



## NOTICE OF APPLICATION SUBMITTAL CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Use Permit/Yu Wu/1048 Menlo Oaks Drive:

Request for a use permit for an addition and interior modifications to an existing, nonconforming one-story, single-family residence on a lot in the R-1-U (Single-Family Urban) zoning district. The value of the work would exceed 75 percent of existing replacement value in a 12-month period.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Ori Paz, Planning Technician, at (650) 330-6711 or email him at [oripaz@menlopark.org](mailto:oripaz@menlopark.org). The Planning Division encourages submittal of comments and questions by October 4, 2016 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

*Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.*





**VICINITY MAP**

**GENERAL INFORMATION**

**PROPERTY ADDRESS:** 1048 MENLO OAKS DR., MENLO PARK CA 94025  
**APN:** 045-021-000  
**DESCRIPTION OF WORK:** BACK SIDE ADDITION CONCRETE BATH, 75 SQ. FT. FRONT SIDE ADDITION 289 SQ. FT. CHS FRONT LANDING 35.5 SQ. FT. REARLAND AREA

**ARCHITECT OF RECORD:** SUSAN CHEN  
 80370 TOWN CENTER LN. SUITE 139  
 CUPERTINO, CA 95070  
 408.845.0577

**EDMUNG:** R-1-U  
**OCCUPANCY GROUP:** R-3U  
**TYPE OF CONSTRUCTION:** NIB  
**STORIES:** ONE STORY

**LOT SIZE:** 6,185 SQ. FT.

**FLOOR CALCULATION**

CODE & REGULATION		
(E) LIVING FLOOR AREA	1,320 SQ. FT.	
(E) PORCH	48 SQ. FT.	
(E) GARAGE	388 SQ. FT.	
<b>TOTAL BUILDING ON SITE</b>		
	1,757 SQ. FT.	
<b>NEW ADDITION AREA</b>		
NEW FRONT ADDITION, LIVING	99.6 SQ. FT.	
NEW BACK ADDITION, LIVING	75.0 SQ. FT.	
NEW LANDING	35.5 SQ. FT.	
<b>&lt;N&gt; TOTAL PROPOSED LIVING AREA</b>	2,000 SQ. FT.	
<b>&lt;N&gt; TOTAL PROPOSED BUILDING AREA</b>	2,487 SQ. FT.	
<b>&lt;N&gt; PROPOSED LIVING FAR (18,000/188)</b>	33.3%	
<b>&lt;N&gt; PROPOSED LOT COVERAGE (3,467/1,853)</b>	39.9%	
<b>BUILDING COVERAGE FOR LOT UNDER 7,000 = 40% @ 1.88@40%</b>	3,474 SQ. FT.	
<b>FLOOR AREA LIMIT (F.A.L.) LOTS BETWEEN 5,000-7,000 SQ. FT.</b>	2,800 SQ. FT.	
<b>LAND COVERED BY STRUCTURES</b>	40%	
<b>LANDSCAPING</b>	40.4%	
<b>PAVED SURFACES</b>	19.6%	
<b>PARKING SPACES</b>	0 COVERED	

**PROPERTY SETBACKS**

SETBACK:	REQUIRED:	PROPOSED:
FRONT:	30'-0"	30'-0"
SIDE:	5'-0"	8'-0"
REAR:	30'-0"	31'-10"
MAX. HEIGHT:	35'-0"	NO CHANGE

**CODE & REGULATION**

ALL WORK TO COMPLY WITH THE 2013 C.B.C., C.M.C., C.P.C. & 2013 C.C.C., CALIFORNIA TITLE 24 AMENDMENTS, AND CITY OF SAN MATEO

BUILDING CODE USED PERFORM THE WORK ACCORDING TO THE BUILDING CODES, ORDINANCES AND LAWS OF THE AUTHORITY HAVING JURISDICTION OF THE PROJECT WHICH INCLUDE BUT ARE NOT LIMITED TO:

- A. 2013 CALIFORNIA BUILDING CODE
- B. 2013 CALIFORNIA RESIDENTIAL CODE
- C. 2013 CALIFORNIA MECHANICAL CODE
- D. 2013 CALIFORNIA PLUMBING CODE
- E. 2013 CALIFORNIA ELECTRICAL CODE
- F. 2013 CALIFORNIA FIRE CODE
- G. 2013 CALIFORNIA GREEN BUILDING STANDARD CODE
- F. CITY OF MENLO PARK MUNICIPAL CODE

