



MEMORANDUM

Date: 9/1/2016
To: Planning Commission
From: Yesenia Jimenez, Associate Planner
Re: 1220 Bay Laurel Drive – Balcony screening condition

Background

On May 9, 2016, the Planning Commission unanimously approved a Use Permit application at 1220 Bay Laurel Drive to demolish an existing single-story, single-family residence and construct a new two-story, single-family residence with basement on a substandard lot with regard to lot width in the R-1-S (Single-Family Suburban Residential) zoning district. The application was approved with the condition that the applicant make revisions to a proposed second floor glass balcony at the rear of the residence in order to address privacy concerns identified by the Planning Commission during the meeting, and subsequently submit the revisions for the review and approval of Planning staff, with subsequent email clearance by the Planning Commission.

The project-specific condition (condition of approval 4a) is below:

- a. *Simultaneous with the submittal of a complete building permit application, the applicant shall submit revised plans modifying the second floor balcony at the rear of the residence, which shall have the objective of providing screening views to the adjacent parcel at 300 Santa Rita Avenue on the left side of the subject property. The revised plans shall be subject to the review and approval of the Planning Division. The Planning Commission shall be notified by email of this action, and any Commissioner may request that the Planning Division's approval of the revised elevation may be considered at the next Planning Commission meeting. The revised elevation shall be fully approved prior to the issuance of the overall building permit.*

The May 9th Planning Commission staff report and minutes are available through the links provided below.

Staff report

<http://menlopark.org/DocumentCenter/View/10157>

Minutes

<http://www.menlopark.org/AgendaCenter/ViewFile/Minutes/05092016-2753>

Key excerpts of the original plans are included as Attachment A.

Staff Review

Since the May 9th meeting, the applicant has submitted revised plans, included as Attachment B. Staff has determined that the changes to the new balcony as shown

on the left and rear elevations (Sheet A3.3) and the second floor floor plan (Sheet A2.4) of the revised plan set address condition of approval 4a. The proposed wooden slat screen next to the left side of the second floor balcony would adequately screen the majority of views between the balcony and the adjacent property at 300 Santa Rita Avenue. The new slat screen would also be compatible with the design and materials of the overall residence.

Planning Commission Review

If any member of the Commission would like to discuss the changes to the plans described above at the September 12, 2016 Planning Commission meeting, please notify staff no later than **5:00 p.m. on Tuesday, September 6, 2016**. If staff does not receive a request from a Planning Commissioner, there will be no further review and the City will proceed with processing the described modifications as part of the building permit application. If any member of the Commission makes such a request, the item would be placed on the September 12, 2016 agenda as a regular business item to give the full Commission the opportunity to determine whether or not the correction meets the intent of the original approval. No additional materials beyond what is contained in this memorandum would be prepared for the agenda item.

If you have questions about the project or process, please contact Yesenia Jimenez at yjimenez@menlopark.org.

Attachments

- A. Approved Plans (excerpts)
- B. Revised Plans (excerpts)

ABBREVIATIONS:

AC	Asphaltic Concrete
AD	Area Drain
ADJ	Adjustable
AF	Above Finished Floor
CAB	Cabinet
CBC	California Building Code
CL	Center Line
CLR	Clear Dimension
CLO	Closet
CMU	Concrete Masonry Unit
COL	Column
DB	to be Demolished / Removed
DBL	Double
DIA	Diameter
DSP	Dispenser
DS	Downspout
(E)	Existing
ELEC	Electrical
EXH	Exhaust
EXT	Exterior
FAR	Floor Area Ratio
FD	Floor Drain
FL	Fluorescent
FOS	Face of Stud
GSM	Galvanized Sheet Metal
GC	General Contractor
GF (GFCI)	Ground Fault (Circuit) Interrupter
GWB	Gypsum Wall Board
HB	Hose Bib
HC	Hollow Core
HWD	Hardwood
HT	Height
HVAC	Heating, Ventilating, Air Conditioning
INC	Incandescent
INT	Interior
MFR	Manufacture
MAX	Maximum Dimension
MC	Medicine Cabinet
MECH	Mechanical
MIR	Mirror
MTL	Material
MIN	Minimum
(N)	New
NIC	Not in Contract
NTS	Not To Scale
OC	On Center
OFCC	Owner Furnished Contractor Installed
OPNG	Opening
OV	Over
PLAM	Plastic Laminate
RCP	Reflected Ceiling Plan
RD	Roof Drain
SC	Soft Core
SD	Smoke Detector
SHT	Sheet
SPEC	Specification
SS	Stainless Steel
SSD	See Structural Drawings
STRUCT	Structural
TB	Towel Bar
TBD	To Be Determined
TEMP	Temporary
TP	Toilet Paper Dispenser
TYP	Typical
U.O.N.	Unless Otherwise Noted
VCT	Vinyl Composition Tile
VIF	Verify In Field
WC	Water Closet
WH	Water Heater
W/O	Without
WP	Waterproof

SYMBOLS:

Detail Number		Reference Indicator
Sheet Number		Indicator
Detail Area		Detail Indicator
Section Direction		Detail Indicator (Section)
Elevation Direction		Exterior Elev. Building Sec.
Elevation Direction		Interior Elevation
Elevation References		
Grid Lines & Bubbles		
Door Symbol		
Window Symbol		
Revision Area		Revision Cloud
Revision Number		

PROJECT DATA:

Zoning: R-1-S
 Parcel Number: 071381030
 Lot: 15
 Tract: 5118
 Address: 1220 BAY LAUREL DRIVE MENLO PARK, CA 94025
 Lot Area: 10,500 s.f.
 Lot Coverage: 3,675 s.f. (35% of 10,500 s.f.)
 Max F.A.R.: 2,800 s.f. (26% of 10,500-7,000 s.f.)
 Max 2nd Floor F.A.R.: 1,837 s.f. (50% of F.A.R. for the entire property)
 Max Building Height: 28'-0"
 Occupancy Group: R-3 / U
 Construction Type: V-4B
 Setbacks: Front: 20'
 Rear: 20'
 Sides: 10'
 Height: 28'

Floor Area & Lot Coverage Calcs:

Max Allowed Floor Area = 2800 s.f. + 25% of (10,500-7,000) s.f. = **3,675 s.f.**
 Max Total Area Allowable = 2,450 s.f. + 1,225 s.f. = **3,675 s.f.**
 Floor Area Limit: 2,800 + 25% (10,500 - 7,000) = **3,665.96 sq.ft.**
Proposed Floor Area: 3,665.96 sq.ft.
 2nd Floor A.L. 50% (3,675) = **1,837 sq.ft. MAX**
Proposed 2nd Floor Area: 1,837.40 sq.ft.
 Max Lot Coverage: 35% (10,500) = **3,675 sq.ft. MAX**
Proposed Lot Coverage: 3,278.21 sq.ft.
 ** See Floor Area Diagram Calculations on sheet A0.1

GENERAL NOTES:

- All construction and installations shall conform to the: **2013 CODES**
 California Building Code, Vols 1 & 2
 California Residential Code
 California Plumbing Code
 California Mechanical Code
 California Electrical Code
 California Energy Code
 California Green Building Code
 California Fire Code
 California Reference Standards Code
- Deferred Submittals:
 a. Fire sprinklers
- Notes are an aid to the Contractor in understanding the work and should not be construed as being complete in every detail. It is the responsibility of the Contractor to visit the site, familiarize themselves thoroughly with the work and report all discrepancies between the drawings and actual conditions to the Architect.
- All critical areas of work involving sub-trades or specialized pieces of equipment such as cabinetry, skylights, sodiums/greenhouses and other finish materials shall have all dimensions verified in field by the Contractor or by the Subcontractor responsible for supplying and installing these items or materials regardless whether noted Verify In Field on drawings.
- No one drawing or specification shall govern. Contractors shall correlate work between architectural drawings and specifications, and between drawings of different scales with each section. Report all discrepancies encountered to the Architect and await resolution of any item affected before proceeding.
- Contractor shall pay specific attention to all dimensioned or implied plan and section spatial relationships, and verify all axes and implied symmetries before beginning work.
- Do not scale drawings. Use figured dimensions only for all aspects of work.
- Contractor will pay all licenses and permits necessary to the performance and completion of the work, and all inspection and other applicable fees.
- Any building areas unaffected by this work shall be protected from any damage caused by this work. Any damage to the existing building so caused shall be the financial responsibility of the Contractor.
- Any waste and refuse caused by this work shall be removed from the premises and disposed of by the Contractor. Demolition is not shown in its entirety; remove all existing construction necessary to complete the work.
- Contractor shall warranty all equipment and installation work for a period of one year after completion.
- All dimensions to face of finish unless otherwise noted.
- All nailing or mechanical fastening through roofing felt, flashing or membrane will be sealed in accordance with the roofing felt, flashing or membrane manufacturer's recommendations.
- Where contractor proposes a substitution for a specified product (other than those noted above) the contractor shall provide documentation or sample proof indicating that the proposed substitution is equal.
- Contractor shall bid on plumbing fixtures, door hardware and kitchen fixtures and lighting fixtures not supplied by Owner as specified. Substitutions will be reviewed and are subject to approval by architect.
- Building permit plans for the proposed dwelling shall incorporate the recommendations for site preparation & earth work, surface drainage, house foundations and seismic design parameters of the geotechnical engineer's report.
- Construction activity shall be limited to certain hours. G.C. to verify hours with local jurisdiction.

