



NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Use Permit/Bryan Cho/515 Gilbert Avenue:

Request for a use permit to partially demolish, remodel, and add first- and second-story additions to an existing nonconforming single-story, single-family residence on a substandard lot with respect to lot area, depth, and width in the R-1-U (Single-Family Urban) zoning district. The proposed work would exceed 50 percent of the existing replacement value in a 12 month period. The proposal would also exceed 50 percent of the existing floor area and is considered equivalent to a new structure.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Michele Morris, Assistant Planner, at (650) 330-6724 or email her at mtmorris@menlopark.org. The Planning Division encourages submittal of comments and questions by November 16, 2016 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.





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October 10, 2016

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OCT 10 2016

CITY OF MENLO PARK
BUILDING

Project Description

515 Gilbert Avenue, Menlo Park

The existing single-family home at 515 Gilbert Street is a very compact two-bedroom, one-bath house with a small living/dining/kitchen area. At 1164 sf total (891 sf of dwelling space + 273 sf of garage), it is scaled more like an apartment than a house; it is smaller than most of the surrounding houses in the neighborhood, and too small for most of today's families. The current construction quality of the house (vinyl siding, single-paned steel sash windows, no insulation) is also outdated, and out of keeping with the neighborhood. The owners would like to enlarge and improve the existing home to better suit their family's needs, and to better align with the quality of the surrounding neighborhood.

We are proposing a 1,048 SF addition, which includes a new 690 SF second story. The existing bedrooms, bath, and garage would remain. The central, first floor public living spaces (kitchen, dining, and living) would be remodeled and expanded to the front and rear. Upstairs, we are adding two bedrooms and two bathrooms. A new covered front entry porch and covered rear patio help to transition from the street to the front door, and from the indoors to the rear yard.

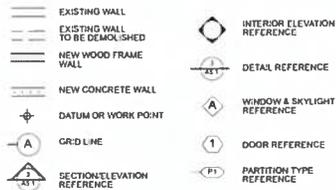
The original house is an early 1940's ranch/bungalow style, with a hip roof, and stucco under the existing vinyl siding. We've taken cues from this original language, translating it into a simple, classic style. Major features of the proposed design include hip roofs, restoring the original stucco, and using new painted wood siding on the central/second story addition. Paintable, fiberglass windows and standing seam metal roofing are durable materials that should maintain their appearance for years to come.

The upstairs massing is as compact as possible, with deep roof overhangs that help create a sense of horizontality, rather than height. The upper floor is set back from the first floor walls at the two sides and the front, to help reduce the sense of mass from the street, the corner, and the side neighbor. Upper floor windows on the side lot line were located with care to minimize direct sightlines into the neighbor's second story windows. High, second story clerestory windows and skylights on the street side will provide privacy to/from the street while bringing ample daylight into the first and second floors.

The owners have begun to reach out to their immediate neighbors, with a face-to-face conversation about the proposed design with the owners of the two-story home at 505 Gilbert.

GENERAL ARCHITECTURAL LEGEND

NOT INTENDED TO BE EXHAUSTIVE



ABBREVIATION LIST

NOT INTENDED TO BE EXHAUSTIVE

(H) NEW	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
(E) EXISTING		
Typ TYPICAL		
Sim SIMILAR	CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
U/N/O UNLESS NOTED OTHERWISE		
N/C NOT IN CONTRACT	GWB/ GYP-BO	GYPSUM BOARD
CONT. CONTINUOUS		
CLR. CLEAR	DSRWL	DOWN SPOUT / RAINWATER LEADER
ADJ. ADJACENT		
T.D. TOP OF	C.T.	CERAMIC TILE
B.O. BOTTOM OF	WD	WOOD
E.O. EDGE OF	PLAM	PLASTIC LAMINATE

PROJECT GENERAL NOTES

- IF DRAWING SHEET IS LESS THAN 22"x34" IT HAS BEEN SCALED FROM THE ORIGINAL SIZE.
- DO NOT SCALE DRAWINGS. IF UNABLE TO LOCATE DIMENSIONS FOR ANY ITEM OF WORK, CONSULT WITH ARCHITECT BEFORE PROCEEDING.
- VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR VARIATION. DO NOT PROCEED WITH WORK UNTIL DISCREPANCY IS RESOLVED.
- GRID LINES ARE TO OUTSIDE FACE OF EXTERIOR STUD UNLESS OTHERWISE NOTED.
- HORIZONTAL DIMENSIONS AND GRID LINES ARE TO FACE OF INTERIOR FINISH, FACE OF CMU, OUTSIDE FACE OF EXTERIOR STUD, OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED.
- VERTICAL DIMENSIONS ARE MEASURED FROM TOP OF FINISH FLOOR TO EITHER ONE OF:
A. TOP OF FINISH FLOOR ABOVE
B. ROOF BEARING ELEVATION
C. AS NOTED
- DETAILS SHOWN ON DRAWINGS SHALL BE INCORPORATED INTO THE PROJECT AT ALL APPROPRIATE LOCATIONS WHETHER SPECIFICALLY REFERENCED OR NOT.
- ANY DISCREPANCIES BETWEEN DRAWINGS, BETWEEN DRAWINGS AND SPECIFICATIONS OR WITHIN THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED WORK; DO NOT PROCEED WITH WORK BEFORE DISCREPANCY IS RESOLVED.
- CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS AND MEASURES TO PROTECT EXISTING LANDSCAPE, PLANTING AND TREES FROM DAMAGE DURING CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN LANDSCAPE IRRIGATION SYSTEM, OR PROVIDE ALTERNATE MEANS FOR IRRIGATION OF LANDSCAPE.
- CONTRACTOR SHALL KEEP JOBSITE CLEAN AND FREE OF DUST AND DEBRIS DURING NON WORKING HOURS.
- ALL DUCT OPENINGS AND RELATED AIR DISTRIBUTION COMPONENTS SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION. PER CALGREEN SECTION 4.504.1.
- CODES USED: 2013 CALIFORNIA RESIDENTIAL CODE (2012 IRC)
2013 CALIFORNIA BUILDING CODE (2012 CBC)
2013 CALIFORNIA MECHANICAL CODE (2012 LMC)
2013 CALIFORNIA PLUMBING CODE (2012 UPC)
2013 CALIFORNIA FIRE CODE (2012 IFC)
2013 CALIFORNIA ELECTRICAL CODE (2012 NEC)
2013 CALIFORNIA ENERGY CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS
- AT THE COMPLETION OF THE JOB, AN OPERATION & MAINTENANCE MANUAL SHALL BE PROVIDED TO THE OWNER, PER CALGREEN SECTION 4.410.1.
- UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THE CALGREEN MANDATORY MEASURES SHALL BE PROVIDED TO THE BUILDING OFFICIAL. SEE EN-2 FOR FULL CHECKLIST.

