



NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Architectural Control/Ian Hamilton/2730 Sand Hill Road:
Request for architectural control review of exterior modifications to an existing office buildings in the C-1-C (Administrative, Professional and Research District, Restrictive) zoning district. The proposed exterior modifications would include replacing siding, modifying the exterior color scheme, site improvements and new landscaping.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Kaitie Meador, Associate Planner, at (650) 330-6731 or email her at kmmeador@menlopark.org. The Planning Division encourages submittal of comments and questions by October 10, 2016 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.



GENERAL NOTES

- A.I.A. Document A201 - General Conditions for the Performance of a Contract, is hereby incorporated into these drawings and shall be considered as part of the requirements for the completion of work.
- The Contractor shall thoroughly examine the premises and shall have his bid on the drawing conditions. The Contractor shall verify the actual immediacy of any discrepancies between the drawings and the actual field conditions.
- Prior to construction, discrepancies between the architectural and engineering drawings shall be reported to the Architect.
- The Contractor shall be responsible for providing all materials and workmanship in accordance with the applicable CBC, landscape codes and all applicable ordinances, including state and local building codes and requirements.
- The Contractor shall coordinate all work with the Architect and the Owner's Representatives.
- The Contractor shall provide temporary enclosures and perform the following work to a manner so as to cover the least disturbance to building occupants.
- The Contractor shall confirm in writing appointments on-site delivery dates for all construction items as required by the construction documents and shall notify the Architect in writing of any possible delays affecting occupancy.
- The Contractor shall provide a schedule for construction as required to meet the Owner's phasing requirements and ultimate completion date.
- The Contractor shall verify that no conflicts exist in the location of any and all mechanical, electrical, plumbing, lighting, plumbing and fire protection work including piping, ductwork and conduits, and that all clearances for installation and maintenance are provided.
- No work defective in construction or quality or deficient in any requirement of the contract documents will be acceptable in consequence of the Owner's or Architect's failure to discover or point out deficiencies or defects during construction. Defective work revealed within the time required by government code, shall be repaired by work conforming to the intent of the contract. No payment, other partial or full, shall be considered as acceptance of defective work or improper installation.
- The Contractor shall take care not to damage existing construction and shall be responsible for repairing all damages caused by the contractor or sub-contractors.
- The Contractor shall review, approve, stamp and submit with reasonable promptness and in such sequence as to cause no delay in the work, product data, shop drawings and samples for the project.
- By approving, stamping and installing shop drawings, product data and samples, the Contractor represents that he has determined and verified materials, field measurements, and field construction details related thereto, and that he has checked and coordinated the information within each submittal with the requirements of the work and contract documents.
- The Contractor shall not be relieved of responsibility for any deviations from the requirements of the contract documents by the Architect's review of the shop drawings, product data or samples, where the Contractor has specifically informed the Architect in writing of such deviations at the time of submission and the Architect has given written approval to the specific deviation.
- The Contractor shall submit to the Architect two (2) prints, typewritten, of each shop drawing submittal per item (2) copies of either printed data or samples.
- The Architect reserves no responsibility for dimensions or quantities on reviewed submittals.
- Substitutions, re-issues and/or changes must have prior written approval from the Architect.
- The Contractor shall, upon substantial completion, submit a complete set of "as-built" drawings to the Architect on CAD backgrounds provided by the Architect at the Owner's expense.
- The Contractor shall provide complete product data and related information appropriate for the Owner's maintenance & operation of products furnished under the contract.
- Work under this Contract shall be warranted by the Contractor against all defects for one (1) year from the date of substantial completion of the work or designated portions thereof or for one (1) year after acceptance by the Owner of designated equipment or as given by manufacturers if greater than one year. In case of latent remaining uncompleted after the date of substantial completion, the one-year warranty period shall be from date of acceptance of such item.
- Each trade shall examine the premises to insure that conditions are appropriate for its work to commence, prior to commencing its work. Areas not appropriate shall be brought to the attention of the Architects. Commencing work implies acceptance of existing conditions.
- All drawings & notes are considered complementary, & what is called for by either will be aninting as if called for by all. Any work shown or referred to on any one set of drawings shall be provided as though shown on all related drawings.