LOCATION MAP:



PROJECT DESCRIPTION:

The (E) single story dwelling shall be deconstructed. The (N) proposed two story single family dwelling will have 5 bedrooms and 4.5 baths plus a basement. The (E) driveway shall be replaced and regrading will be isolated to this location; there is no (E) curb cut. The (N) cool roof shall be PVC or similar.

LIST OF DRAWINGS:

ARCHITECTURAL

A0	Cover Sheet
A0.1	Floor Area & Lot Coverage Calcs
A1.0	Site Survey
A1.1	(N) Area Plan
A1.2	(D) Site + (E) Floor Plan
A2.1	(E) Floor Plan
A2.2	(N) Basement Floor Plan
A2.3	(N) First Floor Plan
A2.4	(N) Second Floor Plan w/ Lower Roof Plan
A2.5	(N) Upper Roof Plan
A3.0	(E) Exterior Elevations
A3.1	(N) Streetscape Elevation
A3.2	(N) Exterior Elevations
A3.3	(N) Exterior Elevations
A4.1	(N) Building Sections
A4.2	(N) Building Sections
A4.3	(N) Building Sections
A9.1	(N) Materials Board

LANDSCAPE

L1.0	Preliminary Landscape Plan
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PROJECT DIRECTORY:

Owner: Mahesh & Geetha Chukkappali 1220 Bay Laurel Drive Menlo Park, CA 94025 Tel, (650) 450-2650	Surveyor: Brian Stockinger BLS Surveying & Mapping 1531 Grandview Ave Martinez, CA 94553 Tel, (925) 451-1644
Architect: Alan Ohashi, A.L.A. Ohashi Design Studio 5895 Doyle Street Emeryville, CA 94608 Tel, (510) 595-1300 Fax, (510) 595-1313 alano@ohashidesign.com	Landscape Architect: Morf Chang Landscape Architecture 5427 Telegraph Ave., Studio K Oakland, CA 94609 Tel, (510) 210-5033

CHUKKAPALI RESIDENCE

1220 BAY LAUREL DRIVE MENLO PARK, CA 94025



2 (N) 3D PERSPECTIVE N.T.S.



1 (N) 3D PERSPECTIVE - STREET VIEW N.T.S.

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Chukkappali Residence

1220 BAY LAUREL DR
 MENLO PARK, CA
 94025

APN: 071381030

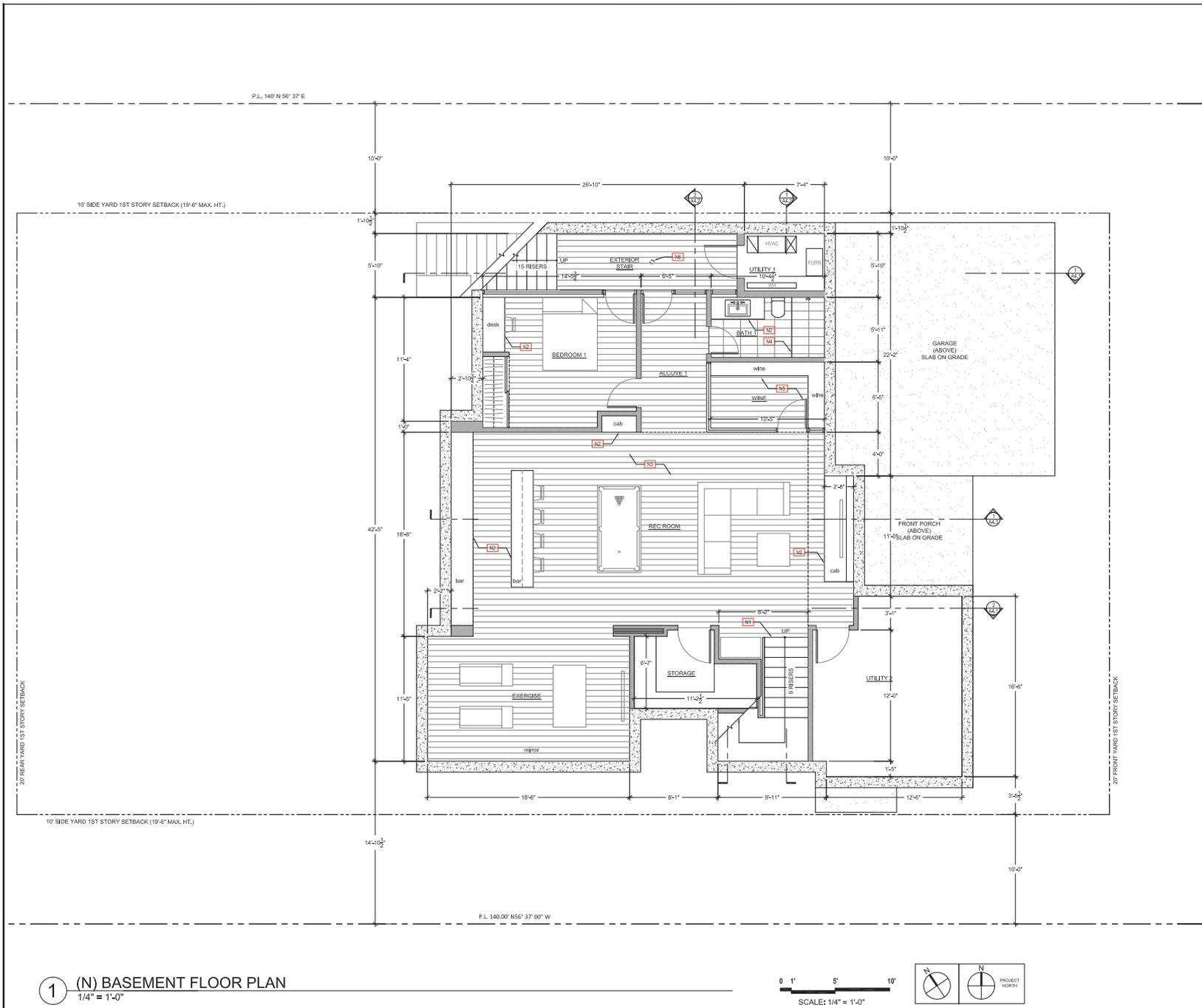
OWNER:
 Mahesh & Geetha Chukkappali
 1220 Bay Laurel Drive
 Menlo Park, CA

PLANNING SUBMITTAL

SHEET TITLE:
 Cover Sheet

Date	Issues & Revisions
02/11/16	Planning Submittal
03/25/16	Planning Rev #1
04/28/16	Planning Rev #2

A0



GENERAL NOTES:
 1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

PROPOSED KEY NOTES:
 (N1) (N) STAIR AND HANDRAIL
 (N2) (N) CABINETS
 (N3) (N) WOOD FLOORING
 (N4) (N) SHOWER W/ GLASS ENCLOSURE
 (N5) (N) CONDITIONED WINE ROOM W/ GLASS ENCLOSURE
 (N6) (N) FLOOR DRAIN (BELOW EXTERIOR DECK)