PROJECT INFORMATION

ADDRESS: 515 GILBERT AVENUE, MENLO PARK
APN: 062-342-080

ZONING:	R1-U	EXISTING	PROPOSED	ALLOWED
OCCUPANCY:	R-3U	R-3U	R-3U	R-3U
CONSTRUCTION TYPE:	V-B	V-B	V-B	V-B
# OF STORIES:	1	2	2	
SPRINKLERED:	NO	YES		

MAXIMUM BLDG HEIGHT:	EXISTING	PROPOSED	ALLOWED
FRONT SETBACK:	14'-5"	23'-6"	29'-0"
FRONT SETBACK:	24'-10"	20'-6"	20'-0"
FRONT SETBACK:		34'-5"	20'-0"

SIDE SETBACK (WEST):	7'-7"	7'-7"	12'-0"
SIDE SETBACK (WEST):		19'-5"	12'-0"
SIDE SETBACK (EAST):	3'-2"	3'-2"	5'-0"
SIDE SETBACK (EAST):		7'-0"	5'-0"
REAR SETBACK:	32'-2"	24'-1"	20'-0"
REAR SETBACK:		32'-2"	20'-0"

OFF-STREET PARKING SPACES (E) NON CONFORMING GARAGE TO REMAIN:
1 SPACES 1 SPACES 1 SPACES

SITE ANALYSIS
(SEE AT/ FOR SITE PLANS)

	EXISTING	PROPOSED	ALLOWED
FLOOR AREA:			
FIRST FLOOR	891 SF	1,249 SF	
SECOND FLOOR		690 SF	1,400 SF MAX
GARAGE	273 SF	273 SF	
TOTAL	1,164 SF	2,212 SF	2,800 SF
LOT AREA	5,227 SF	5,227 SF	
LOT COVERAGE	1,193 SF	1,828 SF	1,829 SF
	22.8%	34.9%	35%
FLOOR AREA RATIO	22.2%	42.3%	54%
LAND COVERED BY LANDSCAPING	50.0%	42.8%	
PAVED SURFACES	27.2%	22.3%	



JOB DIRECTORY

OWNER: BRIAN CHO & HOLLI KANG
515 GILBERT AVENUE
MENLO PARK, CA 94025
PH: 415-230-0087

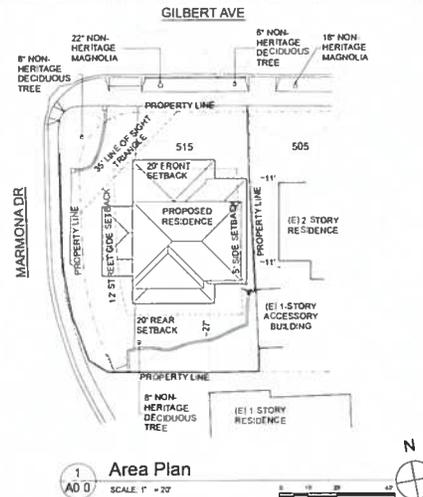
ARCHITECT: HEROM OGAWA / LYNN FISHER
OGAWA FISHER ARCHITECTS
715 COLORADO AVENUE SUITE D
PALO ALTO, CA 94301
PH: 415-230-0087

STRUCTURAL ENGINEER: SARAH LEONG / BILL HARRISON
SARAH LEONG CONSULTING ENGINEER
228 PERSIA STREET
SAN FRANCISCO, CA 94112
PH: 415-333-4314

SURVEYOR: WADE HAMMOND
LAND SURVEYOR PLS 6183
36860 NEWARK BLVD, SUITE C
NEWARK, CA 94560
PH: 510-578-8112

SCOPE OF WORK

ADD 358 SF HORIZONTAL ADDITION AND (N) 690 SF 2ND STORY TO (E) ONE-STORY HOME. SCOPE INCLUDES INTERIOR REMODEL OF (E) HOME.



1 AD 0 Area Plan SCALE: 1" = 20'

SHEET INDEX

ID	NAME
A0.0	Project Information
A0.1	Existing/Proposed Site Roof Plan
A0.2	Square Footage Calculations
A1.0	Existing/Demo First Floor Plan
A1.1	Proposed First Floor Plan
A1.2	Proposed Second Floor Plan
A2.0	Existing Exterior Elevations
A2.1	Proposed Exterior Elevations
A2.2	Proposed Exterior Elevations
A3.0	Building Sections
	Exterior Views
	Survey



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CHO/KANG RESIDENCE
REMODEL & ADDITION

