0"	SLIDING CLOSET DOORS	1	
D8	1'-6" X 7'-0"		1	
D9	2'-4" X 7'-0"		6	
D10	2'-0" X 7'-0"		1	
D11	2'-10" X 7'-0"		1	
D12	6'-0" X 7'-0"	SLIDING GLASS DOOR	3	
D13	5'-0" X 7'-0"	SLIDING GLASS DOOR	2	
D14	PAIR 3'-0" X 7'-0"	BIFOLD DOORS	1	
D15	PAIR 3'-0" X 7'-0"	BIFOLD DOORS	1	
D16	12'-0" X 7'-0"	SLIDING GLASS DOORS	1	CENTER OPERATORS

WINDOW SCHEDULE				
WINDOW TAG	WINDOW SIZE	WINDOW TYPE	COUNT	COMMENTS
A	6'-0" X 4'-0"	CASEMENT OXO	1	
B	2'-0" X 4'-0"	FIXED	7	
C	3'-0" X 7'-0"	AWNING	3	
D	3'-0" X 7'-0"	FIXED	3	
E	2'-6" X 1'-6"	FIXED	1	
F	2'-0" X 1'-6"	FIXED	2	
G	3'-0" X 1'-6"	AWNING	3	
H	2'-0" X 1'-6"	CASEMENT	4	
J	7'-0" X 5'-0"	CASEMENT	4	
K	(2) 1'-8" X 4'-6"	FIXED FLANKED BY 2 CSMTS	1	5'-6" X 4'-6" FIXED
L	(2) 1'-8" X 4'-6"	FIXED FLANKED BY 2 CSMTS	1	6'-6" X 4'-6" FIXED
M	1'-0" X 5'-0"	FIXED	1	
N	1'-6" X 3'-0"	FIXED	3	
O	1'-6" X 2'-0"	CASEMENT	1	
P	2'-0" X 2'-0"	FIXED	1	
Q	2'-0" X 1'-6"	CASEMENT	1	
R	2'-0" X 1'-6"	CASEMENT	1	
S	3'-0" X 1'-6"	FIXED	1	EGRESS
T	1'-6" X 2'-0"	FIXED	2	
U	1'-6" X 1'-6"	FIXED	4	
V	4'-0" X 1'-6"	AWNING	4	VINYL
W	1'-6" X 3'-6"	FIXED	2	
X	3'-0" X 4'-0"	CASEMENT	1	EGRESS WINDOW

NOTE: FINISHED SILL HEIGHT AT EGRESS WINDOWS TO BE A MAXIMUM OF 4" A.F.F.