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PLANNING SUBMITTAL

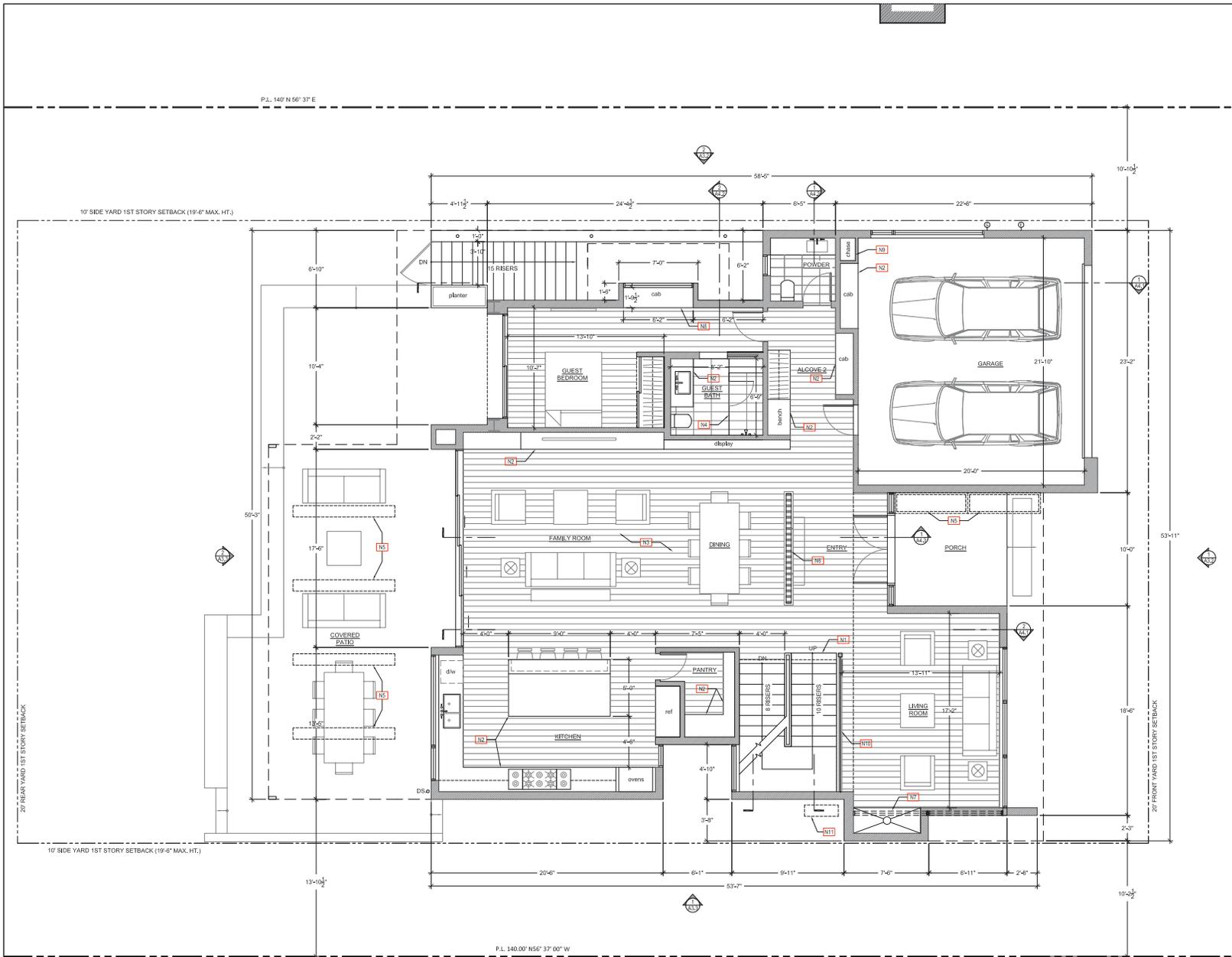
SHEET TITLE:
 (N) Basement Floor Plan

Date	Issues & Revisions
02/11/16	Planning Submittal
03/25/16	Planning Rev #1
04/28/16	Planning Rev #2

LEGEND:
 (N) WALL
 1 HR RATED FIREWALL
 ADJACENT PROPERTY
 EXISTING RESIDENCE TO BE REMOVED
 (N1) PROPOSED KEY NOTE
 (D1) DEMOLITION / EXISTING KEY NOTE
 DS. DOWNSPOUT

1 (N) BASEMENT FLOOR PLAN
 1/4" = 1'-0"





GENERAL NOTES:
 1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

- PROPOSED KEY NOTES:**
- N1 (N) STAIR AND HANDRAIL
 - N2 (N) CABINETRY
 - N3 (N) WOOD FLOORING
 - N4 (N) SHOWER W/ GLASS ENCLOSURE
 - N5 (N) SKYLIGHT (ABOVE)
 - N6 (N) DECORATIVE SCREEN WALL W/ BENCH
 - N7 (N) FIREPLACE (CANTILEVERED)
 - N8 (N) CANTILEVERED BAY WINDOW W/ CABINETRY
 - N9 (N) EQUIPMENT CHASE
 - N10 (N) GLASS CURTAIN WALL
 - N11 (N) OUTDOOR AC UNIT

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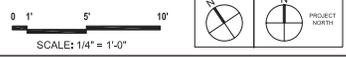
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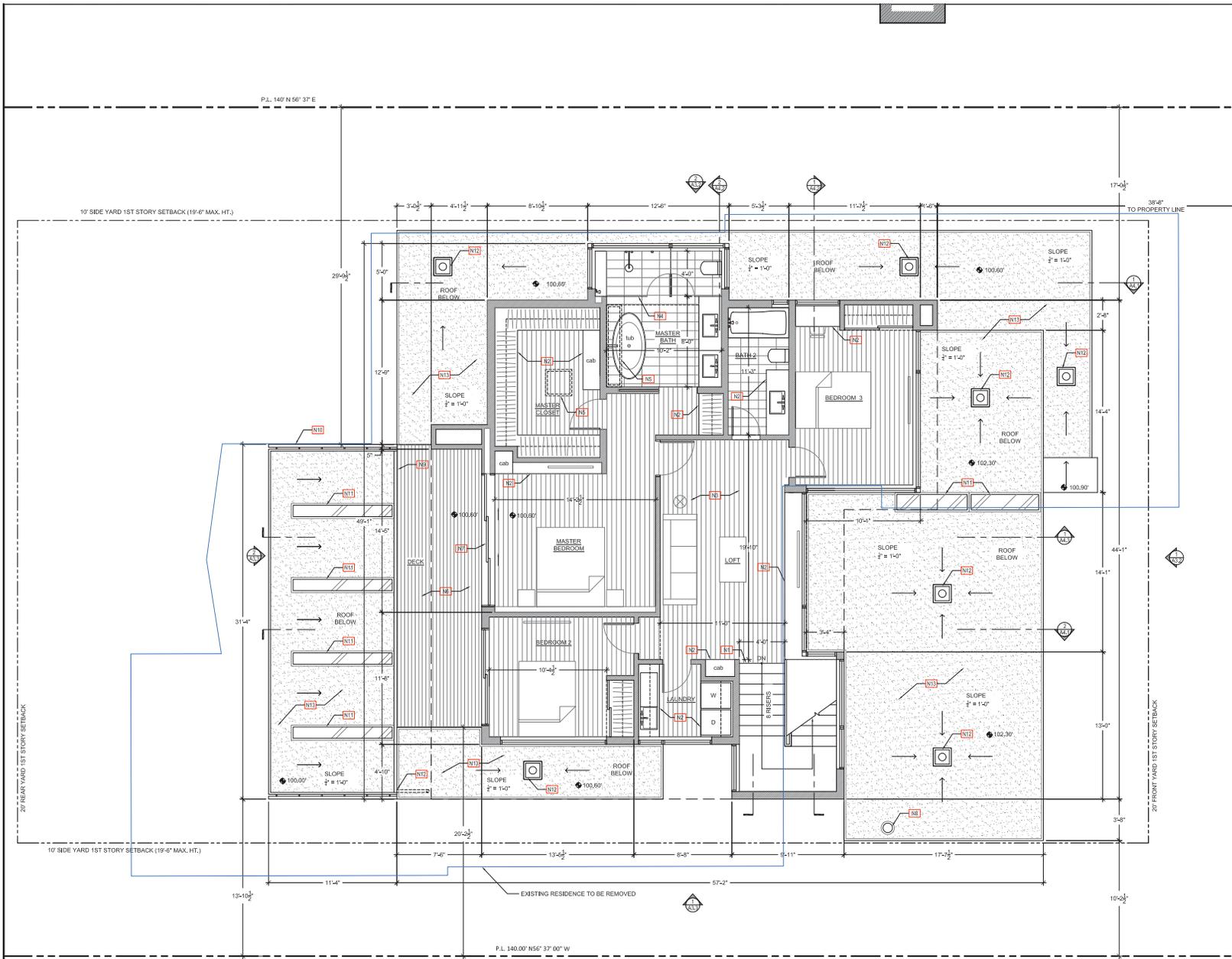
SHEET TITLE:
 (N) First Floor Plan

Date	Issues & Revisions
02/11/16	Planning Submittal
03/25/16	Planning Rev #1
04/28/16	Planning Rev #2

- LEGEND:**
- (N) WALL
 - 1 HR RATED FIREWALL
 - ADJACENT PROPERTY
 - EXISTING RESIDENCE TO BE REMOVED
 - PROPOSED KEY NOTE
 - DEMOLITION / EXISTING KEY NOTE
 - DS. DOWNSPOUT

1 (N) FIRST FLOOR PLAN
 1/4" = 1'-0"





GENERAL NOTES:
 1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

- PROPOSED KEY NOTES:**
- (N1) (N) STAIR AND HANDRAIL
 - (N2) (N) CABINETS AND/OR FIXTURE
 - (N3) (N) WOOD FLOORING
 - (N4) (N) SHOWER W/ GLASS ENCLOSURE
 - (N5) (N) SKYLIGHT (ABOVE)
 - (N6) (N) WOOD DECK
 - (N7) (N) SLIDING POCKET DOOR
 - (N8) (N) CHIMNEY FLUE
 - (N9) (N) GLASS HANDRAIL
 - (N10) (N) PATIO CANOPY
 - (N11) (N) SKYLIGHT (BELOW)
 - (N12) (N) ROOF DRAIN
 - (N13) (N) TPO ROOFING

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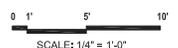
PLANNING SUBMITTAL

SHEET TITLE:
 (N) Second Floor Plan
 w/ Lower Roof Plan

Date	Issues & Revisions
02/11/16	Planning Submittal
03/25/16	Planning Rev #1
04/28/16	Planning Rev #2

- LEGEND:**
- (N) WALL
 - 1 HR RATED FIREWALL
 - ADJACENT PROPERTY
 - EXISTING RESIDENCE TO BE REMOVED
 - (N1) PROPOSED KEY NOTE
 - (DN) DEMOLITION / EXISTING KEY NOTE
 - DS. DOWNSPOUT

1 (N) SECOND FLOOR PLAN W/ LOWER ROOF PLAN
 1/4" = 1'-0"



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2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

PROPOSED KEY NOTES:

- N1 STONE TILE (LIGHT COLORED) WITH HONED-FILLED FINISH
- N2 SMOOTH FINISH STUCCO
- N3 1 x 6 WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.S.B.
- N4 METAL FASCIA
- N5 ALUMINUM WINDOWS BY FLEETWOOD OR EQ. (TYP), PREFER TO ELEVATIONS FOR SILL HEIGHTS
- N6 BREAK METAL TO MATCH WINDOW FINISH
- N7 (N) GLASS RAILING WITH STAINLESS STEEL CAP
- N8 (N) PAINTED METAL GARAGE DOOR
- N9 (N) SOLID WOOD FRONT DOOR, FINISH TBD
- N10 (N) PAINTED METAL FIREPLACE FLUE
- N11 (N) STONE TILE FLOORING
- N12 (N) 3" DIA. PAINTED STEEL POST
- N13 (N) OUTDOOR AC UNIT
- N14 (N) METAL PATIO CANOPY TO MATCH METAL FASCIA (SHOWN HIDDEN FOR CLARITY)
- N15 (N) ELECTRIC METER
- N16 (N) GAS METER
- N17 BOARD FORM CONCRETE

LEGEND:

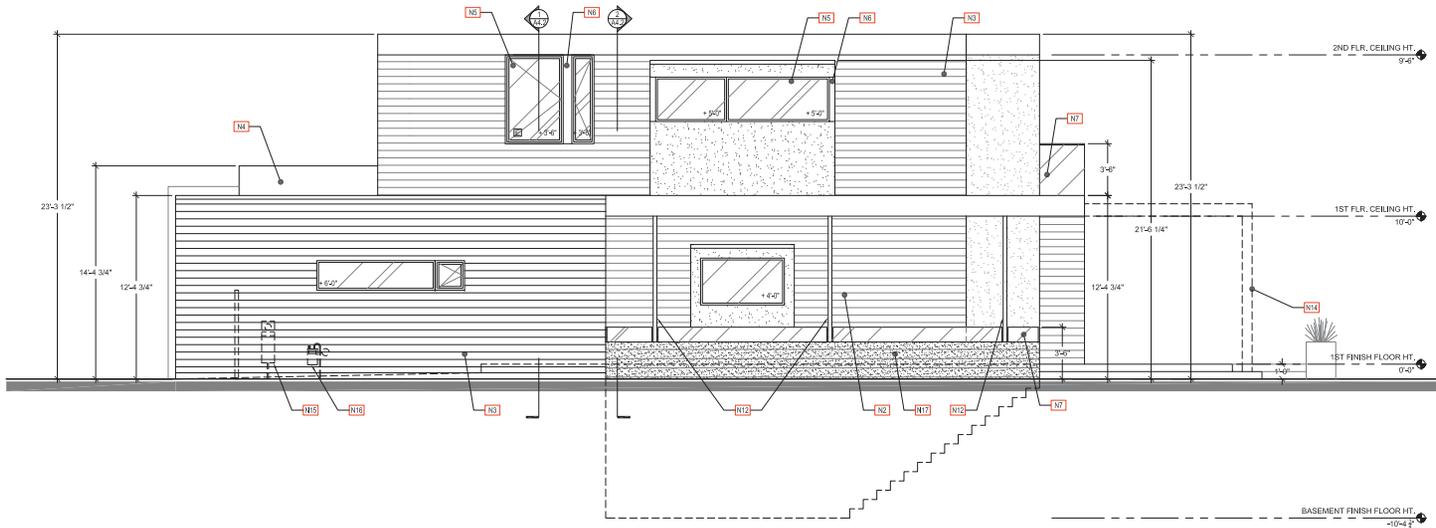
- N4 PROPOSED KEY NOTE
- +0'-0" INTERIOR SILL HEIGHT
- BEDROOM EGRESS WINDOW

**PLANNING
SUBMITTAL**

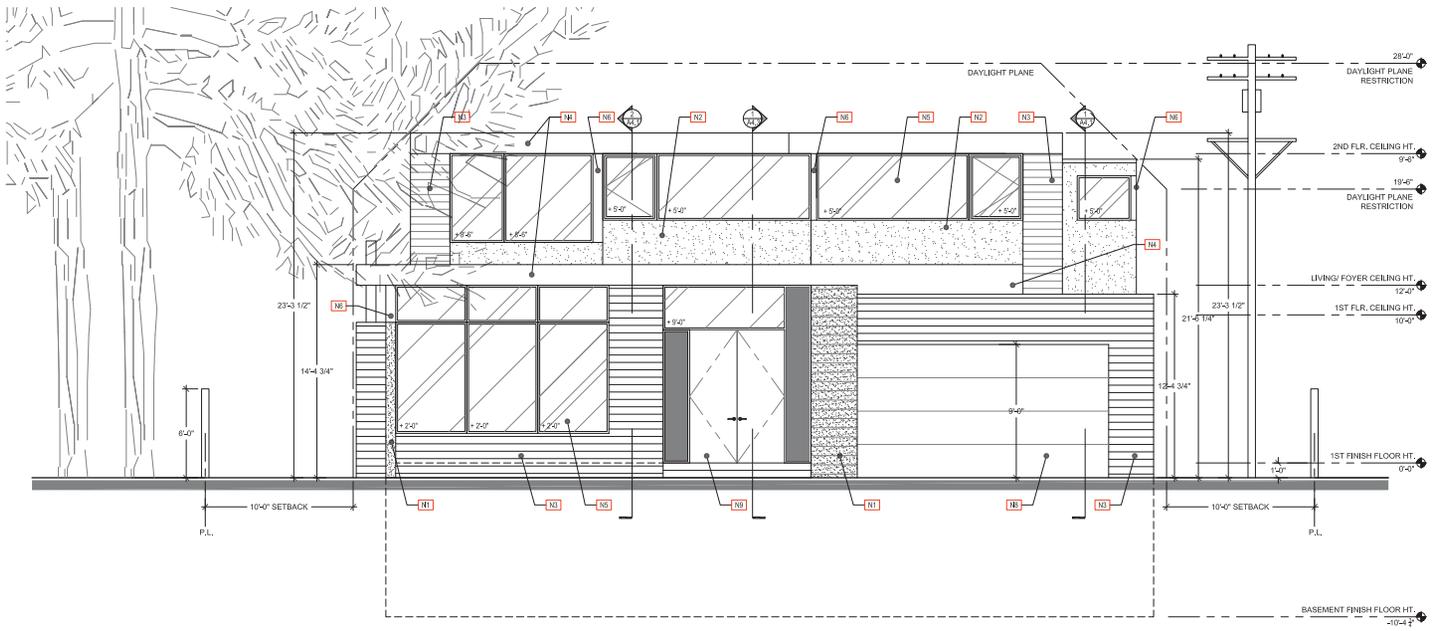
SHEET TITLE:
(N) Exterior Elevations

Date	Issues & Revisions
02/11/16	Planning Submittal
03/25/16	Planning Rev #1
04/28/16	Planning Rev #2

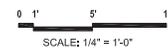
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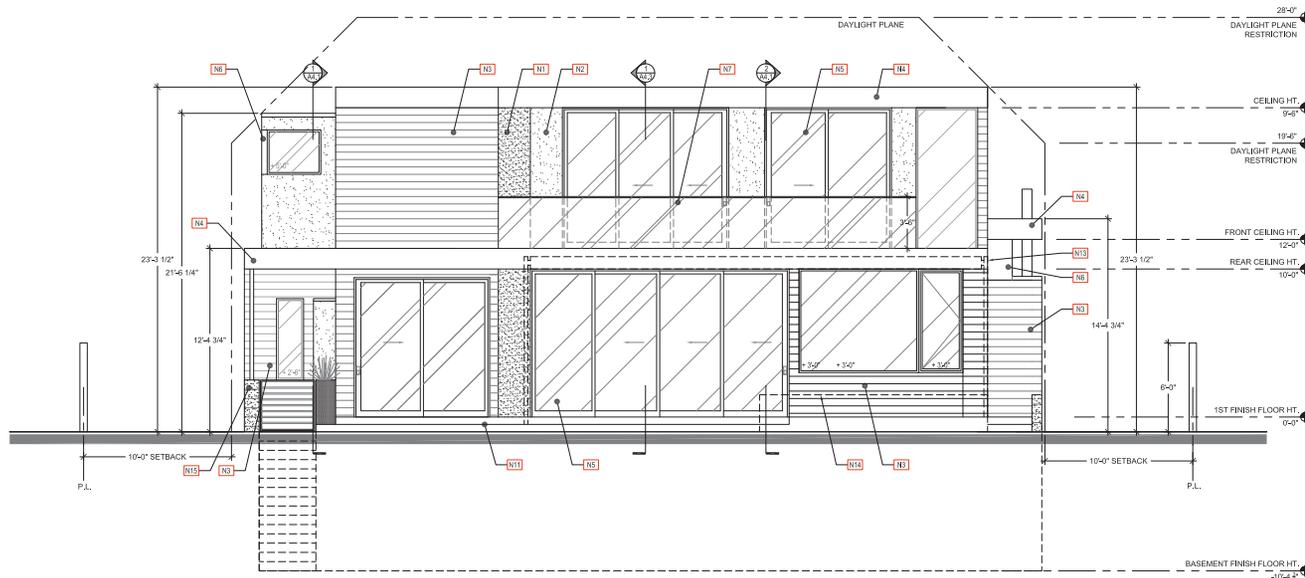


2 (N) NORTH ELEVATION (RIGHT)
1/4" = 1'-0"