515 Gilbert Ave
Menlo Park, CA 94025

APN: 062-342-080
OFA job number: 1516

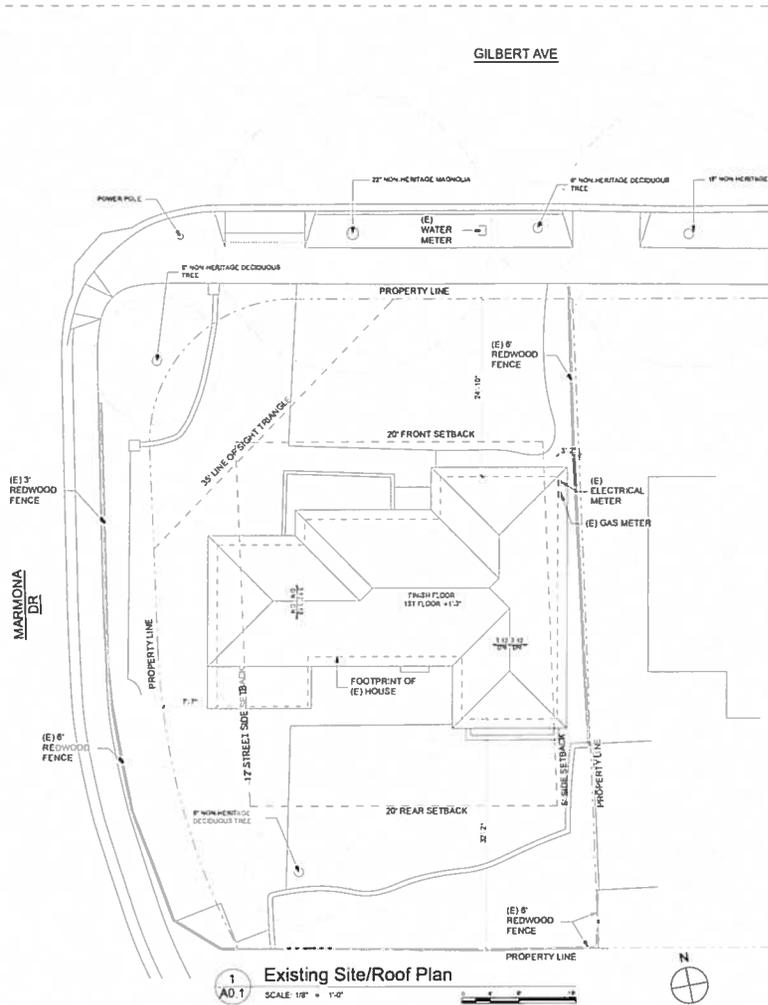
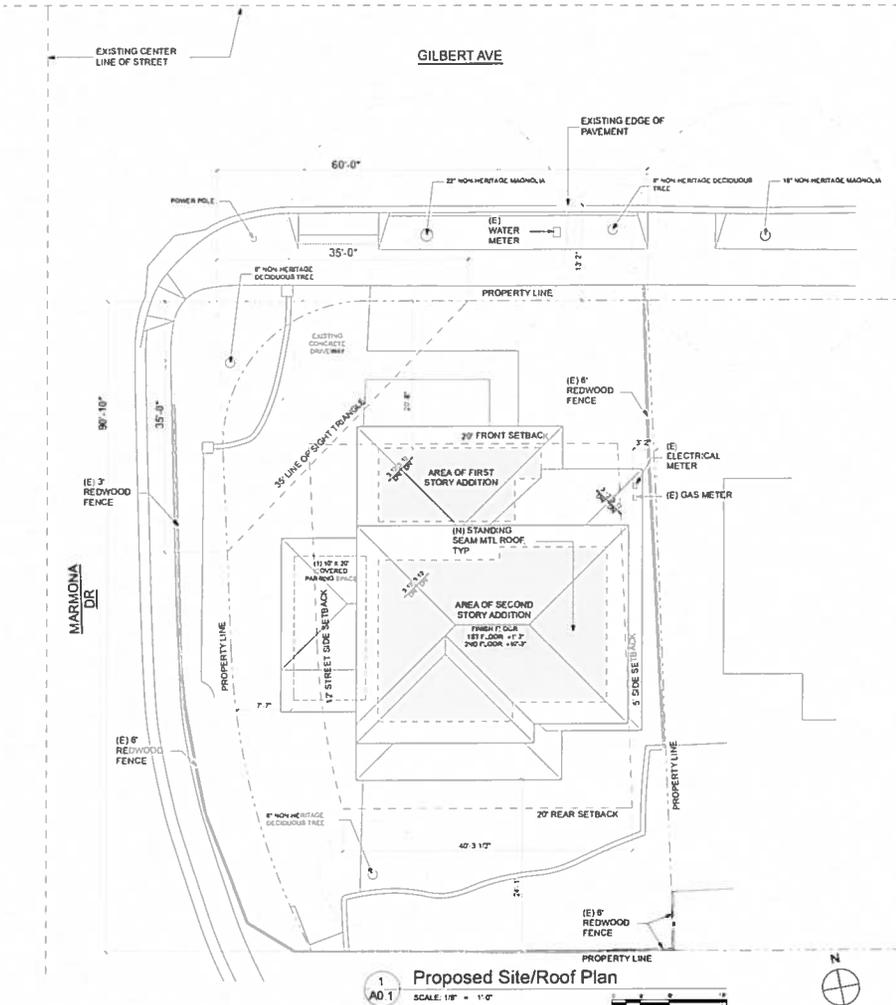
Use Permit Submittal 10/16/16

