



NOTICE OF APPLICATION SUBMITTAL

CITY OF MENLO PARK PLANNING DIVISION

NOTICE IS HEREBY GIVEN that the Planning Division of the City of Menlo Park, California has received a formal application for the following proposal:

Use Permit and Architectural Control/David Claydon/555 Willow Road:
Request for use permit and architectural control review to demolish an existing nonconforming office building (currently vacant) and construct a 16-bedroom, three-story boardinghouse. The project site is located in the R-3 (Residential Apartment) zoning district, and boarding houses are conditional uses in the R-3 zoning district. The proposed project would include eight parking spaces devoted to the boardinghouse, for a total of 14 on-site. As part of the project, the existing restaurant building, which is a nonconforming use, would remain. The site would continue to be nonconforming with regard to the square footage requirements for landscaping and parking and open driveways, although these nonconformities would not be intensified.

The application will require review and action by the Planning Commission at a scheduled public meeting. The date of the public meeting has not yet been determined. Once the proposal is scheduled for a specific meeting date, a second notice will be mailed with specific information on the meeting date, time and place. The second notice will be mailed 15 days prior to the meeting date.

The project file may be viewed by the public on weekdays between the hours of 7:30 a.m. and 5:30 p.m. Monday through Thursday and 8:00 a.m. to 5:00 p.m. on Friday, with alternate Fridays closed, at the Community Development Department, 701 Laurel Street, Menlo Park, California.

Please find attached to this notice, copies of the project plans and site information as submitted by the applicant. City staff has not completed review of the plans and site information as of the date of this notice. As a result of City staff review and public comment, the preliminary plans may be revised prior to any public meeting on this proposal. If you are interested in viewing revised project plans, they will be available for review at the City offices one week prior to the Planning Commission meeting, which will be advertised in the public hearing notice, and attached to the hard copy of the staff report which will be available on the Thursday prior to the meeting.

If you have any comments or questions on this proposal, please call Kyle Perata, Senior Planner, at (650) 330-6721 or email him at ktperata@menlopark.org. The Planning Division encourages submittal of comments and questions by September 1, 2016 in order for staff and the applicant to fully consider all comments and questions prior to the preparation of the staff report.

Si usted necesita más información sobre este proyecto, por favor llame al 650-330-6702, y pregunte por un asistente que hable español.

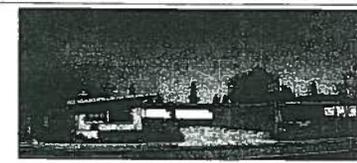
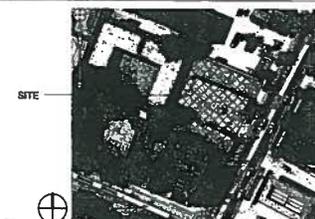


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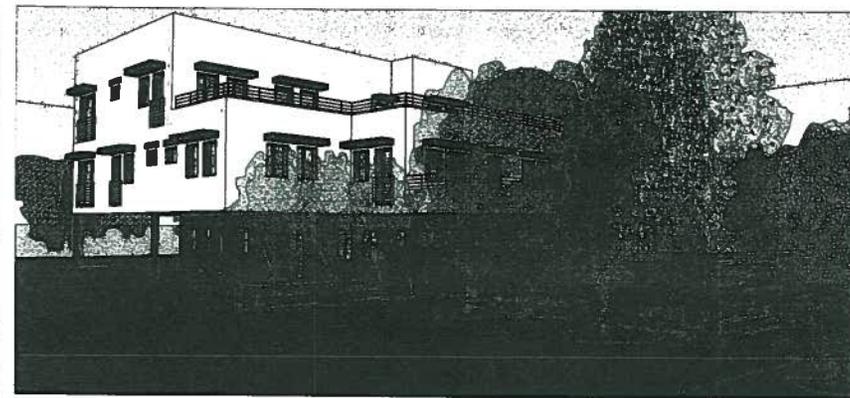
REDEVELOPMENT 555 WILLOW ROAD MENLO PARK, CA 94025 APN: 062285300