PROJECT INFORMATION

PROJECT DESCRIPTION: EXTERIOR IMPROVEMENTS

PROJECT ADDRESS: 2730 SAND HILL ROAD
MENLO PARK, CA 94025

OCCUPANCY: GROUP B OFFICE USE

TYPE OF CONSTRUCTION: TYPE V - II

ZONING: O-4C

TOTAL BUILDING AREA: 27,862 SQUARE FEET (APPROXIMATE)

PROPERTY OWNER: FORD LAND COMPANY
30TH AND HAMILTON
2000 SAND HILL ROAD
BUILDING 1, SUITE 120
MENLO PARK, CA 94025
T: 650.854.3000
F: 650.854.0031

APPLICABLE CODES: 2013 CALIFORNIA BUILDING, MECHANICAL, PLUMBING, ELECTRIC & ELECTRICAL CODES AND ALL STATE OF CALIFORNIA AMENDMENTS TO EACH OF THESE CODES AS ADOPTED BY THE CITY OF MENLO PARK.

SPRINKLERED: FULLY SPRINKLERED

DRAWING INDEX

ARCHITECTURAL DRAWINGS

PROJECT INFORMATION

A1.1 FLOOR PLAN - EXISTING CONDITIONS, 1st FLOOR (2nd FLOOR SIMILAR)

A1.2 FLOOR PLAN - EXISTING CONDITIONS, 2nd FLOOR (2nd FLOOR SIMILAR)

A1.3 ROOF PLAN - EXISTING CONDITIONS

A2.1 DEMOLITION PARTIAL PLANS - 2nd FLOOR (2nd FLOOR SIMILAR)

A3.1 NEW CONSTRUCTION PARTIAL PLANS - 1st & 2nd FLOOR (2nd FLOOR SIMILAR)

A4.1 EXTERIOR ELEVATIONS - EXISTING & PROPOSED

A4.2 ENLARGED ENTRY ELEVATION & SECTION

A5.1 RENDERED ELEVATION

A5.2 TRELLIS DETAILS, PHOTOS & MATERIALS INFORMATION

LANDSCAPE DRAWINGS

L0.1 LANDSCAPE DEMOLITION PLAN

L1.0 ILLUSTRATIVE LANDSCAPE PLAN

L2.0 GRADING PLAN

L3.0 SITE ELEVATIONS

L4.0 LANDSCAPE CONSTRUCTION DETAILS

L4.1 LANDSCAPE CONSTRUCTION DETAILS

L5.0 PLANTING SCHEDULE

Jay Adams DESIGN

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TITLE 24 ACCESSIBILITY COMPLIANCE NOTES

- THE EXISTING PARKING AND PATH OF TRAVEL TO THE AREA OF WORK ARE IN COMPLIANCE FOR DISABLED ACCESSIBILITY AS REQUIRED BY THE STATE OF CALIFORNIA, CODE CHAPTER 11A, DETAILS 1.2 & 2.
- THE TOILET ROOMS SERVING THIS BUILDING FULLY COMPLY WITH DISABLED ACCESSIBILITY REQUIREMENTS OF CBC CHAPTER 11A.

SCOPE OF WORK DESCRIPTION

THIS PROJECT CONSISTS OF LIMITED EXTERIOR IMPROVEMENTS TO AN EXISTING 27,862 SQUARE FOOT THREE STORY BUILDING. THE BUILDING OWNER PROPOSES TO DO THE FOLLOWING:

ARCHITECTURAL SCOPE DESCRIPTION

- REMOVE EXISTING CANTILEVERED METAL & GLASS CANOPY ABOVE THE MAIN SOUTH ENTRANCE.
- REPLACE EXISTING 2ND & 3RD FLOOR WINDOWS IN ENTRY BAY ONLY WITH NEW FULL HEIGHT WINDOWS, NEW GLASS TINT TO MATCH EXISTING WINDOWS.
- REPLACE EXISTING PARTIES IN WOOD BRANDED PANELS IN ENTRY BAY ONLY WITH NEW BACK-PARTIATED GLASS BRANDED PANELS. GLASS COLOR TO BE SIMILAR TO EXISTING PAINT COLOR.
- FURNISH & INSTALL NEW OPEN STEEL TRELLIS AT EXISTING BIOWALK IN FRONT OF MAIN BUILDING ENTRY. TRELLIS TO BE PAINTED TO MATCH EXISTING WINDOW FRAMES.

