



NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Use Permit/Molly Swenson/103 Gilbert Avenue: Request for a use permit to convert an existing spa to a medical office within an existing building on a parcel that is substandard with regard to parking in the C-2 (Neighborhood Shopping) zoning district. The parcel has 23 usable parking stalls where 23 are required. However, because 12 of the 23 parking stalls are located within required setbacks, only 11 stalls count toward the required parking.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Yesenia Jimenez, Associate Planner, at (650) 330-6732 or email her at yjimenez@menlopark.org. The Planning Division encourages submittal of comments and questions by October 10, 2016 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.





RECEIVED

AUG 29 2016

CITY OF MENLO PARK
BUILDING

August 29, 2016

Ori Paz
Planning Division
City of Menlo Park
701 Laurel Street
Menlo Park, CA 94025

Re: Use Permit Application for 103 Gilbert Street
Applicant: Packard Children's Health Alliance (PCHA)
Address: 103 Gilbert Avenue, Menlo Park
APN#: 062-368-030

Dear Ori,

Packard Children's Health Alliance ("PCHA") has prepared the enclosed Conditional Use Permit Application materials in support of its application to allow for a change of use at the property located at 103 Gilbert Avenue.

Background

The subject property is located within the C-2 Neighborhood Shopping District, and medical professional services are a permitted use per Section 16.38.010(3) of the Municipal Code. However, because the site is technically nonconforming with respect to parking—12 of the property's 23 stalls are located within required setbacks, and are thus not counted toward the overall site parking—a use permit revision is required per Section 16.80.020 of the Code.

In addition, the property is legal but nonconforming with respect to rear and right side setbacks, with a rear setback of 3.25' where a minimum of 20' is required, and a right side setback of 0' where a minimum of 20' is required. Section 16.80.030 of the Zoning Code limits alterations to legal but non-conforming structures to 25% of the value of the structure within a 12-month period unless a use permit is obtained. Because the value of the proposed work would exceed this 25% limit¹, PCHA is also requesting a use permit for alteration to a legal but nonconforming structure.

Description of Proposed Use and Consistency with the Zoning Code

PCHA proposes to locate a pediatric practice at the subject property, with the intent of serving the surrounding neighborhood. In order to prepare the property to accommodate a pediatric practice, PCHA proposes interior renovations to the main structure as shown in the accompanying plan set (see Sheet A102), namely conversion of the existing spa treatment and support spaces into exam rooms, physician offices, and medical support spaces. The existing reception and waiting area is also proposed to be renovated to create a child-friendly environment.

The detached accessory building shown on Sheet A001 would be utilized as a staff break room, and only minor interior cosmetic improvements are proposed for this space.

¹ According to the San Mateo County Assessor's office, the value of improvements as assessed in 2015 is \$322,923. Twenty-five (25) percent of this amount is \$80,731, and it is anticipated that construction costs for the proposed interior improvements would exceed this threshold.

No changes are proposed to the exterior of the building, though PCHA may seek a permit to allow for exterior signage after the City of Menlo Park has completed its use permit review.

PCHA intends to staff the facility with eight (8) full-time employees, as indicated below:

- (3) Full-time Pediatricians
- (2) Medical Assistants (MAs)
- (1) Registrar
- (1) Receptionist
- (1) Clinic Manager

Proposed hours of operation would be from 8am to 5pm.

As noted in the preceding section, the proposed use is consistent with the zoning for the site, as medical professional services are a permitted use in the C-2 neighborhood shopping district. (Section 16.38.010(3)).

Anticipated Parking Needs for the Proposed Use

PCHA anticipates that a maximum of nine patients would be present on site at any given time, accounting for overlap between appointments, assuming three patients per physician, and all exam rooms occupied. Taken together with staff, PCHA anticipates an overall maximum headcount for the building of 17 to 22, accounting for early arrivals as well as full exam room occupancy.² This proposed use would be less parking intensive than the current day spa use, which assumed a staffing level of 19, and an additional 9 to 13 customers on site, for a maximum of 28 to 32 people in the building at any one time.

The site provides 23 parking spaces, which is more than needed to accommodate the maximum staff and patient parking demand, assuming all staff and patients traveled to the site in single-occupant vehicles. However, given that PCHA intends to serve the surrounding neighborhood with this pediatric clinic, it is likely that some patients and parents would walk or bicycle to their appointments, thereby reducing parking demand. In addition, it is possible that some staff would commute to the site using alternative modes of transit. In the unlikely event that additional parking should be needed during times of peak occupancy, on-street parking on Gilbert Avenue could accommodate any additional parking needs.

Use Permit Approval Requirements

As outlined below, this proposed use meets the requirements of Section 16.82.030 of the Menlo Park Zoning code.

- **The proposed use will not be detrimental to the health, safety, morals, comfort, and general welfare of the persons residing or working in the neighborhood of such proposed use.** The proposed pediatric clinic use will maintain standard (8am – 5pm) operating hours, will provide sufficient off-street parking for its patients and staff, and will not be disruptive to the surrounding residential and commercial uses. The pediatric clinic is expected to be a benefit to the neighborhood, in that it will provide pediatric health care services to the immediate community.
- **The proposed use will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.** As noted above, the clinic will provide a community benefit, and will not be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the City.