**OTHER PLAN NOTES**

0 4 8 16  
 SCALE: 1/8" = 1'-0"

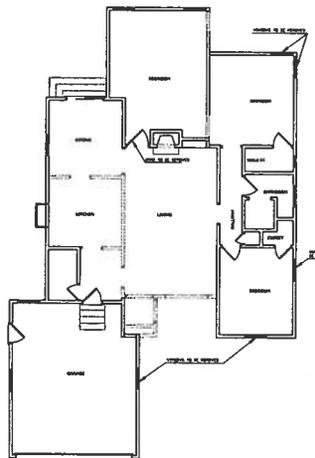
**ARCHITECTURAL**

- A-1.0 COVER SHEET / SITE PLAN / DEMO PLAN
- A-2.0 PROPOSED FLOOR/ELECTRIC PLAN
- A-3.1 FLOOR/CEILING COVERAGE BLOCK DIAGRAMS
- A-3.2 NEW WORK VALUE BLOCK DIAGRAMS
- A-3.3 PROPOSED ELEVATIONS/SCULPTURE
- A-3.3 CROSS SECTION/ROOF PLAN

**PROJECT DATA**

**GENERAL NOTES**

- WORKING HOURS: NO WORK SHALL OCCUR ON THE JOB SITE PRIOR TO 7:00 A.M. OR CONTINUE LATER THAN 6:00 P.M., MONDAY THROUGH FRIDAY. NO WORK SHALL BE PERMITTED ON SATURDAY UNLESS PRIOR APPROVAL IS GRANTED BY THE BUILDING OFFICIAL.
- GENERAL CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO EXCAVATION, TRENCHING, OR DRIVING OF ANY KIND. GENERAL CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES WHEN REMOVING ELECTRICAL, TELEPHONE, GAS, TV, GAS, WATER, SANITARY SEWER SERVICES, OR ANY OTHER UTILITY. B. C. SHALL MAINTAIN ALL ELECTRICAL AND COMMUNICATION SYSTEMS IN HOUSE AT ALL TIMES.
- ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND REGULATIONS. B. C. SHALL BECOME FAMILIAR WITH ALL CITY OF MENLO PARK ORDINANCES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND EXECUTION OF THE WORK SHOWN ON SHEETS IN THE CONSTRUCTION DOCUMENTS AND IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE ALL FACES OF HIS WORK AND ALL TRADES INVOLVED TO AVOID CONFLICT IN THE LOCATION, INSTALLATION, AND CONSTRUCTION OF ALL ITEMS OF WORK AS INDICATED ON THE CONSTRUCTION DOCUMENTS. IF ANY WORK IS TO BE INSTALLED BY THE OWNER SEPARATELY, ALLOWANCES FOR THE OWNER'S WORK MUST BE MADE. COORDINATE WITH ARCHITECT / OWNER.
- GENERAL CONTRACTOR SHALL LEAVE THE JOB SITE "BROOM CLEAN" AT THE END OF EACH WORKING DAY. ALL MATERIALS SHALL BE STORED IN A NEAT AND SAFE PLACE TO AVOID ACCIDENTS, FOR CONSTRUCTION AND FOR THE OWNER.
- IN CASE OF ANY DISCREPANCY IN THE CONTRACT DOCUMENTS, CONSULT THE ARCHITECT BEFORE PROCEEDING.
- NO DIMENSIONS SHALL BE TAKEN BY MEASUREMENT FROM THE DIMENSIONS. DETAILS TAKE PRECEDENCE OVER GENERAL NOTES OR FLOOR PLANS. IF DIMENSIONS MUST BE CLARIFIED, CONSULT THE ARCHITECT. REFER TO THE COVER SHEET FOR DIMENSIONING STANDARDS.
- VERIFY ALL DIMENSIONS ON THE JOB SITE PRIOR TO ORDERING OR MANUFACTURING.
- GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DIMENSIONS BEFORE FRAMING. IT IS RECOGNIZED THAT FRAMING DIMENSIONS DO NOT CORRELATE WITH DIMENSIONS OF EXISTING LIGHT FIXTURES. IF CONFLICT EXISTS, NOTIFY ARCHITECT. DIMENSIONS TO EXISTING LIGHT FIXTURES, IF CONFLICT EXISTS, NOTIFY ARCHITECT. DIMENSIONS TO EXISTING LIGHT FIXTURES, IF CONFLICT EXISTS, NOTIFY ARCHITECT. DIMENSIONS TO EXISTING LIGHT FIXTURES, IF CONFLICT EXISTS, NOTIFY ARCHITECT.
- GENERAL CONTRACTOR SHALL VERIFY THAT EVERY PIECE OF EQUIPMENT AND EVERY APPLIANCE IS IDENTIFIED WITH THE TRADE INFORMATION ABOUT ALL WARRANTIES AND MAINTENANCE IS MADE KNOWN TO THE OWNER.
- THE INSTALLER OF EACH MAJOR UNIT OF WORK IS REQUIRED TO REQUEST THE SUBSTRATE AND CONDITIONS TO RECEIVE WORK AND SHALL REPORT ALL UNSATISFACTORY CONDITIONS TO THE GENERAL CONTRACTOR AND NOT PROCEED WITH INSTALLATION UNLESS OTHERWISE ATTEMPTED.
- FOR HIDDEN WORKERS NOT CLEARLY DEFINED IN THE PLANS OR SCHEDULES, COORDINATE WITH THE ARCHITECT. ARCHITECT SHALL CONFIRM ALL ELECTRICAL DEVICES AND PROVIDE SOLID BUILDINGS AS NECESSARY FOR WALL MOUNTED SHELVES, FIXTURES, AND OTHER DEVICES TO BE DONE BY OTHER TRADES. LOCATIONS OF WORK AND LOCATIONS FROM INTERIOR ELEVATIONS AND DIMENSIONS WITH OWNER/ARCHITECT.
- WEATHER-STRIP ALL EXTERIOR DOORS AND WINDOWS.
- CALLS OR BEHIND ALL DIMENSIONS TO LIGHT INFILTRATION, INCLUDING BUT NOT LIMITED TO: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN SOLE PLATES AND EXTERIOR WALL PARTS.
- GENERAL CONTRACTOR SHALL VERIFY THAT ALL WORK ON THE EXTERIOR OF THE PROJECT IS WEATHERPROOF. ALL JOINTS EXPOSED TO THE WEATHER SHALL BE TESTED FOR WATER TIGHTNESS PRIOR TO SUBSTANTIAL COMPLETION.