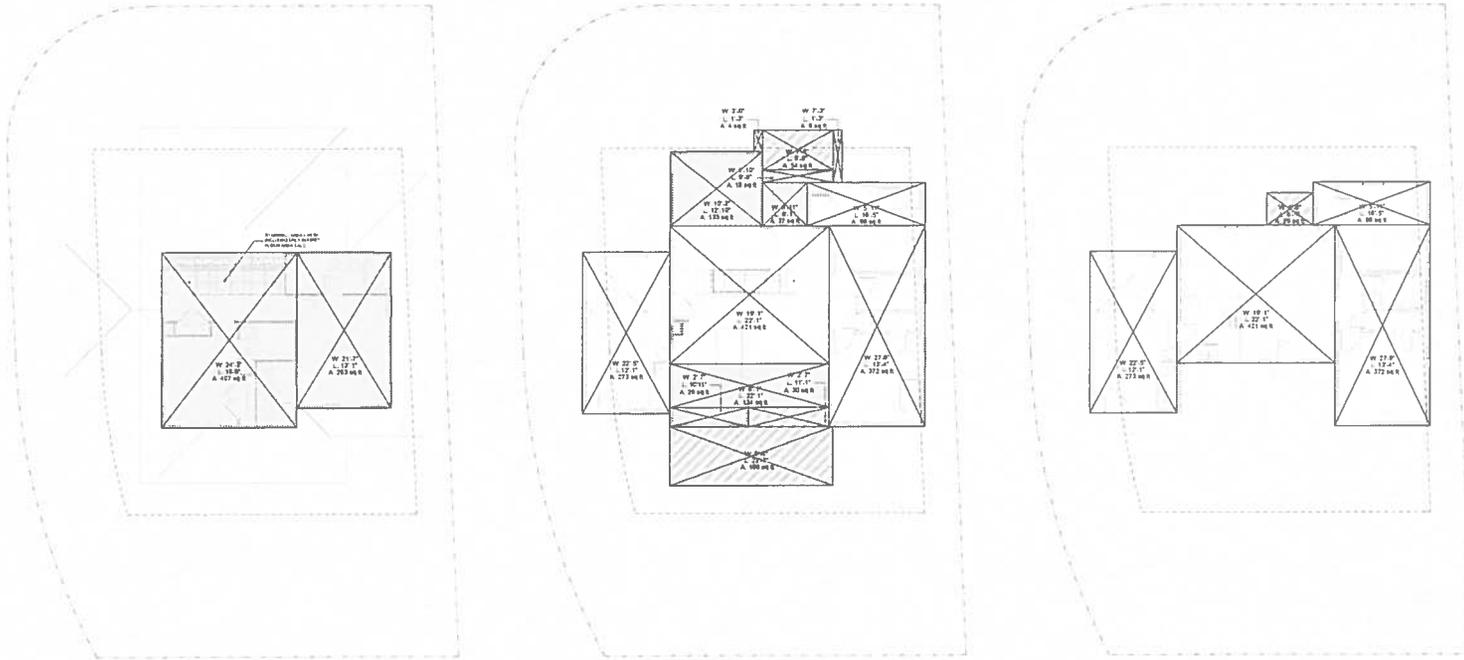
Project Information

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CITY OF MENLO PARK
BUILDING





3 Square Footage Calculation - Proposed Second Floor Plan
A0.2 SCALE: 1/8" = 1'-0"

2 Square Footage Calculation - Proposed First Floor Plan
A0.2 SCALE: 1/8" = 1'-0"

1 Square Footage Calculation - Existing First Floor Plan
A0.2 SCALE: 1/8" = 1'-0"

KEY:

	Existing
	Proposed
	Included in Building Coverage but not Floor Area

PROPOSED BUILDING COVERAGE:

First Floor	= 1272 SF
Garage	= 273 SF
Porch	= 283 SF
Total	= 1828 SF

PROPOSED FLOOR AREA:

First Floor	= 1243 SF
Garage	= 273 SF
Second Floor	= 630 SF
Total	= 2146 SF

EXISTING BUILDING COVERAGE:

First Floor	= 831 SF
Garage	= 273 SF
Porch	= 99 SF
Total	= 1193 SF

EXISTING FLOOR AREA:

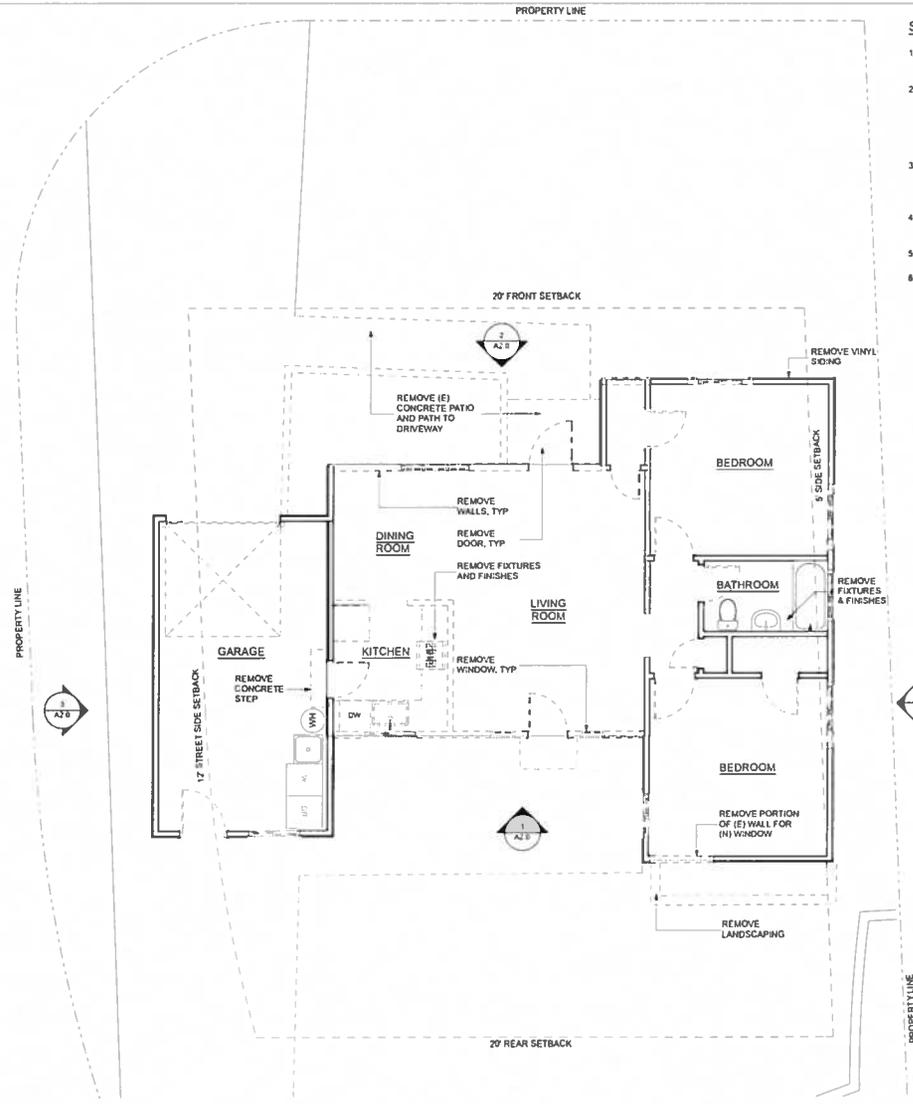
First Floor	= 831 SF
Garage	= 273 SF
Second Floor	= 0 SF
Total	= 1104 SF

Use Permit Submittal 10/10/16

**Square
Footage
Calculations**

Sheet number

A0.2



SHEET NOTES

1. CONTRACTOR SHALL KEEP JOBSITE CLEAN AND FREE OF DUST AND DEBRIS DURING NON-WORKING HOURS.
2. (E) FIXTURES, FINISHES AND EQUIPMENT OUTSIDE THE SCOPE OF WORK SHALL REMAIN INTACT AND SHALL BE PROTECTED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THEM TO THEIR ORIGINAL STATE WITHIN THE CONTRACT SUM.
3. ALL MATERIALS THAT CAN BE SALVAGED SHALL BE SALVAGED & PROPERLY STORED. ANY MATERIALS THAT CANNOT BE SALVAGED SHALL BE RECYCLED IF POSSIBLE.
4. PATCH AND REPAIR ALL INTERSECTIONS OF DEMOLISHED WALLS TO EXISTING WALLS TO REMAIN.
5. STOCKPILE AND PROTECT ALL (E) DOORS & HARDWARE FOR POSSIBLE RE-USE.
6. ERECT TEMPORARY SHORING AT BEARING WALLS PRIOR TO DEMO. CONSULT ENGINEER OF RECORD AS NEEDED FOR LOCATIONS OF THE BEARING WALLS.