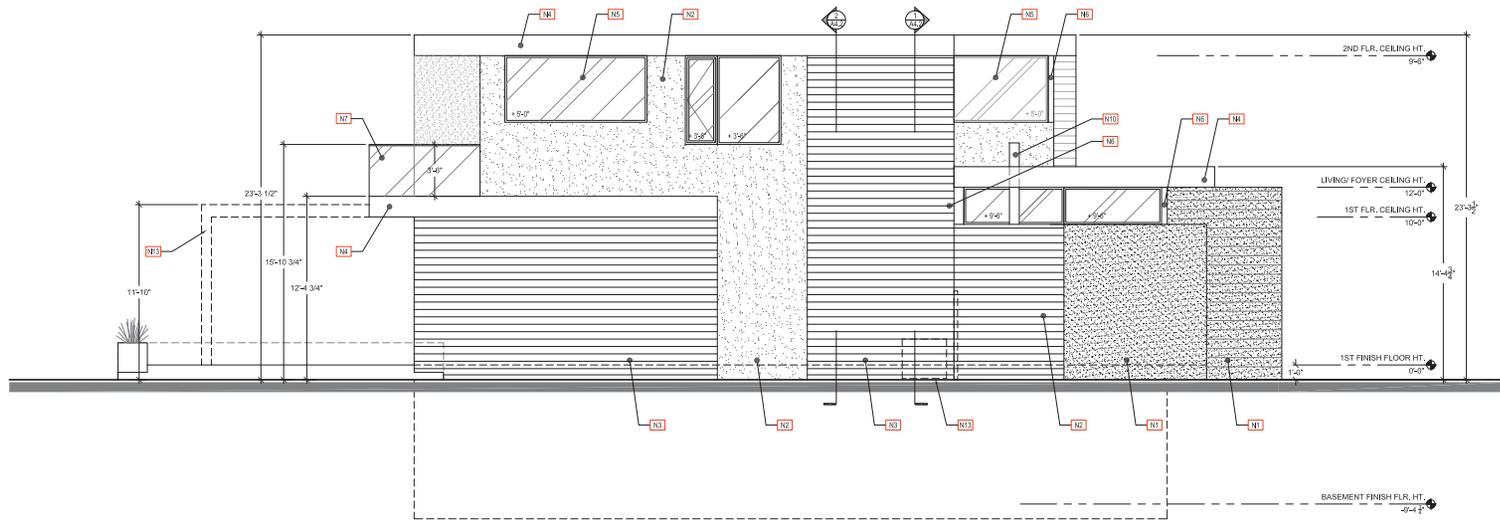


1 (N) EAST ELEVATION (FRONT)
1/4" = 1'-0"

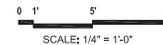




② (N) WEST ELEVATION (BACK)
1/4" = 1'-0"



① (N) SOUTH ELEVATION (LEFT)
1/4" = 1'-0"



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PROPOSED KEY NOTES:

- (N1)** STONE TILE (LIGHT COLORED) WITH HONED-FILLED FINISH
- (N2)** SMOOTH FINISH STUCCO
- (N3)** 1 x 6 WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.S.D.
- (N4)** METAL FASCIA
- (N5)** ALUMINUM WINDOWS BY FLEETWOOD OR EQ. (TYP). PREFER TO ELEVATIONS FOR SILL HEIGHTS.
- (N6)** BREAK METAL TO MATCH WINDOW FINISH
- (N7)** (N) GLASS RAILING WITH STAINLESS STEEL CAP
- (N8)** (N) PAINTED METAL GARAGE DOOR
- (N9)** (N) SOLID WOOD FRONT DOOR, FINISH TBD
- (N10)** (N) PAINTED METAL FIREPLACE FLUE
- (N11)** (N) STONE TILE FLOORING
- (N12)** (N) 3" DIA. PAINTED STEEL POST
- (N13)** (N) METAL PATIO CANOPY TO MATCH METAL FASCIA (SHOWN HIDDEN FOR CLARITY)
- (N14)** (N) PLANTER (SHOWN HIDDEN FOR CLARITY)
- (N15)** BOARD FORM CONCRETE

LEGEND:

- PROPOSED KEY NOTE

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SUBMITTAL**

SHEET TITLE:
(N) Exterior Elevations

Date	Issues & Revisions
02/11/16	Planning Submittal
03/25/16	Planning Rev #1
04/28/16	Planning Rev #2

A3.3

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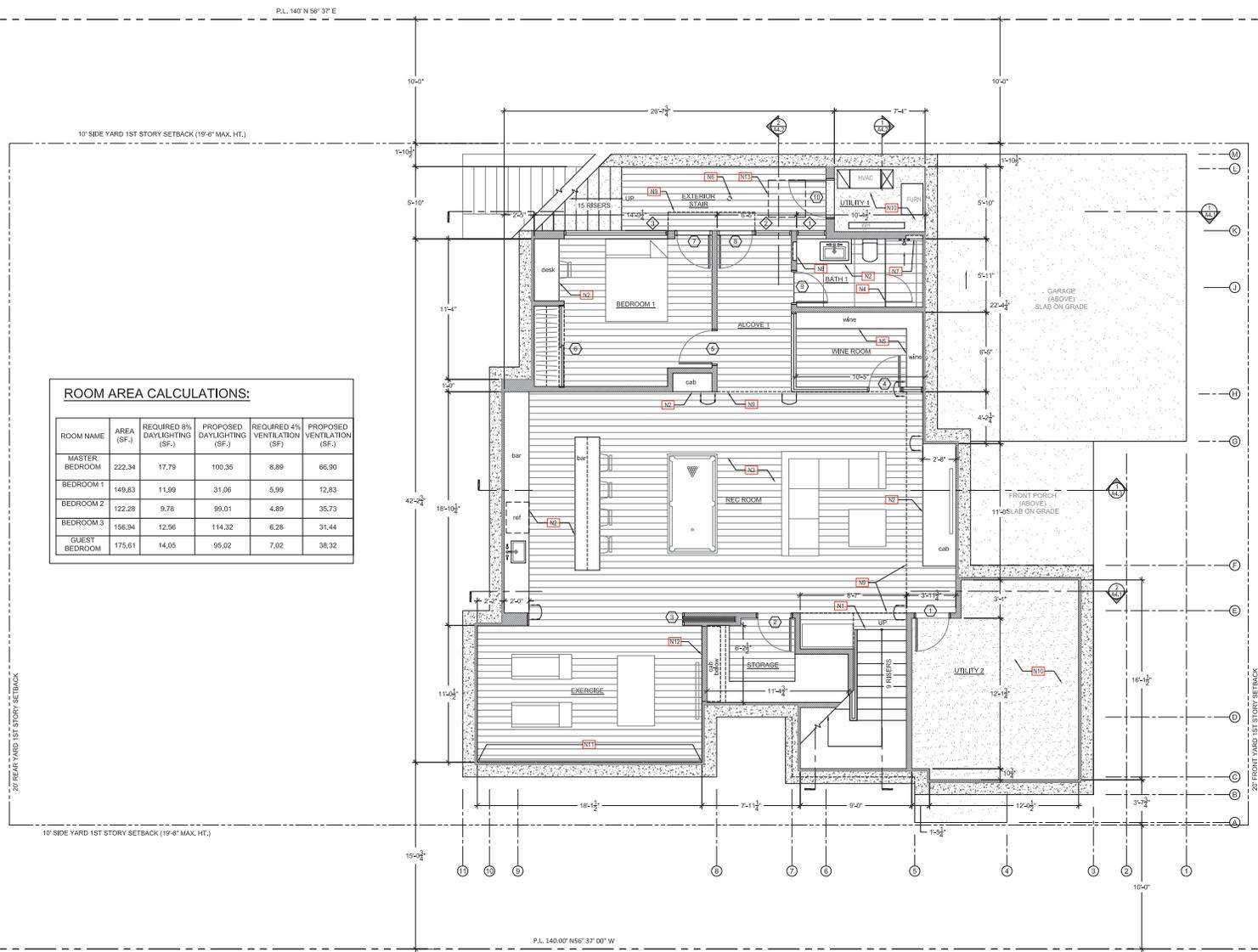
- PROPOSED KEY NOTES:**
- (N1) (N) STAIR AND HANDRAIL. SEE SHEET A7.3
 - (N2) (N) CABINETRY
 - (N3) (N) WOOD FLOORING
 - (N4) (N) CURBLESS SHOWER W/ GLASS ENCLOSURE. SLOPE FLOOR 2"=1'-0" TO LINEAR TRENCH DRAIN. FIT TO WIDTH OF SHOWER
 - (N5) (N) CONDITIONED WINE ROOM W/ FRAMELESS TEMPERED GLASS ENCLOSURE
 - (N6) (N) FLOOR DRAIN (BELOW EXTERIOR BISON DECK SYSTEM)
 - (N7) (N) SHOWER NICHE, ALIGNED WITH TILE
 - (N8) (N) MIRROR RECESSED MEDICINE CABINET
 - (N9) LINE OF SOFFIT ABOVE
 - (N10) (N) EXPOSED CONCRETE FLOOR
 - (N11) (N) FULL HEIGHT MIRROR W/ WOOD HANDRAIL
 - (N12) (N) RECESSED TV CABINET FLUSH WITH ADJACENT WALL
 - (N13) (N) SUMP PUMP BELOW BISON DECK SYSTEM. SEE CIVIL PLANS