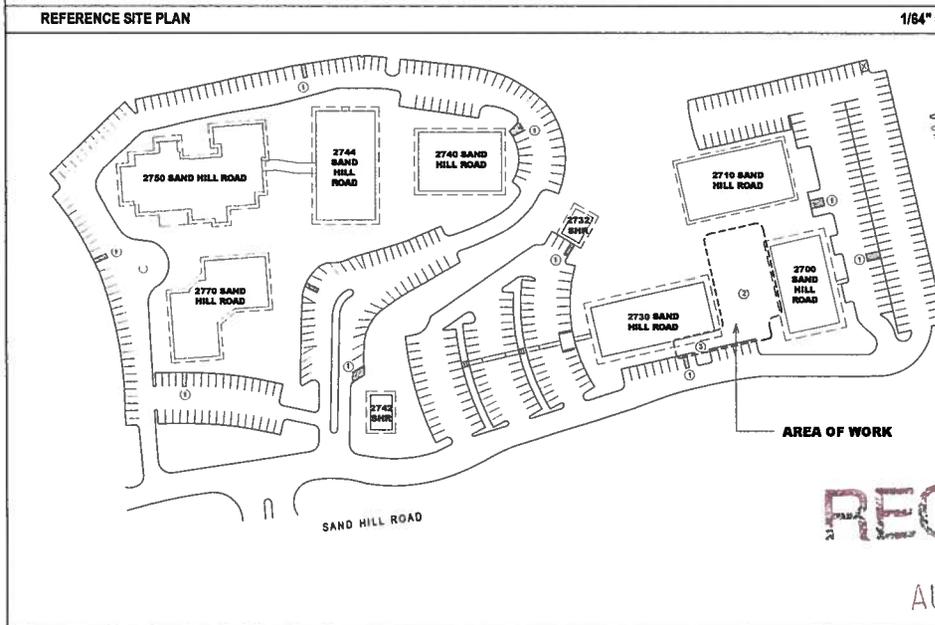
LANDSCAPE ARCHITECTURAL SCOPE DESCRIPTION

- NEW SITE FURNISHINGS INCLUDING PLANTERS, BENCHES & PICNIC TABLE.
- REMOVE (5) EXISTING TREES, NONE OF WHICH MEETS "HERITAGE TREE" DEFINITION PER MENLO PARK CODE CHAPTER 12.24.
- PLANT APPROXIMATELY (8) NEW TREES, NEW SHRUBS & NEW GROUNDCOVER. ALL NEW PLANTING TO COMPLY WITH MENLO PARK MODEL WAVEY EFFICIENT LANDSCAPE ORDINANCE (MWELO).
- REMOVE 3332 SQ. FT. OF EXISTING PARKING AND REPLACE WITH 1185 SQ. FT. OF NEW CONCRETE & UNIT PAVERS, BASED ON THE LIMITED AREA OF NEW & REPLACED PARKING. THIS PROJECT MEETS "SMALL PROJECT" DEFINITION PER PROVISION C.3.1 OF THE 2015 BLUEPRINT REGIONAL PLANNING PLAN. PARKING WILL BE DIRECTED FROM WALKWAYS AND TERRACE AS FAR AS PRACTICABLE TO VEGETATED AREAS, WHERE POSSIBLE.

NO HAZARDOUS MATERIALS WILL BE USED OR STORED AT THE SITE. ALL NEW WORK WILL COMPLY WITH THE DISABLED ACCESSIBILITY REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11B. THE EXISTING PARKING AND PATH OF TRAVEL SERVING THE BUILDING MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE SECTION 11B-202.4.

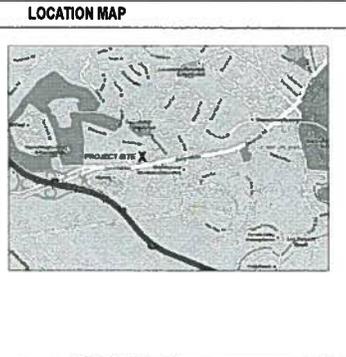
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LANDSCAPE ARCHITECT
FGA Design
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Oakland, CA 94612
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KEY NOTES

- EXISTING ACCESSIBLE PARKING STALL.
- LOCATION OF PROPOSED LANDSCAPE IMPROVEMENTS. SEE LANDSCAPE ARCHITECT'S DRAWINGS.
- LOCATION OF PROPOSED FACADE IMPROVEMENTS AT MAIN BUILDING ENTRANCE.