CITY OF MENLO PARK
BUILDING

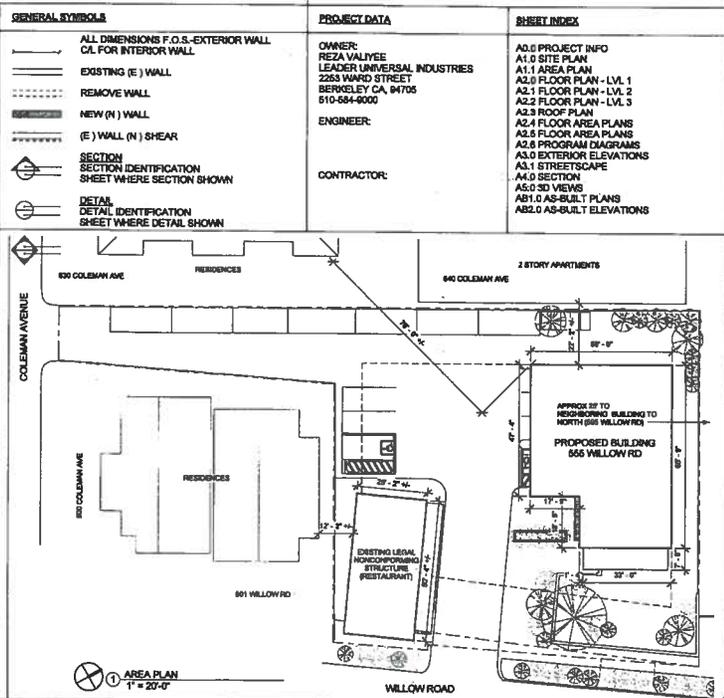


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ABBREVIATIONS	
AC	ACRE
ACOUS	ACOUSTICAL
AD	AREA DRAIN
ADJ	ADJUSTABLE
AL/ALUM	ALUMINUM
AP	ACCESS PANEL
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASMBLY	ASSEMBLY
ASPH	ASPHALT
BC	BOTTOM OF CURB
BOARD	BOARD
BTUM	BUTYLUM
BLOG	BUILDING
BLNG	BLOCKING
BM	BEAM
BO	BOTTOM OF
BOT	BOTTOM
BS	BOTTOM OF SLOPE
CAB	CABINET
CB	CATCH BASIN
CCTV	CLOSED CIRCUIT TELEVISION
CCTM	CEMENT
CER	CERAMIC
CF	CUBIC FEET
CI	CAST IRON
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLNG	CAULKING
CLO	CLOSET
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CORR	CORRIDOR
CT	CERAMIC TILE
CTR	CENTER
CTEK	COUNTERSINK
CW	CURTAIN WALL
CY	CUBIC YARD
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
DF	DRINKING FOUNTAIN
DM	DIAMETER
DM	DIMENSION
DSP	DISPENSER
DN	DOWN
DO	DOOR OPENING
DR	DOOR
DS	DOWNSPOUT
E	EAST
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
EOD	EDGE OF DECK
EOS	EDGE OF SLAB
EQ	EQUAL
EQT	EQUIPMENT
ESC	ESCALATOR
EW	EACH WAY
EXP	EXPANSION
EXPO	EXPOSED
EXT	EXTERIOR
EXTG	EXISTING
FA	FIRE ALARM
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FL	FRESH FLOOR LINE
FG	FINISHED GRADE
FN	FINISH
FXT	FIXTURE
FL	FLOOR
FDC	FACE OF CONCRETE
FP	FACE OF FINISH
FOM	FACE OF MASONRY
FOB	FACE OF STUD / FACE OF STEEL
FOW	FACE OF WALL
FRPF	FRSEPROOF
FS	FULL SIZE
FOOT	FOOT OR FEET
FTG	FOOTING
FURR	FURSING
FUT	FUTURE
GAL	GAUGE
GALLON	GALLON
GALV	GALVANIZED
GB	GYPSPUM BOARD
GD	GRADE
GL	GLASS
GND	GROUND
GYP	GYPSPUM
S	SOUTH OR SLOPE
SC	SOLID CORE
SCD	SEE CIVIL DRAWINGS
SCHED	SCHEDULE
SD	SOAP DISPENSER
SEC	SECTION
SE	SEE ELECTRICAL DRAWINGS
SF	SQUARE FOOT (FEET)
SHT	SHEET
SM	SIMILAR
SMD	SEE MECHANICAL DRAWINGS
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
HT	HEIGHT
HWR	HIGHWAY
ID	INSIDE DIAMETER
IE	INVERT ELEVATION
IN	INCHES
INDUS	INDUSTRIAL
INSUL	INSULATION
INT	INTERIOR
JOINT(S)	JOINT(S)
LA	LANDSCAPE ARCHITECT
LAM	LAMINATE
LAV	LAVATORY
LC	LANDSCAPE CONTRACTOR
LINEAL FEET	LINEAL FEET
LOOKER	LOOKER
LOW POINT	LOW POINT
LT	LIGHT
LTS	LIGHTING
LWP	LOWER WORKING POINT
MAXIMUM	MAXIMUM
MCH	MECHANICAL
MEM	MEMBRANE
MET	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MTD	MOUNTED
MULL	MULLION
UNFINISHED	UNFINISHED
UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
N	NORTH
NC	NOT IN CONTRACT
NO	NUMBER
NOM	NORMAL
NTS	NOT TO SCALE
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VFP	VERIFY IN FIELD
W	WEST
W	WITH
W/O	WITHOUT
W/HS	W/HS
WC	WATER CLOSET
WD	WOOD
W/P	WATERPROOF
WT	WEIGHT
WWF	WELDED WIRE FABRIC
WH	WAREHOUSE
W/C	WATER CLOSET
W/O	WOOD
W/P	WATERPROOF
WT	WEIGHT
WWF	WELDED WIRE FABRIC
PLATE	PLATE
PLM	PLASTER LAMINATE
PLAS	PLASTER
PLYND	PLYWOOD
PNL	PANEL
PR	PAIR
PT	POINT, PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
QUARTZ TILE	QUARTZ TILE
R	REINFORCED
RB	RESILIENT BASE
ROP	REINFORCED CONCRETE PIPE
ROD	ROOF DRAIN
REF	REFERENCE