0-0 EXISTING/DEMO PLAN

-1-0 AREA PLAN: 1048 MENLO OAKS DR.



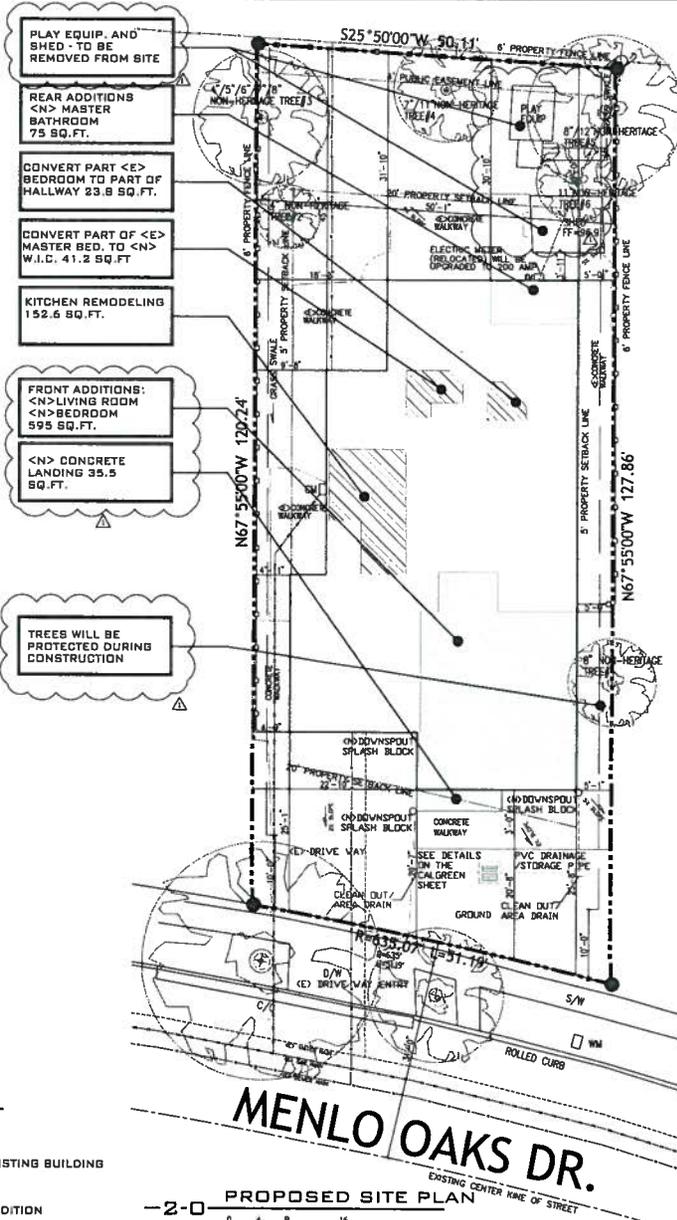
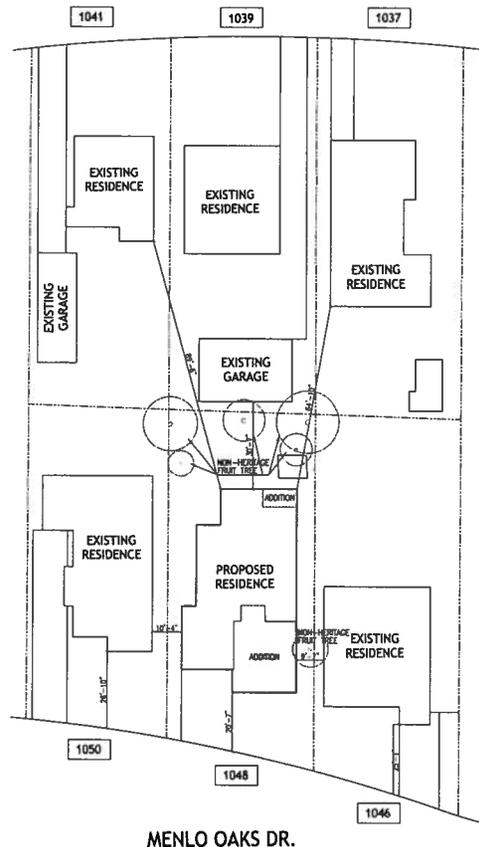
- [Symbol] <E> EXISTING BUILDING
- [Symbol] <N> ADDITION
- [Symbol] <N> INTERIOR REMODELING

**RECEIVED**

AUG 26 2016

CITY OF MENLO PARK  
 BUILDING

ALMANOR AVE.



-2-0 PROPOSED SITE PLAN



**SITE NOTES:**  
 ALL DIMENSIONS AND SETBACK POINTS NEED TO BE CHECKED BEFORE THE ADDITION TAKES PLACE. PLEASE VERIFY ALL SETBACKS FROM THE BOUNDARY OF THE PROPERTY TO THE <E> HOUSE AND <N> ADDITIONS PRIOR TO ORDERING NEW FOUNDATION AND POURING OF THE CONCRETE OR FOR WORK SETUP. IF THE SETBACKS AT THE SITE DOES NOT MATCH UP TO THE PLANS OR OVER THE ALLOWABLE SETBACK PLEASE CONTACT THE PROJECT ARCHITECT FOR FURTHER GUIDANCE ON THE PROJECT.