Mark E. Donahay, Architect



612 College Ave
Building B - 616 & 618
Menlo Park, CA 94025

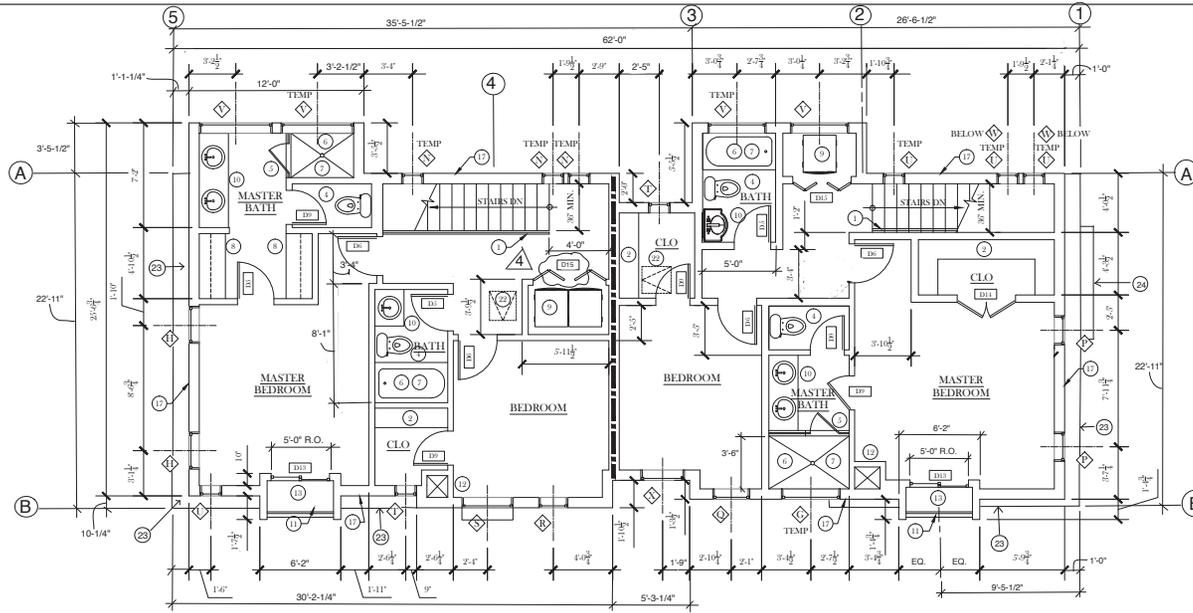
ISSUE DATE
12/5/14

- 1 ISUED FOR PERMIT
- 2 PLAN CHECK COMMENTS
- 3 PLAN CHECK COMMENTS
- 4 11/20/15
- 5 12/12/15
- 6 02/23/16

DRAWING TITLE

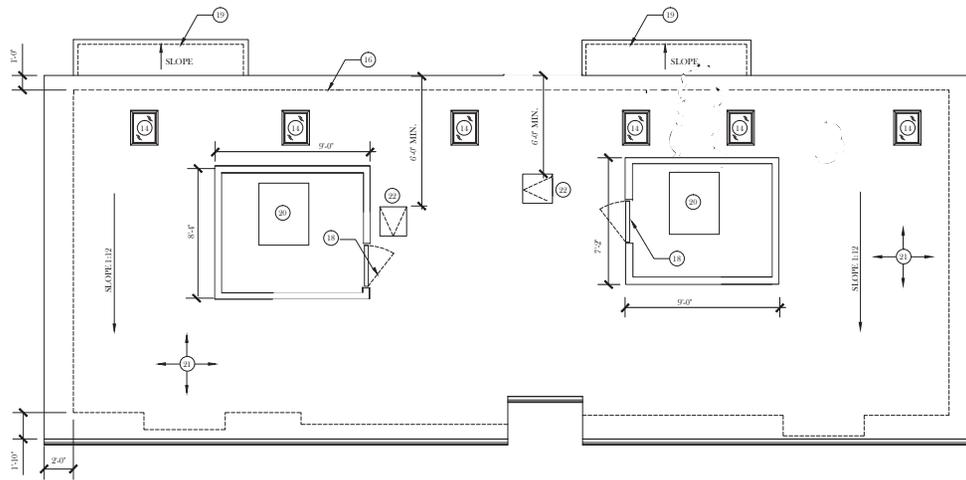
GROUND & SECOND FLOOR

A2.1



1 THIRD FLOOR PLAN

1/4"=1'-0"



2 ROOF PLAN

1/4"=1'-0"

SHEET NOTES:

1. ALL DIMENSIONS ARE TO FINISH FACE OF WALL UNLESS OTHERWISE NOTED
2. FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO COMMENCING WORK
3. TYPICAL INTERIOR WALL CONSTRUCTION: 1/2" GYP. BD ON BOTH SIDES OF WD 2X4 STUDS, UNLESS OTHERWISE NOTED.
4. TYPICAL EXTERIOR WALL CONSTRUCTION: 2X6 WOOD STUDS @ 16" O.C. W/ BAIN SCREEN SYSTEM OVER PLYWOOD SHEATHING ON EXTERIOR SIDE AND 1/2" GYP. BD. ON INTERIOR SIDE.
5. SEE SHEET A2.1 FOR DOOR AND WINDOW SCHEDULES.

STAIR NOTES:

1. STAIRS SHALL HAVE THE FOLLOWING FEATURES:
 - RISERS SHALL BE MAX. OF 7.75 INCHES
 - TREADS SHALL BE A MINIMUM OF 10 INCHES
 - RISERS IN STAIR RUNS SHALL VARY BY MAX. OF 3/8 INCH
 - STAIRWAYS SHALL BE A MAXIMUM OF 39 INCHES IN WIDTH
2. HANDRAILS SHALL HAVE THE FOLLOWING FEATURES:
 - HANDRAILS SHALL BE GRIPPABLE WITH OUTSIDE DIAMETER OF 1-1/4 INCH MIN. AND 2 INCH MAXIMUM
 - SPACE BETWEEN HANDRAIL AND WALL SHALL BE A MAXIMUM OF 1-1/2 INCH
 - HANDRAIL CONNECTION TO WALL SHALL BE DESIGNED TO WITHSTAND A 200 POUND LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP RAIL.