PERMIT SUBMITTAL

SHEET TITLE:
 (N) Basement Floor Plan

Date	Issues & Revisions
08/11/16	Permit Submittal

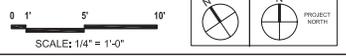
- LEGEND:**
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 - ADJACENT PROPERTY
 - EXISTING RESIDENCE TO BE REMOVED
 - (N) PROPOSED KEY NOTE
 - (DN) DEMOLITION / EXISTING KEY NOTE
 - DS. DOWNSPOUT

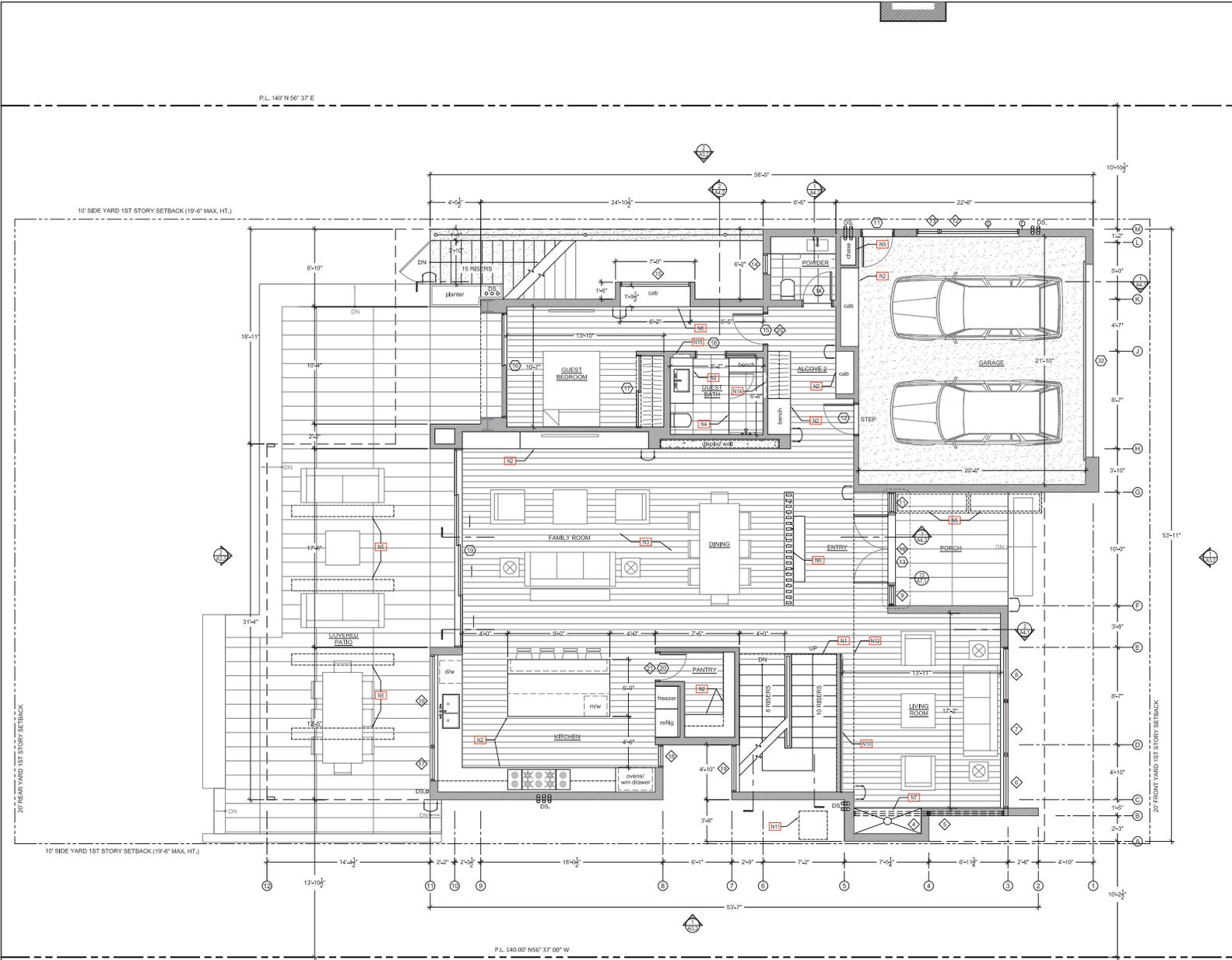


ROOM AREA CALCULATIONS:

ROOM NAME	AREA (SF.)	REQUIRED 8% DAYLIGHTING (SF.)	PROPOSED DAYLIGHTING (SF.)	REQUIRED 4% VENTILATION (SF.)	PROPOSED VENTILATION (SF.)
MASTER BEDROOM	222.34	17.79	100.35	8.89	66.90
BEDROOM 1	149.83	11.99	31.06	5.99	12.83
BEDROOM 2	122.28	9.78	99.01	4.89	35.73
BEDROOM 3	156.04	12.56	114.32	6.28	31.44
GUEST BEDROOM	175.61	14.05	95.02	7.02	36.32

1 (N) BASEMENT FLOOR PLAN
 1/4" = 1'-0"





GENERAL NOTES:

1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

- PROPOSED KEY NOTES:**
- (N1) (N) STAIR AND HANDRAIL. SEE SHEET A7.3
 - (N2) (N) CABINETRY
 - (N3) (N) WOOD FLOORING
 - (N4) (N) CURBLESS SHOWER W/ GLASS ENCLOSURE. SLOPE FLOOR 1/4" TO 1" TO LINEAR TRENCH DRAIN. FIT TO WIDTH OF SHOWER
 - (N5) (N) SKYLIGHT (ABOVE)
 - (N6) (N) DECORATIVE SCREEN WALL WITH CANTILEVERED BENCH. RECESSED PEBBLE ROCK BED FLUSH WITH FLOOR.
 - (N7) (N) FIREPLACE
 - (N8) (N) CANTILEVERED BAY WINDOW W/ CABINETRY
 - (N9) (N) EQUIPMENT CHASE
 - (N10) (N) GLASS CURTAIN WALL
 - (N11) (N) OUTDOOR AC UNIT
 - (N12) (N) LINE OF SOFFIT ABOVE
 - (N13) (N) ART DISPLAY WALL. BACK PAINTED GLASS WALL. CONCEALED ART SUPPORTS. RECESSED PEBBLE ROCK BED FLUSH WITH FLOOR.
 - (N14) (N) SHOWER NICHE. ALIGNED WITH TILE
 - (N15) (N) MIRROR/ED RECESSED MEDICINE CABINET

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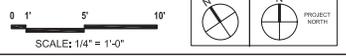
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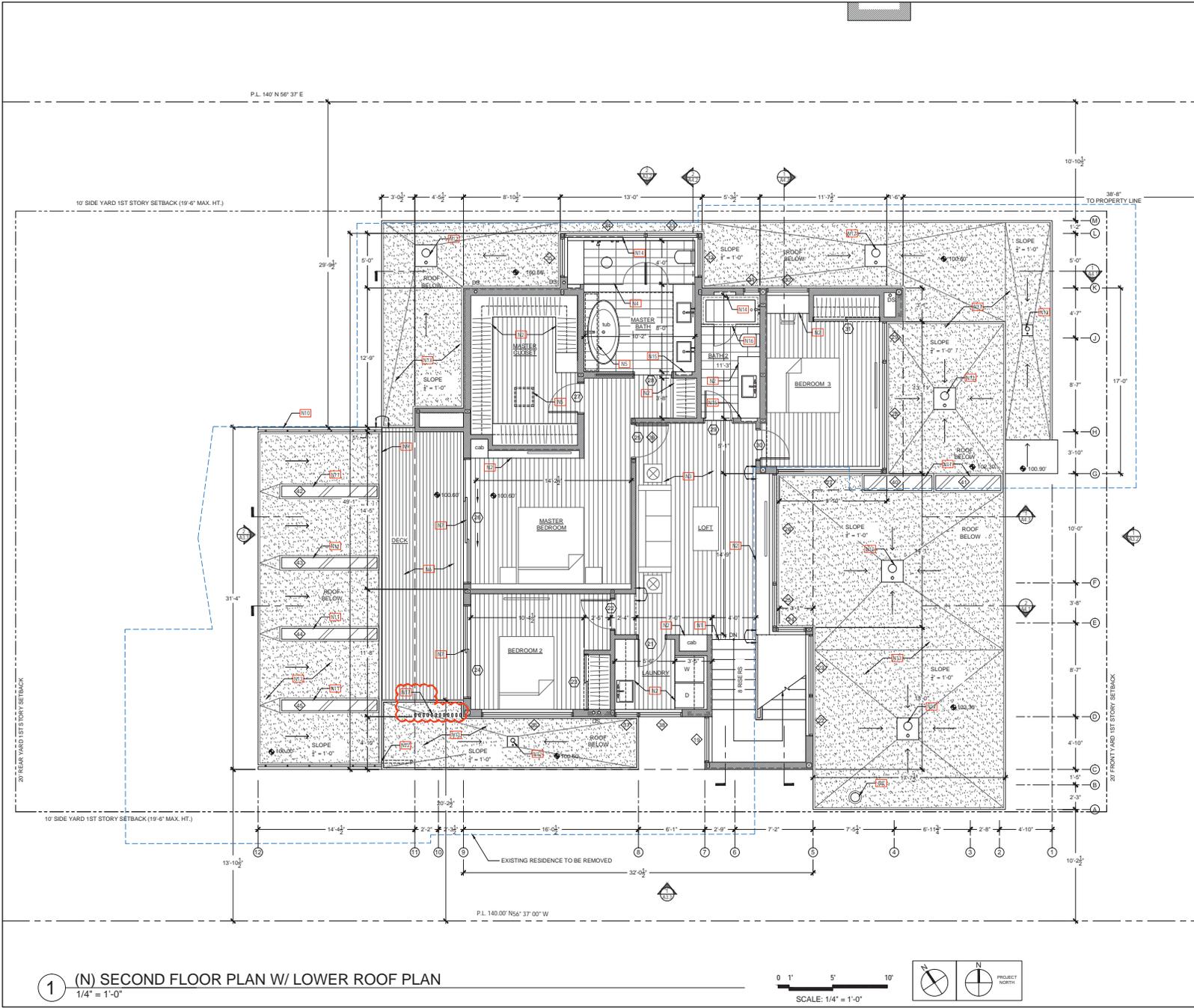
SHEET TITLE:
(N) First Floor Plan