PROJECT NORTH

PROJECT NUMBER: 1912
DRAWING SCALE: AS NOTED

Exterior Improvements
2730 Sand Hill Road
Menlo Park, CA 94025

Project Information

A0.1

RECEIVED

AUG 29 2016

CITY OF MENLO PARK
BUILDING

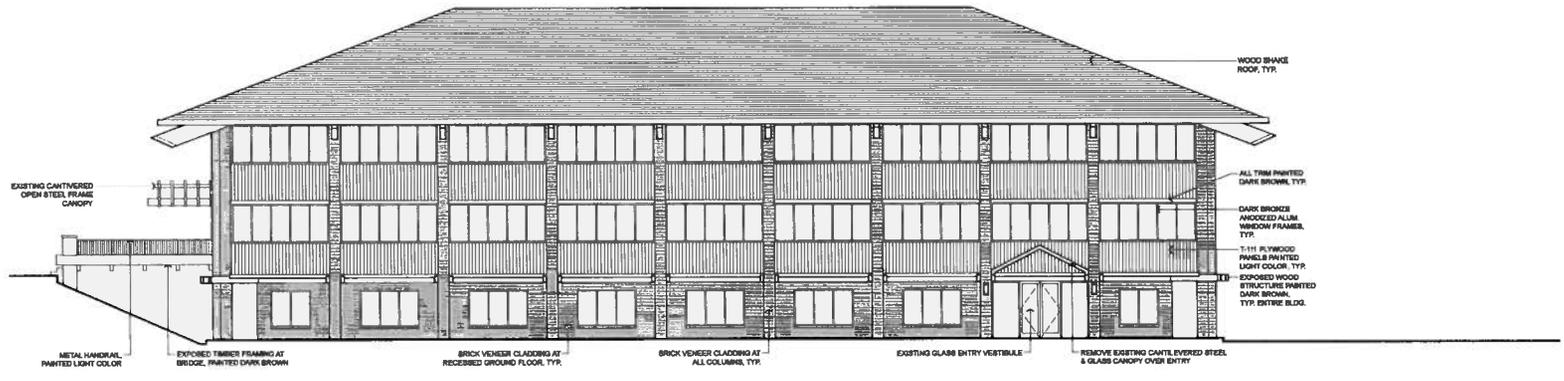
All drawings and written material appearing herein constitute original and unaltered work of the Architect and may be duplicated, used or disclosed without consent of the Architect. If this drawing is not 11" x 17", then the drawing has been reduced from its original size. Noted scales must be adjusted. This the sheet equal usually one inch.

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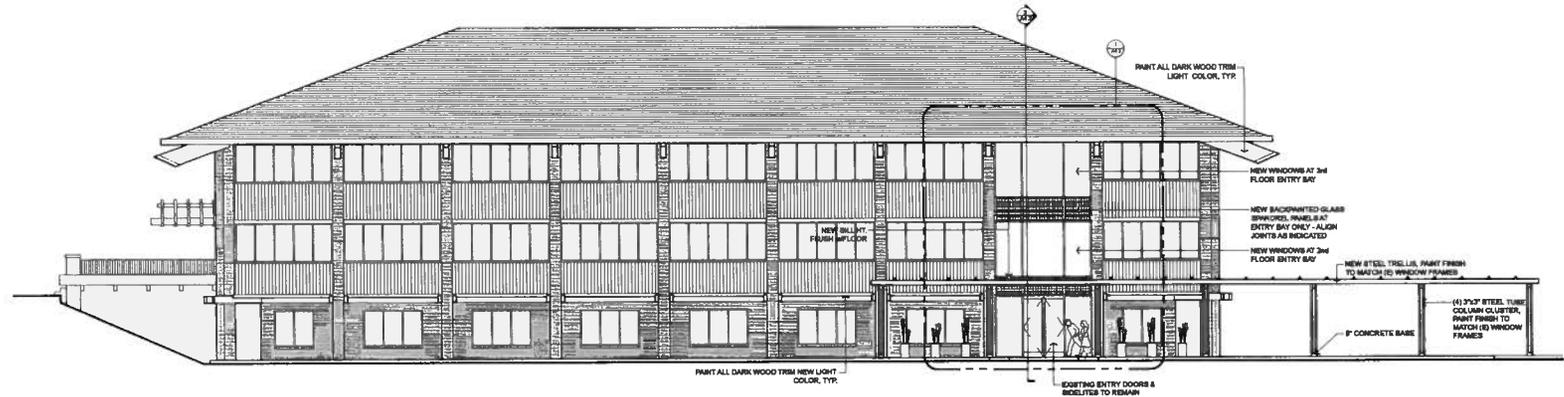


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SOUTH ELEVATION - EXISTING FACADE 1
1/8" = 1'-0"



SOUTH ELEVATION - PROPOSED FACADE 2
1/8" = 1'-0"

SYMBOL KEY	DESCRIPTION
	DRAWING REVISION
NO. DATE DESCRIPTION	
01 05.16 Issue for Review & Coordination	
02.05.16 Issue for Planning Review	



PROJECT NUMBER: 1812
DRAWING SCALE: AS NOTED

Exterior Improvements
2730 Sand Hill Road
Menlo Park, CA 94025

Exterior Elevations - Existing & Proposed

A4.1

All drawings and written material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without consent of the Architect. If this drawing is not 34" x 36", then the drawing has been revised from its original size. Printed notes must be adjusted. This line should equal exactly one inch.