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 APN 052 342-080
 OFA job number 1516

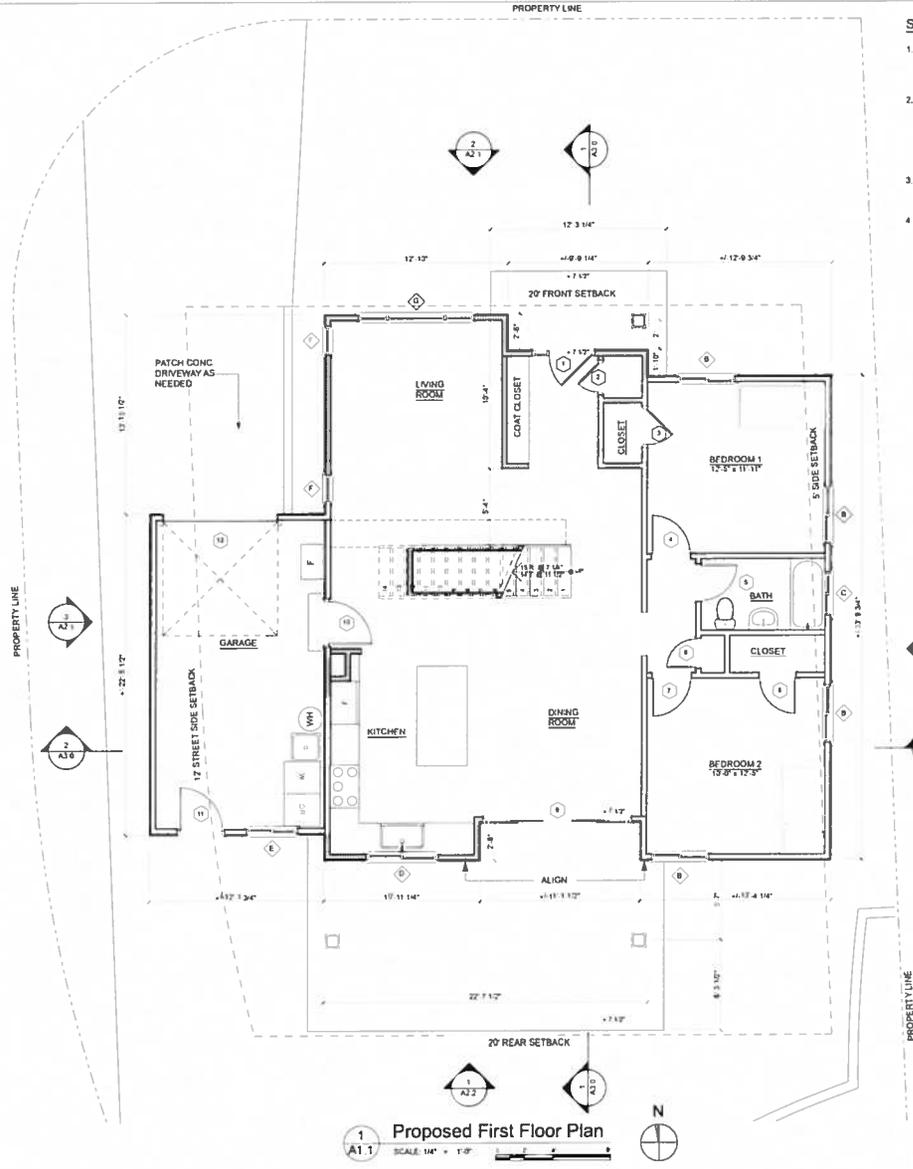
Use Permit Submittal 10/10/16

sheet name:
**Existing/Demo
 First Floor
 Plan**
 sheet number:

A1.0

1 Existing/Demo First Floor Plan
 A1.0 SCALE: 1/4" = 1'-0"





SHEET NOTES

1. PROVIDE FIRE-BLOCKING AT CEILING, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND CONCEALED DRAFT OPENINGS @ 18" O.C. MAX.
2. ALL NEW PARTITIONS TO BE TYPE P1A U.N.O. (2X4 FRAMING @ 16" O.C. W/ ACOUSTIC BATT INSULATION AND (1) LAYER 5/8" DVP.80 (EACH SIDE).
SEE SHEET AS 8 FOR ALL PARTITION TYPES (P10A, P02A, AND P1F).
3. INSTALL ACOUSTIC BATT INSULATION AT ALL OPEN BATHROOM AND BEDROOM PARTITIONS.
4. INSTALL "FULL HT TILE" AT ALL SHOWERS AND BATHTUB SURROUNDS. TILE SHALL EXTEND FROM TOP OF TUB OR TOP OF SHOWER PAN TO CEILING (72" MIN. ABOVE DRAIN PLET).