² Note that each patient would be accompanied by a parent / caregiver. Parents and caregivers are not included in the headcount figures presented above, as they would be traveling together with the child / patient, and would not generate additional parking demand.

In support of this application, we have enclosed the following materials:

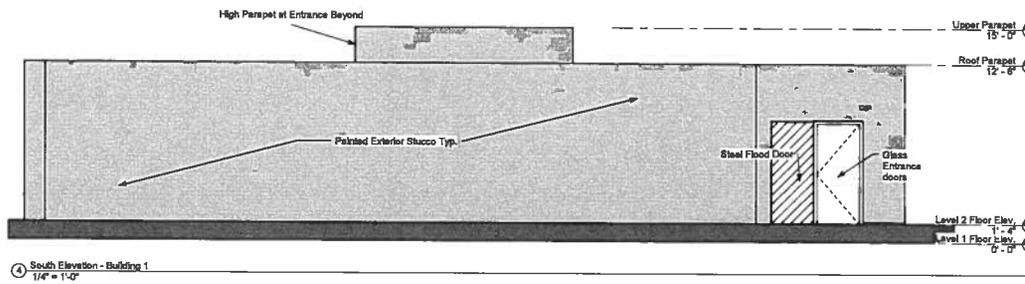
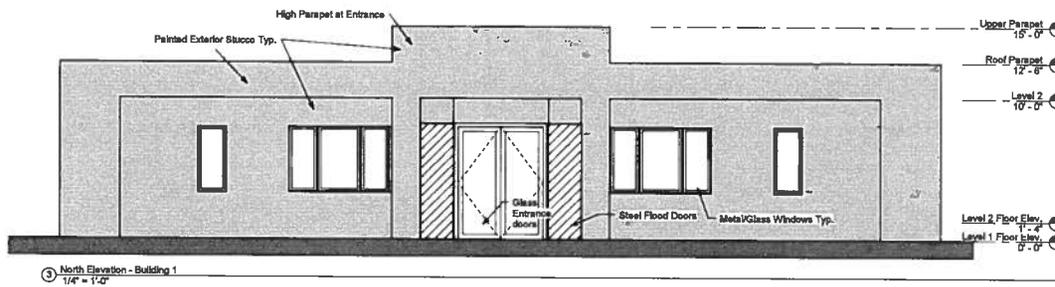
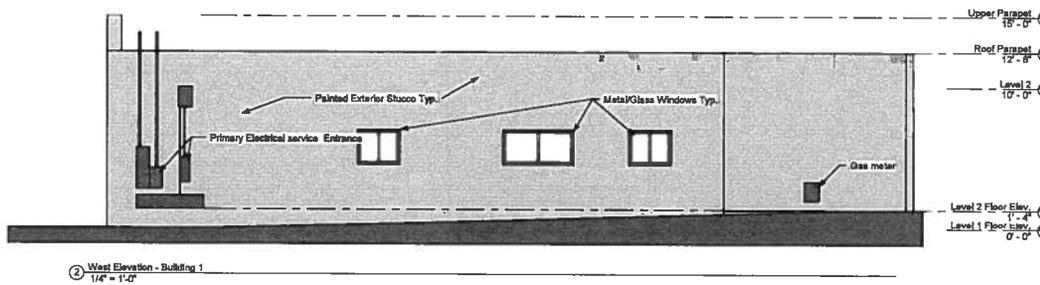
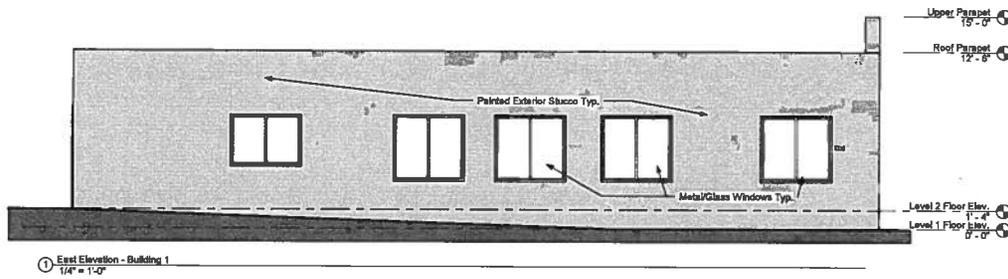
1. Signed Menlo Park Planning Application Form and fee deposit;
2. Planning Division Data Sheet for the subject property;
3. Plans showing the existing conditions and proposed improvements;
4. Color photographs of the site / street frontages.

If you have any questions or require any additional information, please do not hesitate to contact me.