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SYMBOL KEY	DESCRIPTION
[Symbol]	SHADING INDICATOR
[Symbol]	SHADING REVISION
NO. DATE DESCRIPTION	
01 04.18 Issue for Review & Coordination	
02 08.18 Issue for Printing & Tender	

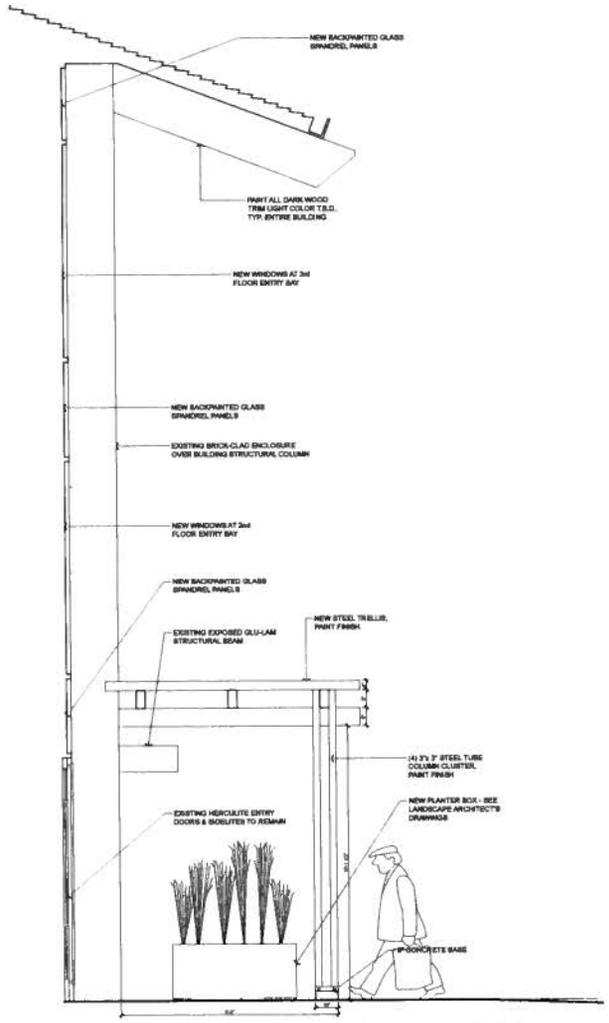


PROJECT NUMBER: 1513
DRAWING SCALE: AS NOTED

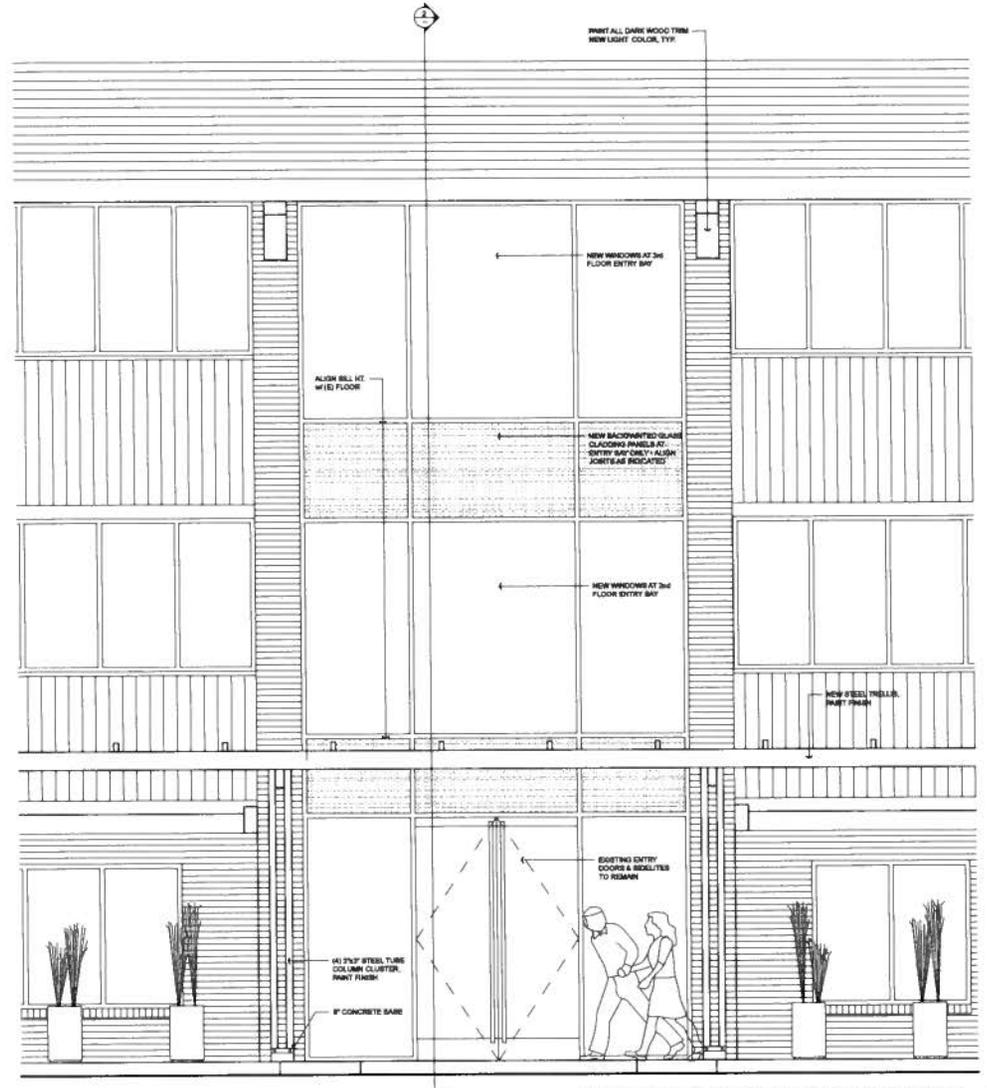
Exterior Improvements
2730 Sand Hill Road
Menlo Park, CA 94025