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OFA job number: 1516

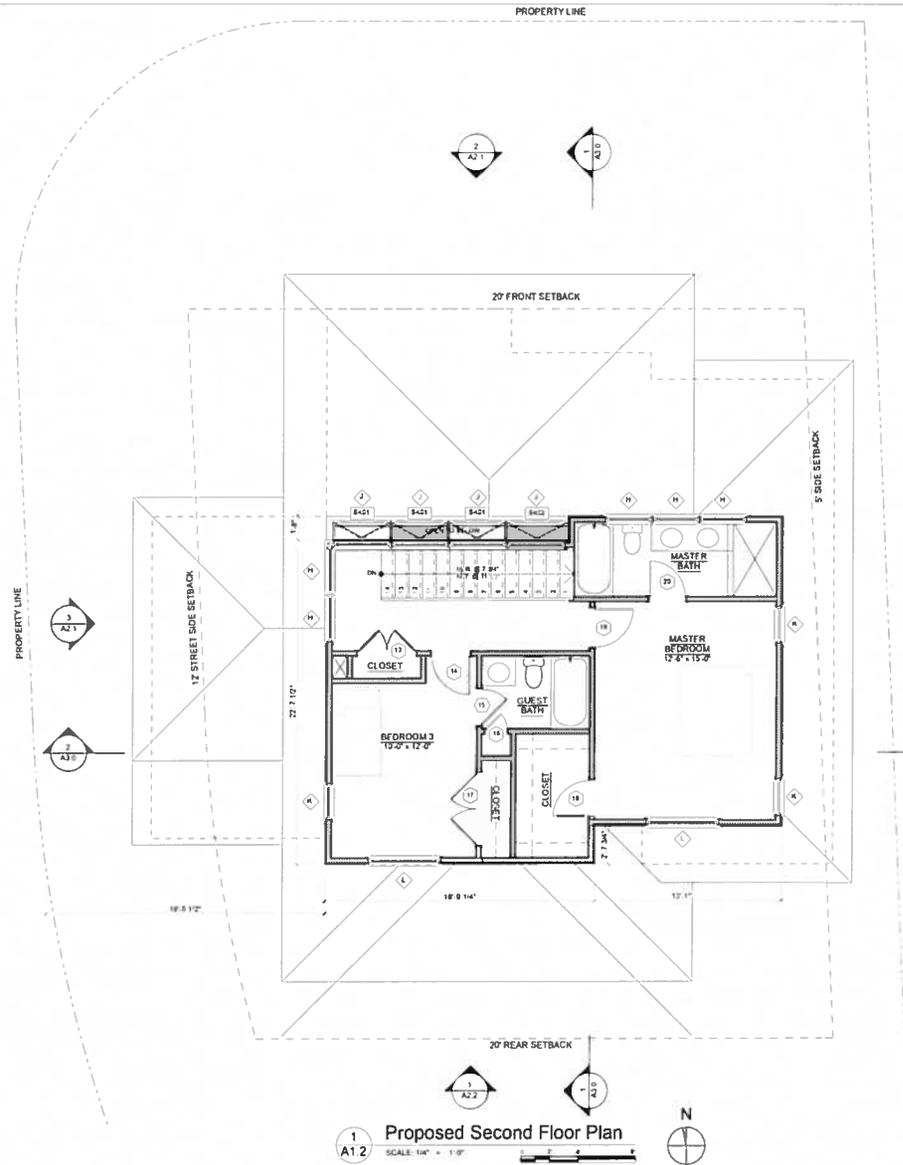
Use Perm Submittal 10/10/18

**Proposed First
Floor Plan**

A1.1

1
A1.1 Proposed First Floor Plan
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE							
ID	TYPE	MATL	NOMINAL WIDTH	NOMINAL HEIGHT	DETAILS		REMARKS
					HEAD	JAMB	
1			3"	6'-0"			
2			2"	6'-0"			
3			2'-6"	6'-0"			Replace (E) door (same size)
4			2'-8"	6'-0"			Replace (E) door (same size)
5			2'-4"	6'-0"			Replace (E) door (same size)
6			2"	6'-0"			Replace (E) door (same size)
7			2'-4"	6'-0"			Replace (E) door (same size)
8			2'-4"	6'-0"			Replace (E) door (same size)
9			12"	6'-0"			
10			3"	6'-0"			Replace (E) door (same size)
11			3"	6'-0"			Replace (E) door (same size)
12			8"	8"			Replace (E) door (same size)
13			4"	6'-0"			
14			2'-4"	6'-0"			
15			2'-4"	6'-0"			
16			1'-6"	6'-0"			
17			5"	6'-0"			
18			2'-4"	6'-0"			
19			2'-4"	6'-0"			
20			2'-6"	6'-0"			



SHEET NOTES

1. PROVIDE FIRE BLOCKING AT CEILING, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND CONCEALED DRAFT OPENINGS @ 19" O.C. MAX.
2. ALL NEW PARTITIONS TO BE TYPE P1A U.N.D. (2X4 FRAMING @ 16" O.C. W/ ACOUSTIC BATT INSULATION AND (1) LAYER 5/8" DRIP BD EACH SIDE).
SEE SHEET AS 9 FOR ALL PARTITION TYPES (P101A, P032A, AND P11).
3. INSTALL ACOUSTIC BATT INSULATION AT ALL OPEN BATHROOM AND BEDROOM PARTITIONS.
4. INSTALL "FULL HT TILE" AT ALL SHOWERS AND BATHTUB SURROUNDS. TILE SHALL EXTEND FROM TOP OF TUB OR TOP OF SHOWER PAN TO CEILING (72" MIN. ABOVE DRAIN W/LET).



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OFA job number: 15116

Use Permit Submittal 10/10/16

Proposed
Second Floor
Plan

A1.2



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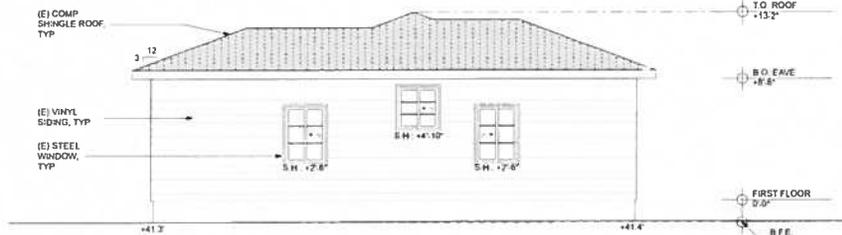
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OFA job number 15116

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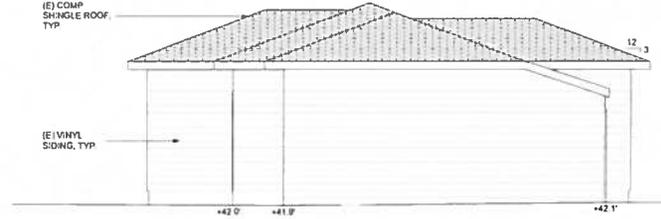
Existing
Exterior
Elevations