**CHEN RESIDENCE**

1048 MENLO OAKS DR.  
 MENLO PARK, CA  
 94025



80370 TOWN CENTER LN  
 SUITE 139  
 CUPERTINO, CA 95014  
 408.845.0577

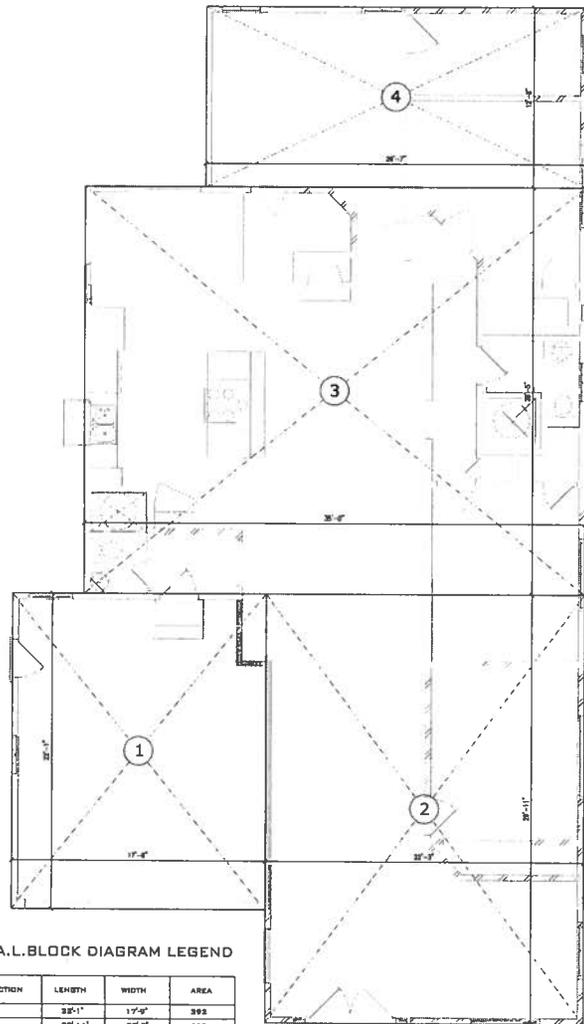
REVISION  
 02.18.16 REMOTE  
 02.11.16 REVIEW

PROJECT NO. 1338 DATE 02.02.16

**SITE PLAN  
 DEMO PLAN  
 AREA PLAN**

**A-1.0**





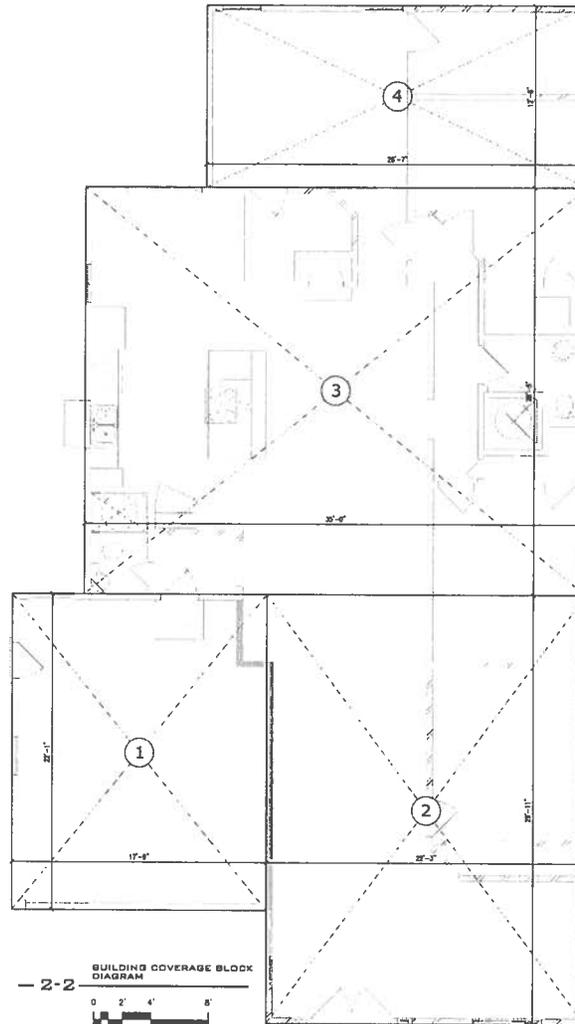
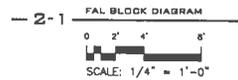
F.A.L. BLOCK DIAGRAM LEGEND

SECTION	LENGTH	WIDTH	AREA
1	28'-1"	17'-9"	392
2	27'-11"	26'-8"	645
3	32'-0"	35'-0"	994
4	12'-6"	26'-7"	337
			<b>3388 SQ.FT.</b>

ALL DIMENSIONS ARE MEASURED FROM EXTERIOR WALLS  
TOTAL PROPOSED F.A.L. : 3,388 SQ.FT.