PROJECT DATA			
DEVELOPMENT STANDARDS:	PROPOSED DEVELOPMENT	EXISTING PROJECT	ZONING ORDINANCE
LOT AREA	18,455 SF	18,455 SF	
LOT WIDTH	237'	237'	
LOT DEPTH	127.84'	127.84'	
SETBACKS			
FRONT	20'	20'	20'
REAR	20'	20'	20'
SIDE LEFT	10'	10'	10'
SIDE RIGHT	10'	10'	10'
BUILDING COVERAGE	18.2% = 2,983.43 SF	13.5% = 2,498.00 SF	30% = 5,536.50 SF MAX
FAR FLOOR AREA RATIO	40.8% = 7,530.55 SF	13.5% = 2,498.00 SF	45% = 8,304.75 SF MAX
SQUARE FOOTAGE BY FLOOR			
RESTAURANT	1,298.72	1,068.00	
1ST FLOOR	2,188.43	1,400.00	
2ND FLOOR	2,825.82		
3RD FLOOR	1,586.78		
SQUARE FOOTAGE OF BUILDING	7,530.55 SF	2,498.00 SF	
MAX. BUILDING HEIGHT	34'		35'
LANDSCAPE AREA	17.1% = 3,160.07 SF		50% = 9,227.50 SF MIN
PAVING	14.1% = 2,602.93 SF		
PARKING	14 SPACES (4 COVERED)	20 SPACES	
PARKING & DRIVEWAY AREA	48.24% = 8,902.96 SF ± (E)	68.55% = 12,654 SF	20% = 3,691.00 SF
DEFINE BASIS FOR PARKING		RESIDENTIAL PARKING SPACES REQUIRED 16 UNITS = 8 SPACES TOTAL 1/4 of 8 TO BE COVERED	
CODE COMPLIANCE	ZONING COMPLIANCE	CONTRACTOR'S NOTE	
APPLICABLE CODES & STANDARDS CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA RESIDENTIAL CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 2013 EDITION OF TITLE 24 STANDARDS	ZONE R-3 APARTMENT, AS DEFINED IN THE ZONING ORDINANCE R-3 APARTMENT ZONING DISTRICT, CHAPTER 16.20 MAXIMUM DENSITY NUMBER OF RESIDENTIAL UNITS: 18,456/3,333 = 6 UNITS CAR PARKING REQUIREMENT 2 UNITS PER ONE PARKING SPACE. HALF OF THOSE SHALL BE COVERED PARKING SPACES.	THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL OF CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENT. THE GENERAL CONTRACTOR FOR THE PROJECT SHALL BE ULTIMATELY RESPONSIBLE FOR INSURING THAT THE FINISHED PRODUCT COMPLIES WITH ALL REGULATIONS, LAWS AND CODE REQUIREMENTS.	
SCOPE OF WORK	(S) RESTAURANT AND PATIO TO REMAIN W/ FACADE MODIFICATION. CONSTRUCT NEW ROOMING HOUSE, INCLUDING 8 PARKING SPACES 4 COVERED, 4 NOT COVERED.		