A2.0

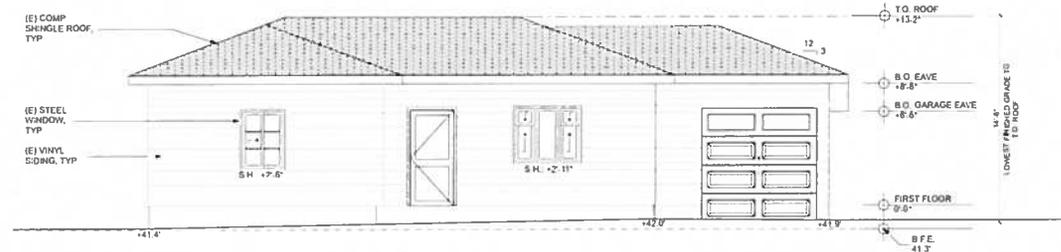
SHEET NOTES
1. ALL S.H. RELATIVE TO FINISH FLOOR



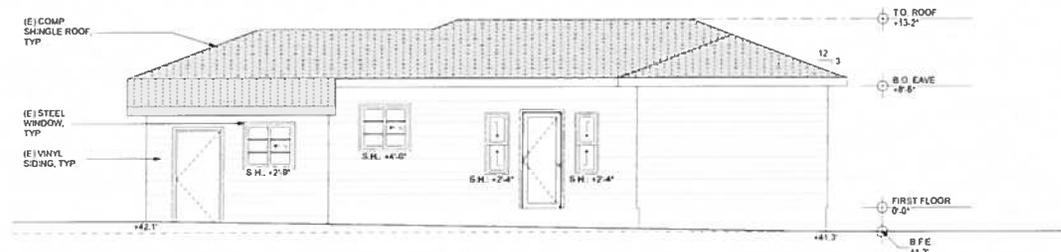
3 Existing East (Right Side) Elevation
SCALE: 1/4" = 1'-0"



4 Existing West (Left Side) Elevation
SCALE: 1/4" = 1'-0"



2 Existing North (Front) Elevation
SCALE: 1/4" = 1'-0"



1 Existing South (Rear) Elevation
SCALE: 1/4" = 1'-0"

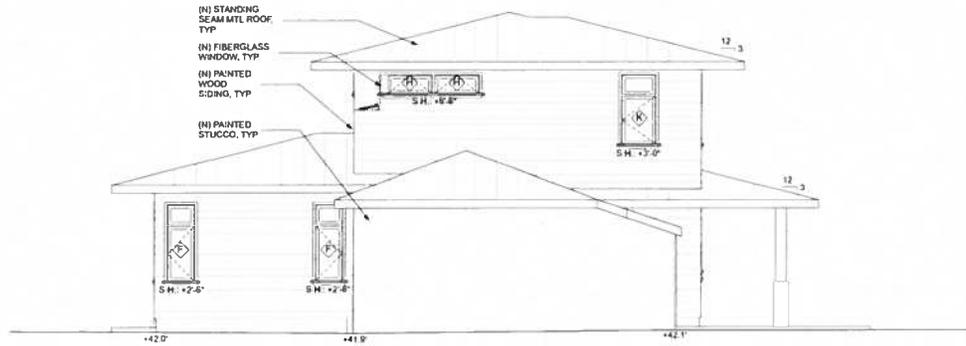
WINDOW SCHEDULE				
ID	SIZE	TYPE	FRAME TYPE	REMARKS
WIDTH	HEIGHT			
A	4'-0"	4'		
B	3'	4'-2 1/2"		Replace (E) window (same size)
C	3'	4'-2 1/2"		Replace (E) window (same size)
D	3'	3'-2 1/2"		
E	3'	4'-2 1/2"		Replace (C) window (same size)
F	3'	4'-2 1/2"		
G	1'-0"	1'-4"		
H	1'-0"	1'-4"		
J	3'-0"	3'-0"		
K	2'-0"	3'-0"		

SHEET NOTES
1 ALL S.H. RELATIVE TO FINISH FLOOR.

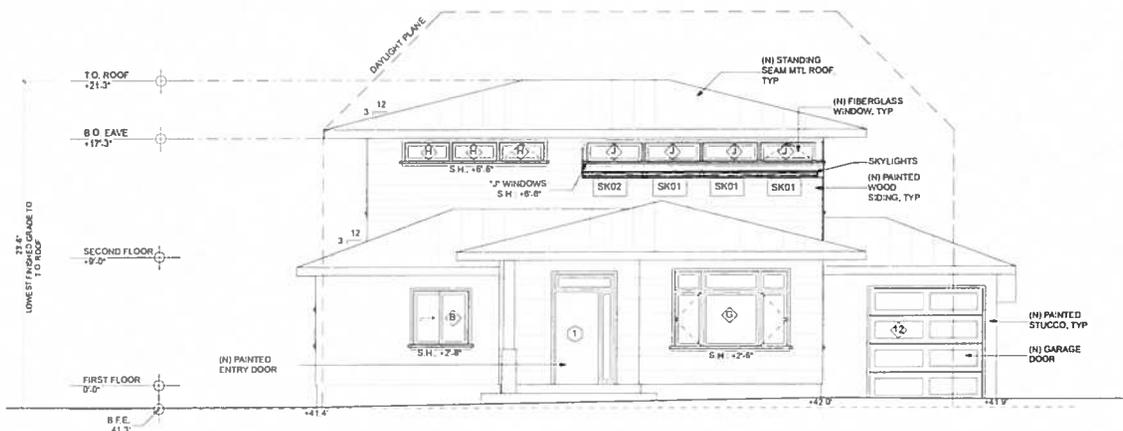


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2 Proposed West (Left Side) Elevation
SCALE: 1/4" = 1'-0"