Date	Issues & Revisions
08/11/16	Permit Submittal

- LEGEND:**
- (N) WALL
 - 1 HR RATED FIREWALL
 - ADJACENT PROPERTY
 - EXISTING RESIDENCE TO BE REMOVED
 - PROPOSED KEY NOTE
 - DEMOLITION / EXISTING KEY NOTE
 - DS. DOWNSPOUT

1 (N) FIRST FLOOR PLAN
1/4" = 1'-0"





GENERAL NOTES:
 1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
 2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

- PROPOSED KEY NOTES:**
- N1 (N) STAIR AND HANDRAIL. SEE SHEET A7.3
 - N2 (N) CABINETRY AND/OR FIXTURE
 - N3 (N) WOOD FLOORING
 - N4 (N) CURBLESS SHOWER W/ GLASS ENCLOSURE. SLOPE FLOOR 2"=1'-0" TO LINEAR TRENCH DRAIN. FIT TO WIDTH OF SHOWER
 - N5 (N) SKYLIGHT (ABOVE)
 - N6 (N) WOOD DECK
 - N7 (N) SLIDING DOOR
 - N8 (N) PAINTED METAL CHIMNEY FLUE
 - N9 (N) GLASS HANDRAIL W/ STAINLESS STEEL TRIM CAP
 - N10 (N) PATIO CANOPY
 - N11 (N) SKYLIGHT (BELOW)
 - N12 (N) ROOF DRAIN
 - N13 (N) TPO ROOFING. 1ST FLOOR ROOF ADJACENT TO 2ND FLOOR BALCONY TO RECEIVE LANDSCAPE PEBBLES @ TPO
 - N14 (N) SHOWER NICHE
 - N15 (N) MIRRORRED RECESSED MEDICINE CABINET
 - N16 (N) BATH TUB W/ GLASS SHOWER ENCLOSURE
 - N17 2X4 WOOD SLAT SCREEN (PER PLANNING COMMENT 5/11/18)

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SHEET TITLE:
 (N) Second Floor Plan w/ Lower Roof Plan

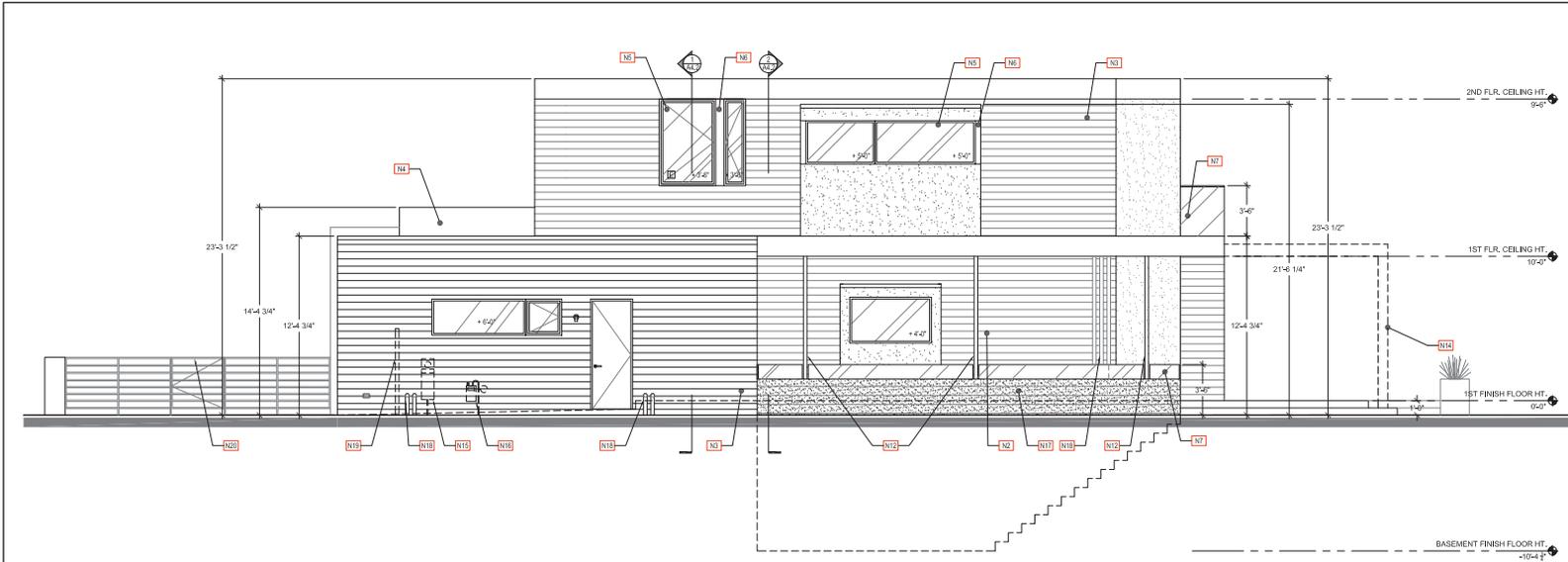
Date	Issues & Revisions
08/11/16	Permit Submittal

- LEGEND:**
- (N) WALL
 - 1 HR RATED FIREWALL
 - ADJACENT PROPERTY
 - EXISTING RESIDENCE TO BE REMOVED
 - PROPOSED KEY NOTE
 - DEMOLITION / EXISTING KEY NOTE
 - DS: DOWNSPOUT

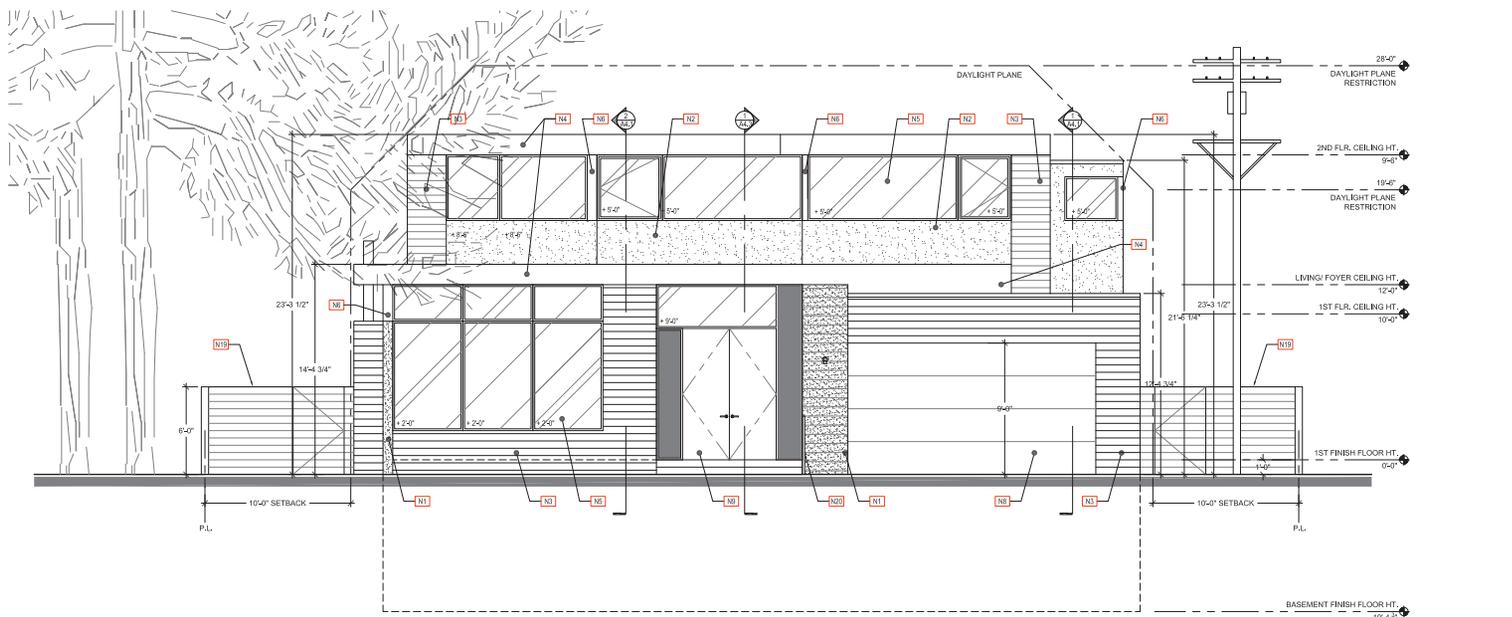
1 (N) SECOND FLOOR PLAN W/ LOWER ROOF PLAN
 1/4" = 1'-0"



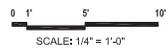
A2.4



2 (N) NORTH ELEVATION (RIGHT)
1/4" = 1'-0"



1 (N) EAST ELEVATION (FRONT)
1/4" = 1'-0"



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GENERAL NOTES:
1. VERIFY DIMENSIONS ON FIELD BEFORE CONSTRUCTION. REPORT ALL DISCREPANCIES TO ARCHITECT.
2. ALL DIMENSIONS ARE TO FACE OF FINISH MATERIAL.