R1-U ZONING DISTRICT:  
FLOOR AREA ALLOWANCE:  
LOT AREA SIZE: 6,189 SQ.FT.

LOTS BETWEEN 3,000 AND 7,000 SQ.FT.  
TOTAL ALLOWANCE FLOOR AREA: 8800.00 SQ.FT.



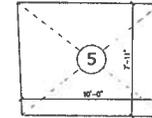
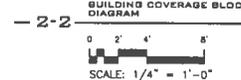
BUILDING AREA BLOCK DIAGRAM LEGEND

SECTION	LENGTH	WIDTH	AREA
1	28'-1"	17'-9"	392
2	27'-11"	26'-8"	645
3	32'-0"	35'-0"	994
4	12'-6"	26'-7"	337
5	7'-11"	10'-0"	79
			<b>2467 SQ.FT.</b>

ALL DIMENSIONS ARE MEASURED FROM EXTERIOR WALLS  
TOTAL PROPOSED BUILDING COVERAGE : 2,467 SQ.FT.

R1-U ZONING DISTRICT:  
FLOOR AREA ALLOWANCE:  
LOT AREA SIZE: 6,189 SQ.FT.  
LOT COVERAGE: 39.8%

FDA LOT UNDER 7,000 IS 40%  
TOTAL ALLOWANCE BUILDING AREA: 2,474.00 SQ.FT.