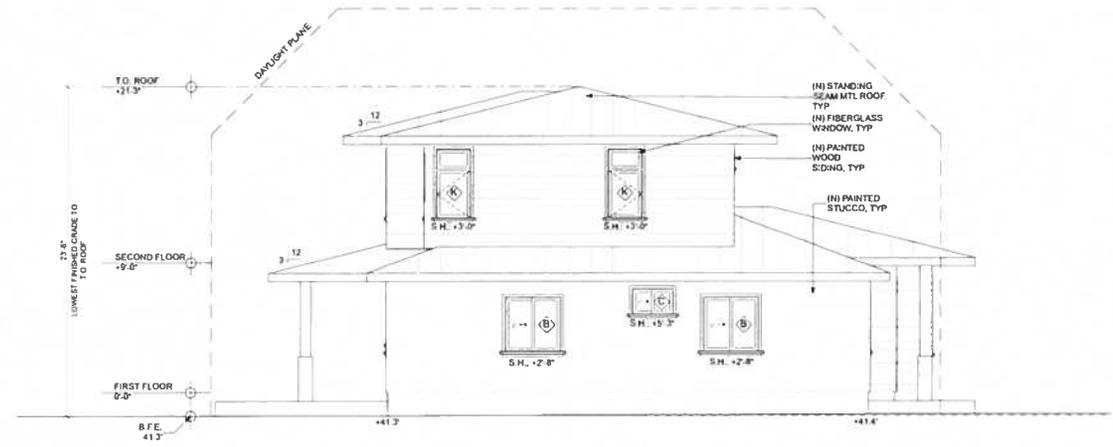
1 Proposed North (Front) Elevation
SCALE: 1/4" = 1'-0"

**CHO/KANG RESIDENCE
REMODEL & ADDITION**
515 Gilbert Ave
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APN 062 342 080
OFA job number 15116

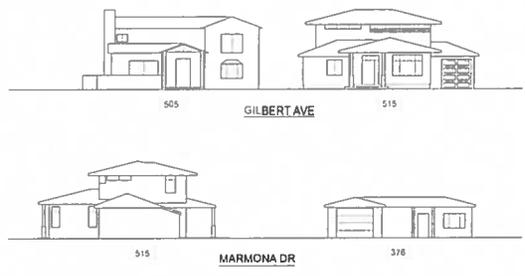
Use Permit Submittal 10/10/16
**Proposed
Exterior
Elevations**

A2.1

SHEET NOTES
1. ALL S.H. RELATIVE TO FINISH FLOOR.



2 Proposed East (Right Side) Elevation
SCALE: 1/4" = 1'-0"



3 Streetscape
SCALE: 1/8" = 1'-0"



1 Proposed South (Rear) Elevation
SCALE: 1/4" = 1'-0"

Use Permit Submittal 10/10/18

Proposed
Exterior
Elevations

A2.2

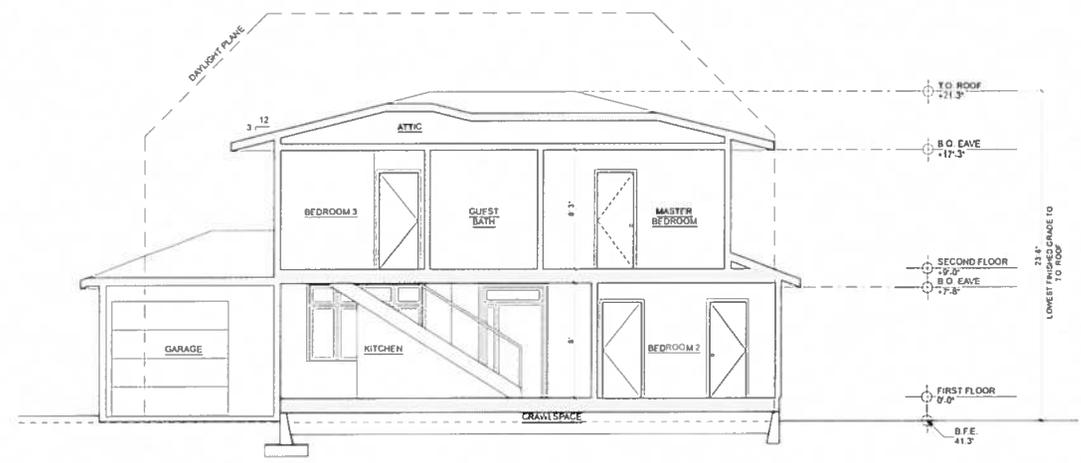


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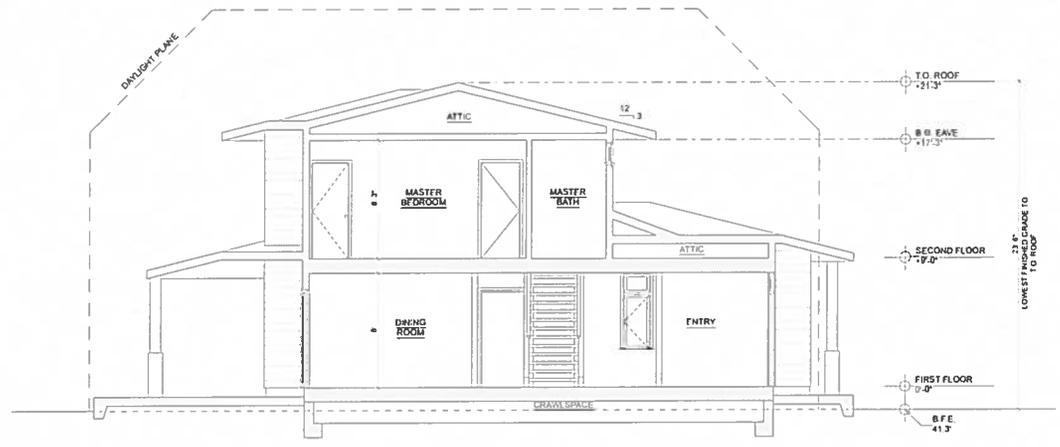
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CHO/KANG RESIDENCE
REMODEL & ADDITION

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APN: 062 342 080
OFA job number 1516



2 Cross Section Through (E) House & Proposed Second Story Addition
SCALE: 1/4" = 1'-0"



1 Longitudinal Section Through (E) House & Proposed Second Story Addition
SCALE: 1/4" = 1'-0"

revision

Use Permit Submittal 10/10/16
sheet name
Building Sections
sheet number

A3.0



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Street View



Rear View 1

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REMODEL & ADDITION

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Use Permit Submittal 10/10/16
sheet notes

Exterior Views