PROPOSED KEY NOTES:

- N1 STONE TILE (LIGHT COLORED) WITH HONED-FILLED FINISH
- N2 SMOOTH FINISH STUCCO
- N3 1 x 6 WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.O.D.
- N4 METAL FASCIA
- N5 ALUMINUM WINDOWS BY FLEETWOOD OR EQ. (TYP. (REFER TO ELEVATIONS FOR SILL HEIGHTS))
- N6 BREAK METAL TO MATCH WINDOW FINISH
- N7 (N) GLASS RAILING WITH STAINLESS STEEL CAP
- N8 (N) PAINTED METAL GARAGE DOOR
- N9 (N) SOLID WOOD FRONT DOOR, FINISH T8D
- N10 (N) PAINTED METAL FIREPLACE FLUE
- N11 (N) STONE TILE FLOORING
- N12 (N) 3" DIA. PAINTED STEEL POST
- N13 (N) OUTDOOR AC UNIT
- N14 (N) METAL PATIO CANOPY TO MATCH METAL FASCIA (SHOWN HIDDEN FOR CLARITY)
- N15 (N) ELECTRIC METER
- N16 (N) GAS METER
- N17 BOARD FORM CONCRETE
- N18 PAINTED METAL DOWNSPOUTS
- N19 6'-0" H SIDE YARD FENCE W/ MAN GATE
- N20 4'-0" H METAL FLAT BAR FENCE W/ MAN GATE

LEGEND:

- N1 PROPOSED KEY NOTE
- +0'-0" INTERIOR SILL HEIGHT
- BEDROOM EGRESS WINDOW

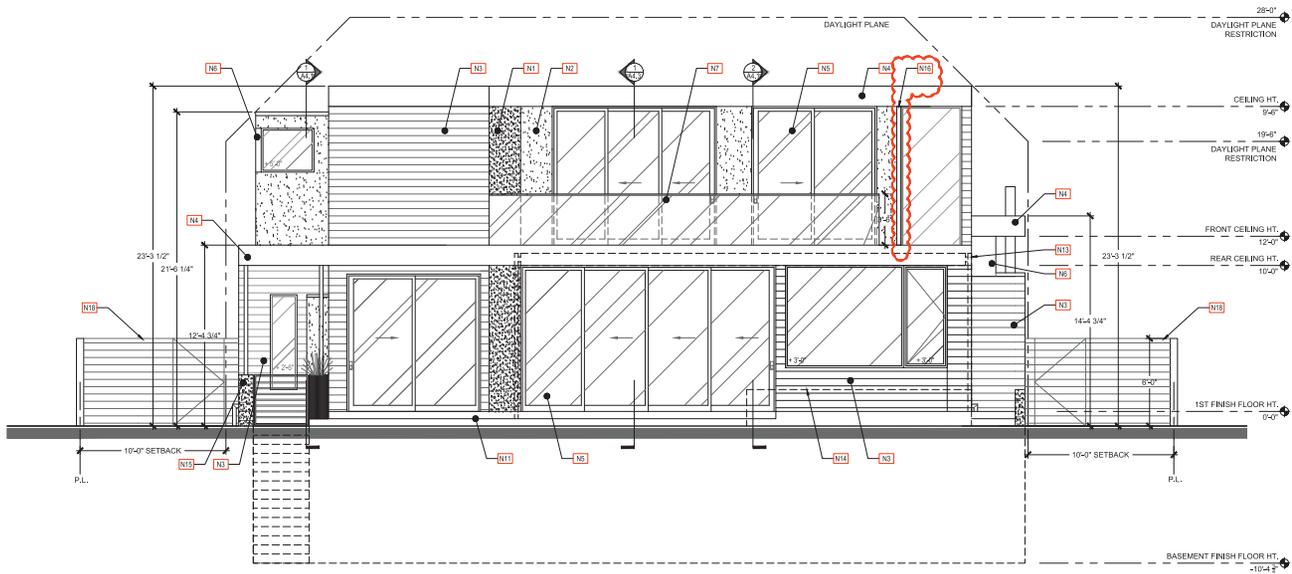
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SHEET TITLE:
(N) Exterior Elevations

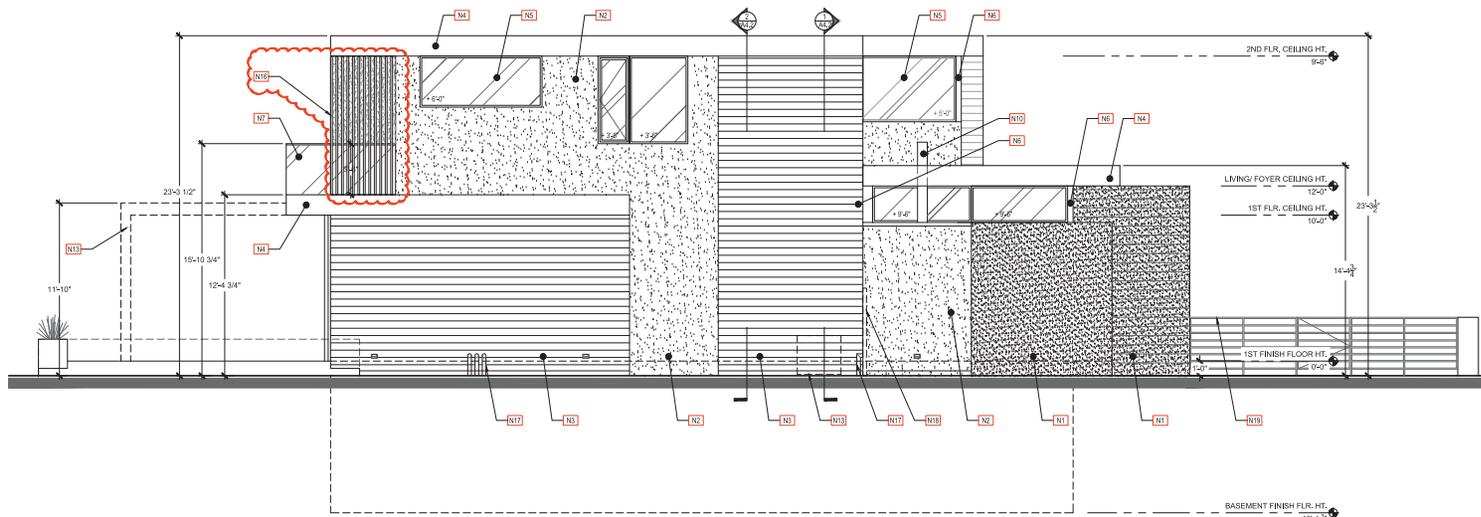
Date	Issues & Revisions
08/11/16	Permit Submittal

A3.2

UPDATED: 08/11/2016



2 (N) WEST ELEVATION (BACK)
1/4"=1'-0"



1 (N) SOUTH ELEVATION (LEFT)
1/4"=1'-0"

0 1' 5' 10'
SCALE: 1/4" = 1'-0"

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GENERAL NOTES:

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PROPOSED KEY NOTES:

- N1 STONE TILE (LIGHT COLORED) WITH HONED-FILLED FINISH
- N2 SMOOTH FINISH STUCCO
- N3 1 x 6 WESTERN RED CEDAR SHIP LAP SIDING, STAIN T.B.D.
- N4 METAL FASCIA
- N5 ALUMINUM WINDOWS BY FLEETWOOD OR EQ. (TYP), (REFER TO ELEVATIONS FOR SILL HEIGHTS)
- N6 BREAK METAL TO MATCH WINDOW FINISH
- N7 (N) GLASS RAILING WITH STAINLESS STEEL CAP
- N8 (N) PAINTED METAL GARAGE DOOR
- N9 (N) SOLID WOOD FRONT DOOR, FINISH TBD
- N10 (N) PAINTED METAL FIREPLACE FLUE
- N11 (N) STONE TILE FLOORING
- N12 (N) 3" DIA. PAINTED STEEL POST
- N13 (N) METAL PATIO CANOPY TO MATCH METAL FASCIA (SHOWN HIDDEN FOR CLARITY)
- N14 (N) PLANTER (SHOWN HIDDEN FOR CLARITY)
- N15 BOARD FORM CONCRETE
- N16 2X4 WOOD SLAT SCREEN (PER PLANNING COMMENT 6/11/16)
- N17 PAINTED METAL DOWNSPOUTS
- N18 6'-0" H SIDE YARD FENCE
- N19 4'-0" H METAL FLAT BAR FENCE WITH MAN GATE

LEGEND:

PROPOSED KEY NOTE

PERMIT SUBMITTAL

SHEET TITLE:
(N) Exterior Elevations

Date	Issues & Revisions
08/11/16	Permit Submittal

A3.3