WALL SCHEDULE:

- NON RATED WOOD FRAMED WALL - 2X6 OR 2X4 STUDS @ 16" O.C. (TYP)
- 1 HOUR RATED WOOD FRAMED WALL - 2X4 STUDS @ 16" O.C. WITH 1 LAYER OF 5 TYPE-X GYP. BD ON 1 RESILIENT CHANNEL ON ONE SIDE OF WALL & 1 LAYER OF TYPE-X GYP. BD ON THE OTHER SIDE OF WALL - FILL CAVITY SPACE WITH 3-1/2" SOFND BATTIS TO ACHIEVE MIN. STC RATING (DESIGN PER I.L. 10327)

KEYNOTES:

- 1 36" HIGH WOOD RAILING
- 2 WOOD SHIELF AND CLOTHES ROD
- 3 BUILT-IN STORAGE SHELVES
- 4 FLOOR MOUNTED 1.5 GPF TOILET
- 5 FULLY TIMPERED, LAMINATED SAFETY GLASS
- 6 BUILT-IN TUB SHOWER - PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- 7 CERAMIC TILE TUB SHOWER SURROUND OVER MOISTURE RESISTANT BOARD.
- 8 BUILT-IN UPPER AND LOWER CABINETS
- 9 WASHER AND DRYER
- 10 BUILT-IN CABINET AND COUNTERTOP WITH 1.5 GPM BATHROOM SINK
- 11 47" HIGH STAINLESS STEEL GUARDRAIL WITH TIMPERED GLASS INSERTS
- 12 MECHANICAL DUCTWORK CHASE
- 13 PLANTER BOX
- 14 SKYLIGHT - VELUX MODEL FCM-2200 W/TIMPERED GLASS & ECL STEPPED FLASHING OR APPROVED EQUAL
- 15 WOOD VENER MECHANICAL SCREEN
- 16 DASHED LINE INDICATES WALL BELOW
- 17 EXTERIOR WALL CONSTRUCTION - 2X6 STUDS @ 16" O.C. WITH HIGH DENSITY R-21 BATT INSULATION
- 18 4'0" SWINGING ACCESS GATE - MATCH EQUIPMENT SCREEN FINISH AND COLOR
- 19 LINE OF EYEBROW ROOF BELOW - SEE EXTERIOR ELEVATIONS
- 20 ROOFTOP HVAC UNIT - SEE ELECTRICAL DRAWINGS.
- 21 4 PLY BUILT-UP ROOFING SYSTEM OVER PLYWOOD ROOF SHEATHING AND TJI FRAMING - SEE STRUCTURAL DRAWINGS.
- 22 ROOF ACCESS HATCH W/ INTEGRAL FOLDING LADDER (MIN. 22" X 24" IN SIZE)
- 23 WALL LEDGE BELOW - SLOPE TO DRAIN - SEE 4/A5.1
- 24 TOP OF BAY WINDOW BELOW



MARK E. DONAHAY ARCHITECT



612 College Ave
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Menlo Park, CA 94025

ISSUE DATE
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3	PLAN CHECK COMMENTS
3	11/21/15
4	12/12/15
5	10/18/16

DRAWING TITLE
THIRD & ROOF PLANS

A2.2

FILE INFO: J:_Per Tech\Site Work\Vista Design Group\612 College Ave\612-142-2-Rev.dwg XREFS:612-APP-03; 612-APP-04; 612-APP-05; 612-APP-06; 612-APP-07; 612-APP-08; 612-APP-09; 612-APP-10; 612-APP-11; 612-APP-12; 612-APP-13; 612-APP-14; 612-APP-15; 612-APP-16; 612-APP-17; 612-APP-18; 612-APP-19; 612-APP-20; 612-APP-21; 612-APP-22; 612-APP-23; 612-APP-24; 612-APP-25; 612-APP-26; 612-APP-27; 612-APP-28; 612-APP-29; 612-APP-30; 612-APP-31; 612-APP-32; 612-APP-33; 612-APP-34; 612-APP-35; 612-APP-36; 612-APP-37; 612-APP-38; 612-APP-39; 612-APP-40; 612-APP-41; 612-APP-42; 612-APP-43; 612-APP-44; 612-APP-45; 612-APP-46; 612-APP-47; 612-APP-48; 612-APP-49; 612-APP-50; 612-APP-51; 612-APP-52; 612-APP-53; 612-APP-54; 612-APP-55; 612-APP-56; 612-APP-57; 612-APP-58; 612-APP-59; 612-APP-60; 612-APP-61; 612-APP-62; 612-APP-63; 612-APP-64; 612-APP-65; 612-APP-66; 612-APP-67; 612-APP-68; 612-APP-69; 612-APP-70; 612-APP-71; 612-APP-72; 612-APP-73; 612-APP-74; 612-APP-75; 612-APP-76; 612-APP-77; 612-APP-78; 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MARK E. DONALD ARCHITECT