**Enlarged Entry
Elevation & Section**

A4.2



SECTION THROUGH MAIN SOUTH ENTRANCE
1/2" = 1'-0" ②



ENLARGED SOUTH ELEVATION - MAIN BUILDING ENTRY
1/2" = 1'-0" ①

All drawings and written material appearing herein constitute original work of the Architect and may not be duplicated, used or disclosed without consent of the Architect. If this drawing is not 24" x 36", then the drawing has been reduced from its original size. Printed matter must be legible. This line should equal exactly one inch.

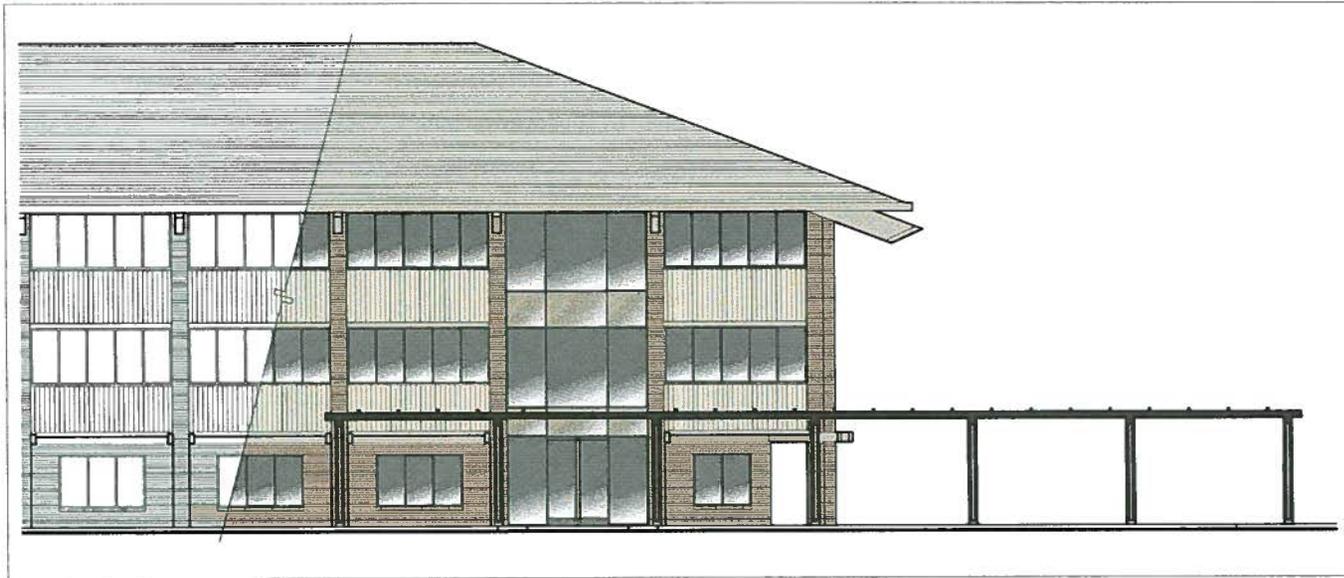
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PARTIAL SOUTH ELEVATION - RENDERED ①
N.T.S.