Sincerely,



Molly Promes Swenson
Project Manager
Planning, Design + Construction
Stanford Medicine



Phone: 530.838.8744 • PO Box 1208 Shingler, Plumas, CA 95962 • www.greenboughdesign.com
11/02 MRC/MS/MS/MS/MS/MS/MS

Consultant Info

Packard Children's Health Alliance
Clinic Assessment
103 Gilbert Ave, Menlo Park CA

No.	Description	Date

Jurisdiction info #	
Greenbough Design Project #	16016
Drawn By	Author
Checked By	Checker
Issue Date	8-15-18
Issue Purpose	SCHEMATIC DESIGN - 8-15-18

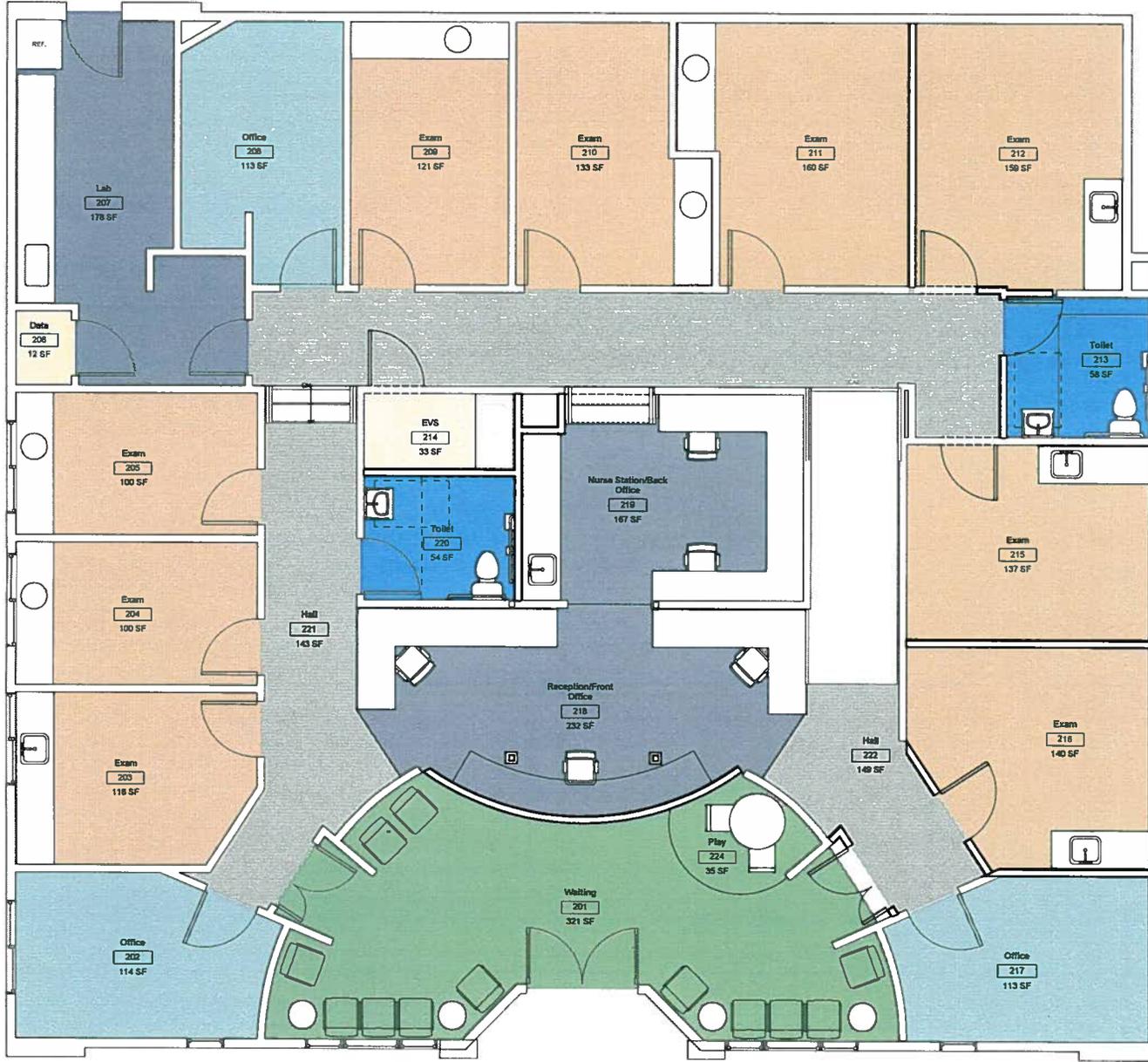


Sheet Name
Existing Exterior Elevations

Sheet Number
A003

SCHEMATIC DESIGN - 8-15-16

8/15/2018 11:08:08 AM



Department Legend

- Circulation
- Exam
- Mechanical
- Office
- Public
- Staff
- Support
- Toilet

1 Proposed New Plan
3/8" = 1'-0"



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Consultant Info

**Packard Children's
Health Alliance
Clinic Assessment**
103 Gilbert Ave, Menlo Park CA

No.	Description	Date

Jurisdiction Info #
Greenbough Design Project # 18018
Drawn By: Author
Checked By: Checker
Issue Date: 8-15-16
Issue Purpose: SCHEMATIC DESIGN - 8-15-16



Sheet Name
**Proposed Floor
Plan - Building 1**
Sheet Number

A102

8/15/2016 11:08:11
AM

SCHEMATIC DESIGN - 8-15-16