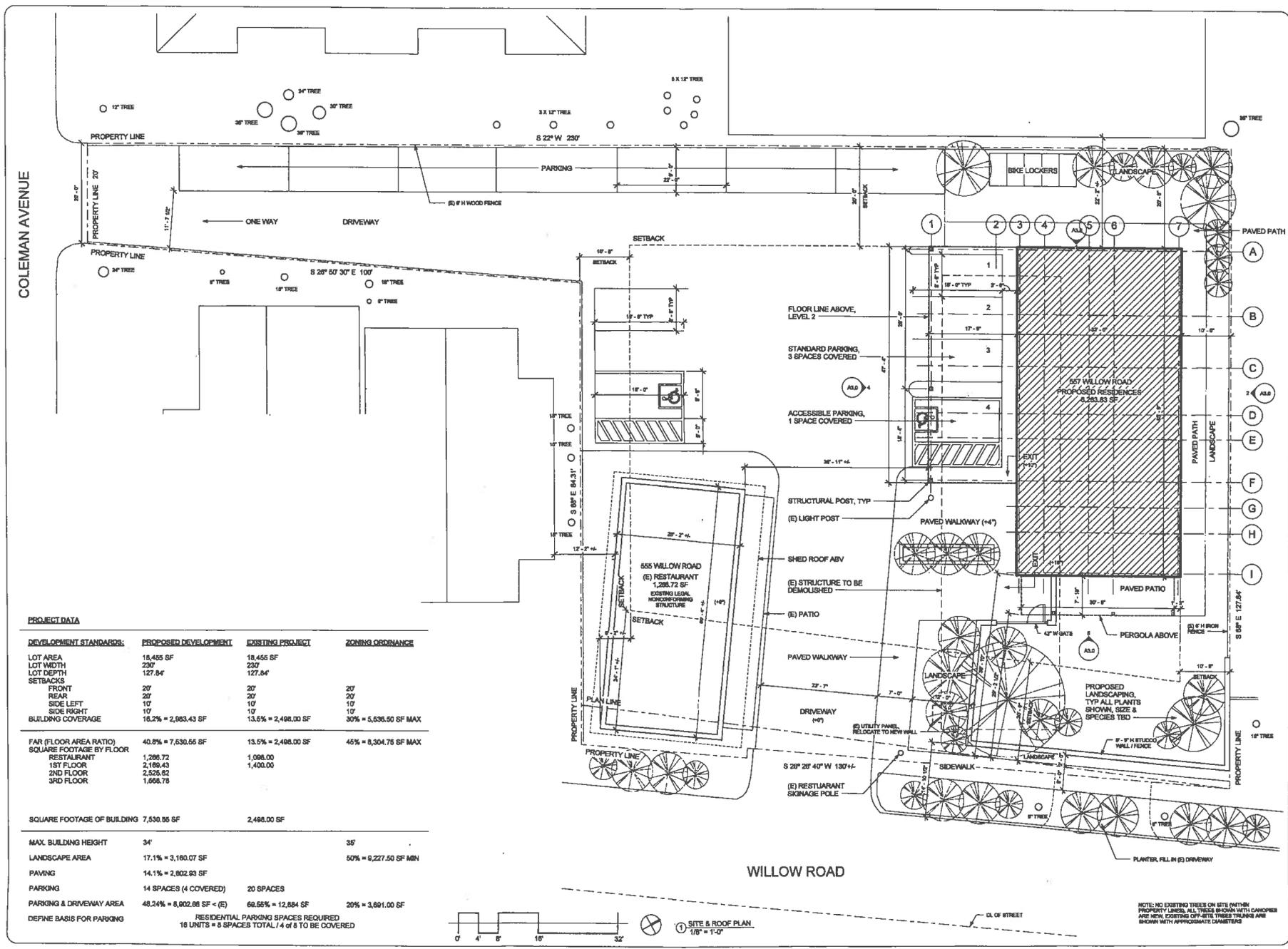
REDEVELOPMENT
555 WILLOW ROAD
MENLO PARK, CA 94025

DRAWN XX
CHECKED XX
DATE 08.03.2016
SCALE As indicated
JOB NO 12-05
SHEET PROJECT INFORMATION
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REDEVELOPMENT
555 WILLOW ROAD
MENLO PARK, CA 94025