SYMBOL KEY		□	□	□	□
NO.	DATE	DESCRIPTION	REVISION	REVISION	REVISION
01	04.08.18	Issue for Review & Construction			
02	09.26.18	Issue for Plotting/Printing			



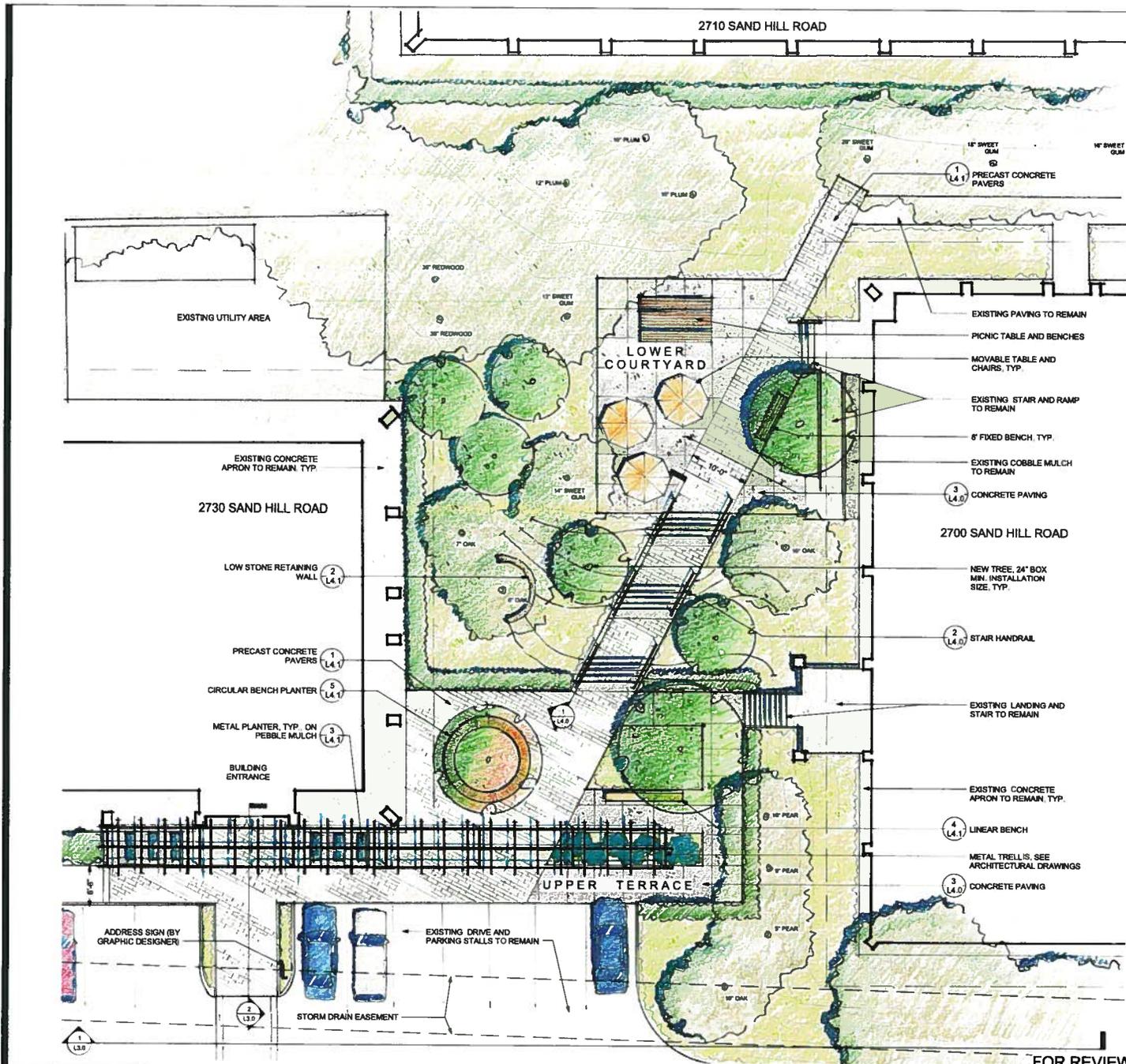
PROJECT NUMBER: 1912
DRAWING SCALE: AS NOTED

Exterior Improvements
2730 Sand Hill Road
Menlo Park, CA 94025

Rendered Elevation

A5.1

All drawings and related material appearing herein constitute original and unpublished work of the Architect and may not be duplicated, used or disclosed without consent of the Architect. If this drawing is not 34" x 36", then the drawing has been reduced from its original size. Model scales need to be adjusted. This line should equal exactly one inch:



LANDSCAPE LAYOUT NOTES

1. THE TOTAL NEW AND REPLACED IMPERVIOUS AREA FOR THE PROJECT IS 4195 SQUARE FEET. IT IS THEREFORE CONSIDERED A SMALL PROJECT AS DESCRIBED IN PROVISION C.3.1 OF THE 2015 MUNICIPAL REGIONAL STORMWATER PERMIT. THE PROJECT IS PROPOSING TO DIRECT RUNOFF FROM WALKWAYS AND TERRACE AREAS TOWARDS VEGETATED AREAS WHEREVER POSSIBLE, AS INDICATED ON THE GRADING PLAN, SHEET L2.0.
2. DIMENSIONS ARE FROM OUTSIDE FACE OF BUILDING WALLS, OR CURB UNLESS OTHERWISE NOTED, AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND MAJOR EXCAVATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING UNLESS OTHERWISE NOTED. ANGLES TO BE RIGHT ANGLES, ARCS WHICH APPEAR TANGENT AND UNIFORM ARE TO BE TANGENT AND UNIFORM, LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ITEMS WHICH APPEAR CENTERED TO BE CENTERED. MAINTAIN LINES TRUE, LEVEL, PLUMB, AND SQUARE.
3. REFER TO GRADING PLANS FOR GRADING AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF WALKS, WALLS, FOOTINGS, AND OTHER STRUCTURES.
4. LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN THE FIELD PRIOR TO CONSTRUCTION AT TIME OF FIRST SITE VISIT AND BEFORE ANY MAJOR EXCAVATION. THE GENERAL LAYOUT OF SITE ELEMENTS SHOULD BE CONFIRMED IN A SEPARATE SITE VISIT. LANDSCAPE ARCHITECT TO CONFIRM LAYOUT OF FORMS.
5. VERIFY THAT CONDUITS AND SLEEVES ARE PLACED PRIOR TO POURING CONCRETE PAVING.
6. LOCATE ELECTRICAL JUNCTION BOXES FOR LIGHTS IN PLANTING AREAS UNLESS SHOWN OTHERWISE. LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO TRENCHING.
7. CAREFULLY REVIEW LANDSCAPE IRRIGATION PLANS AND NOTES TO IDENTIFY LOCATIONS WHERE PIPE, SLEEVES, SANDBED OR CONDUIT MUST BE PLACED PRIOR TO PLACEMENT OF FORMWORK FOR INSTALLATION OF CONCRETE, OTHER PAVING, OR WALLS. COORDINATE WITH OTHER TRADES TO INSTALL IRRIGATION PIPE, SLEEVE, SANDBEDDING, OR CONDUIT. SHOULD CONFLICTS ARISE REVIEW WITH OWNER'S REPRESENTATIVE FOR RESOLUTION.
8. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY. VERIFY QUANTITIES AND NOTIFY OWNER OF DISCREPANCIES.

PRELIMINARY PLANT LIST

BOTANICAL NAME	COMMON NAME
TREES	
<i>Ginkgo biloba</i>	Ginkgo
<i>Magnolia acuminata</i>	Saucer Magnolia
<i>Ulmus americana 'Frontier'</i>	Frontier Elm
<i>Zelkova serrata</i>	Japanese Zelkova
SHRUBS	
<i>Cornus 'Dusky Belle'</i>	Australian Fuchsia
<i>Lonicera nitida 'Magnum'</i>	Box Honeysuckle
<i>Olea europaea 'Nortra'</i>	Dwarf Olive
GROUNDCOVERS & GRASSES	
<i>Arctostaphylos edmundii 'Carmel Sur'</i>	Carmel Sur Manzanita
<i>Festuca californica</i>	California Fescue
<i>Myoporum parvifolium</i>	Creeping Myoporum
GROUNDCOVERS & GRASSES	
<i>Bambusa multiplex 'Alphonse Karr'</i>	Alphonse Karr Bamboo
<i>Eleocharis capensis</i>	Horsetail Resso
<i>Equisetum hyemale</i>	Horsetail

PLANTING WILL COMPLY WITH THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). SEE SHEET L5.0 FOR PLANT IMAGES.



Courtyard Renovation
2730 Sand Hill Road
Menlo Park, CA 94025

DRAWING STATUS

Prepared	_____	DATE	_____
Checked	_____		
Reviewed	_____		
Approved	_____		

ADDRESS

No.	Rev.	Description

Illustrative Landscape Plan



DATE: 06/26/16
SCALE: 1/8" = 1'-0"
CJ CG

L1.0