CHEN RESIDENCE

1048 MENLO OAKS DR.  
MENLO PARK, CA  
94025



80390 TOWN CENTER LN  
SUITE 139  
CLIFTON, CA 94501-4  
408.868.0877



REVISION  
02.16.16 SUBMIT  
03.14.16 REVISION  
03.11.16 REVISION

PROJECT NO. 1328 SHEET 02A116

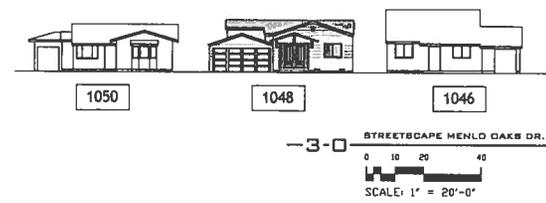
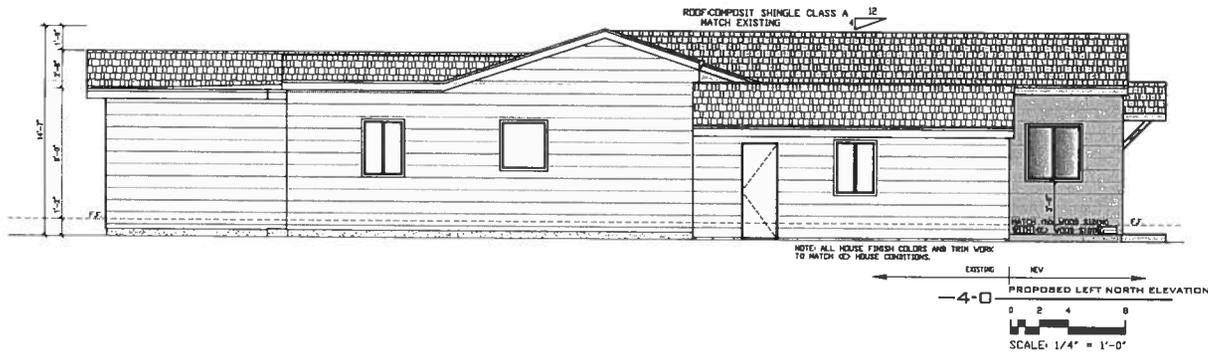
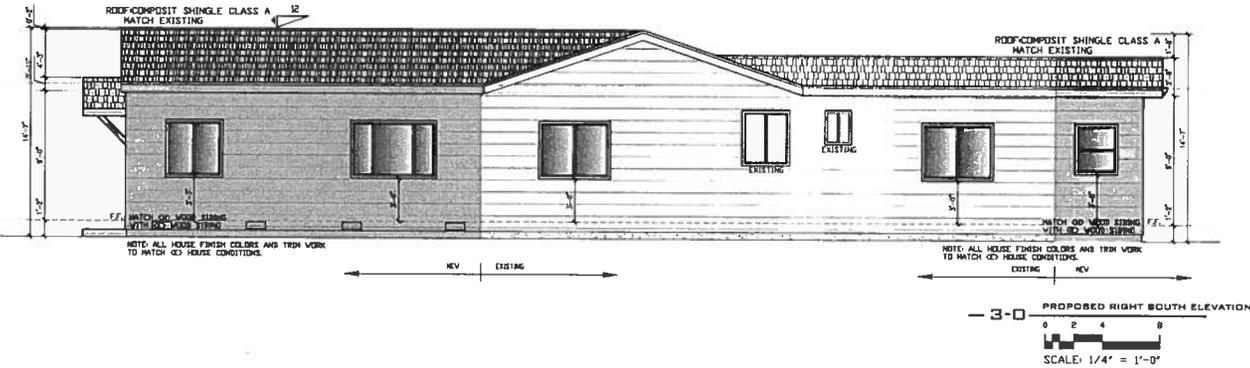
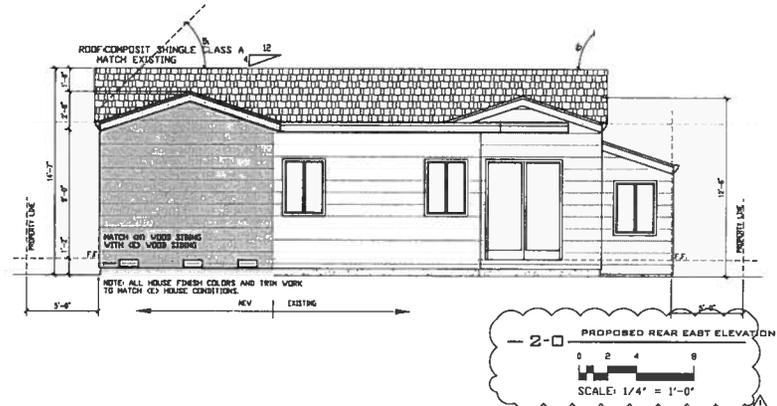
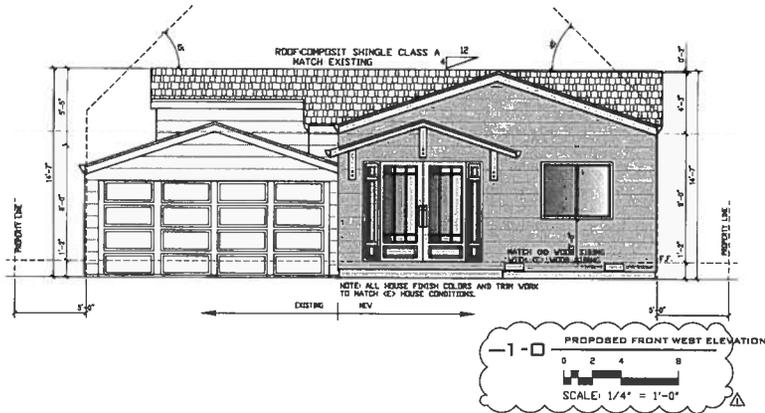
FAL/BUILDING COVERAGE BLOCK DIAGRAMS

CHEN  
RESIDENCE

1048 MENLO OAKS DR.,  
MENLO PARK, CA  
94025



20370 TOWN CENTER LN  
SUITE 129  
CUPERTINO, CA 95014  
408.866.0677



**NOTE:**  
ANY CHANGES TO THE APPROVED COLOR, MATERIAL, AND EXTERIOR FINISHES SHALL BE REVIEWED AND APPROVED BY THE CITY OF MENLO PARK PLANNING DIVISION PRIOR TO INSTALLATION/APPLICATION.

REVISION  
02.20.18 SUBMITAL  
03.14.18 REVISION  
03.11.18 REVISION

PROJECT NO. 1338 DATE 02.03.18

PROPOSED ELEVATIONS/  
STREETScape