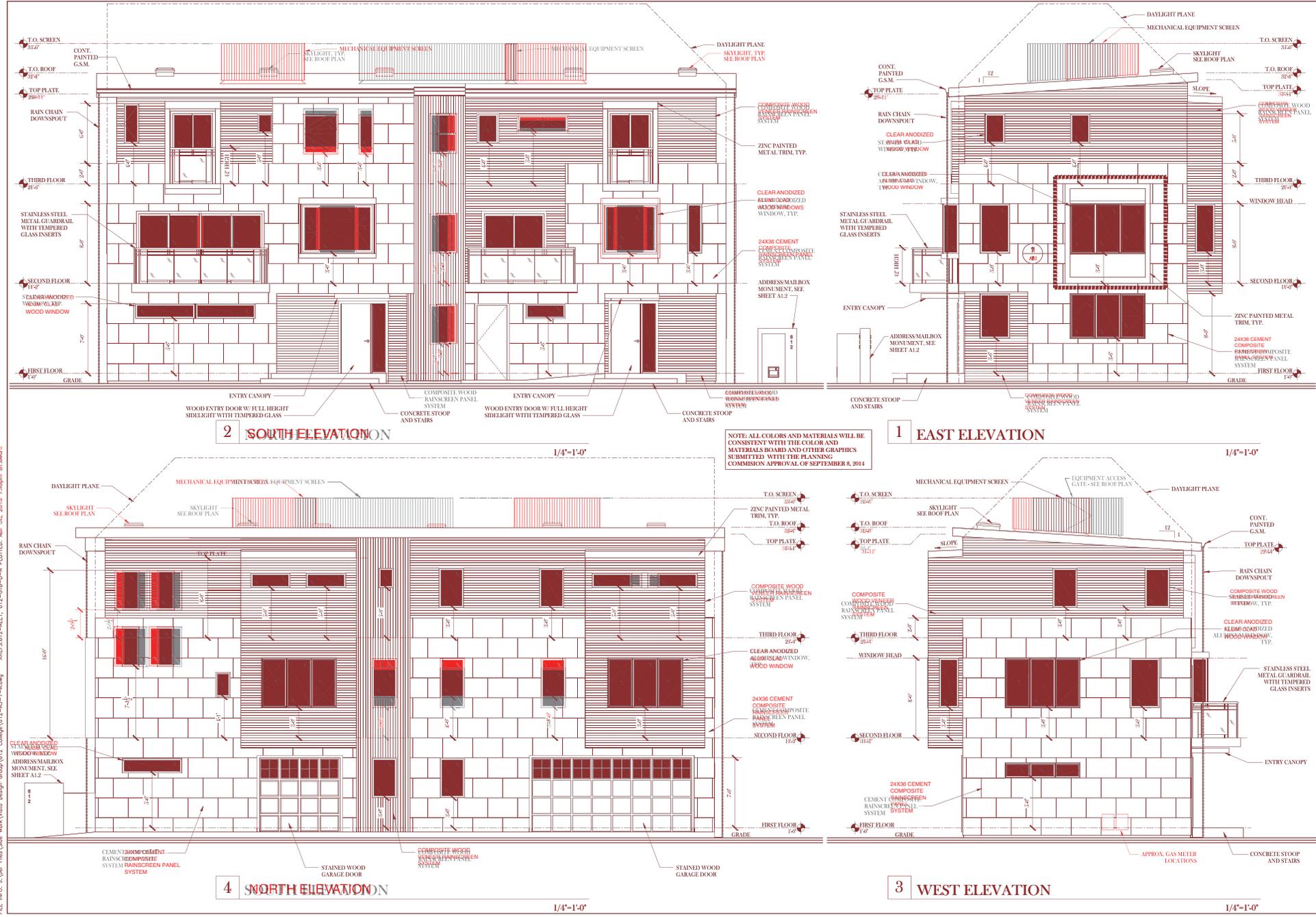
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Building A - 612 & 614
Menlo Park, CA 94025

ISSUE DATE:	12/5/14
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DRAWING TITLE

EXTERIOR ELEVATIONS

A3.1



FILE INFO: A:\Mar Flex\Site\Mark\612 College\612 College\612-03-A-1.dwg XREFS: 612-AE11; 612-03B-D-A; FLOTTED; Mar 10, 2015 10:09am Mark\mark