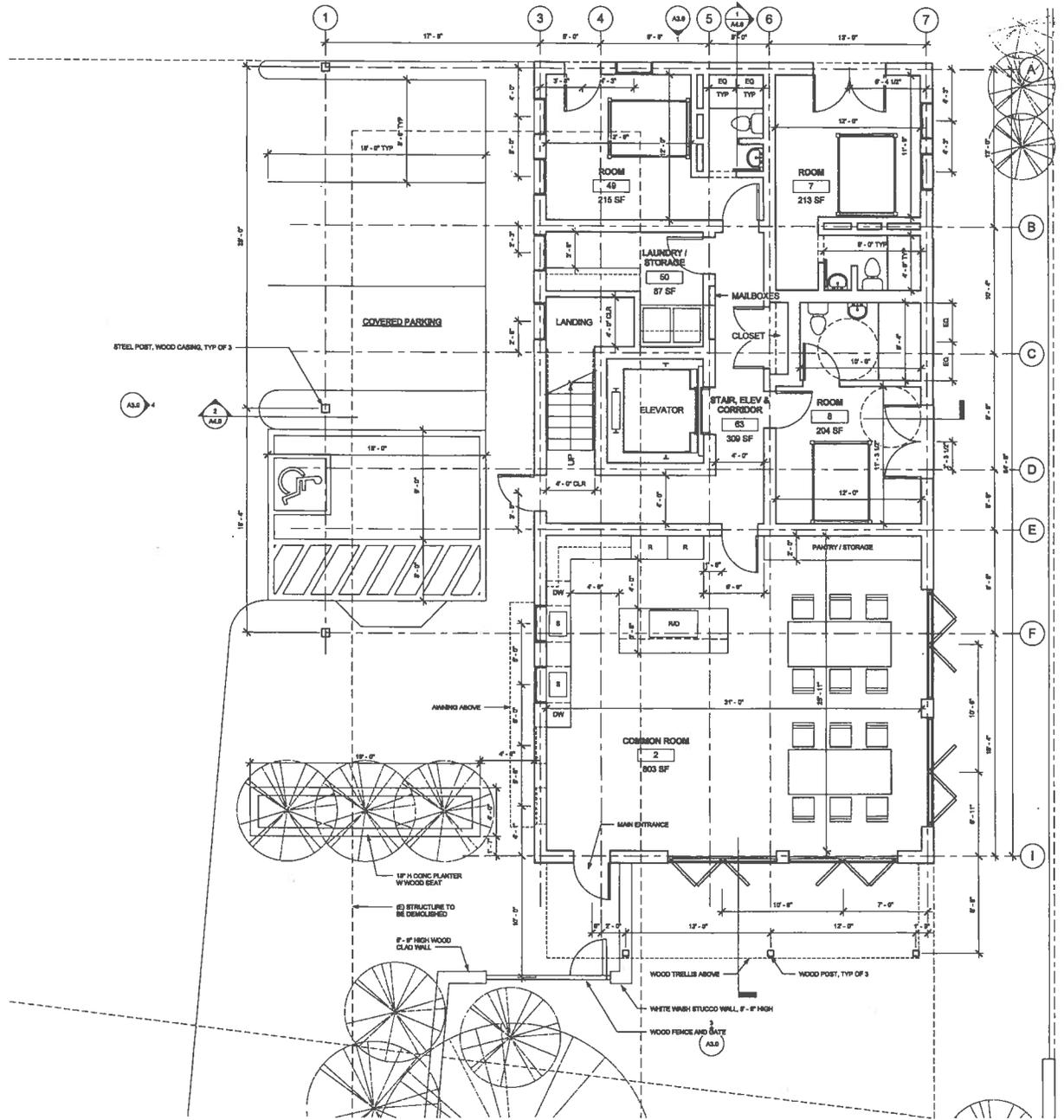
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 DATE 06.03.2016
 SCALE 1/8" = 1'-0"
 JOB NO 12-05
 SHEET SITE PLAN
 NOT FOR CONSTRUCTION
A1.0



PROJECT DATA

DEVELOPMENT STANDARDS:	PROPOSED DEVELOPMENT	EXISTING PROJECT	ZONING ORDINANCE
LOT AREA	18,455 SF	18,455 SF	
LOT WIDTH	230'	230'	
LOT DEPTH	127.84'	127.84'	
SETBACKS			
FRONT	20'	20'	20'
REAR	20'	20'	20'
SIDE LEFT	10'	10'	10'
SIDE RIGHT	10'	10'	10'
BUILDING COVERAGE	16.2% = 2,883.43 SF	13.5% = 2,498.00 SF	30% = 5,536.50 SF MAX
FAR (FLOOR AREA RATIO)	40.8% = 7,530.55 SF	13.5% = 2,498.00 SF	45% = 8,304.75 SF MAX
SQUARE FOOTAGE BY FLOOR			
RESTAURANT	1,286.72	1,098.00	
1ST FLOOR	2,160.43	1,400.00	
2ND FLOOR	2,525.82		
3RD FLOOR	1,658.78		
SQUARE FOOTAGE OF BUILDING	7,530.55 SF	2,498.00 SF	
MAX. BUILDING HEIGHT	34'		35'
LANDSCAPE AREA	17.1% = 3,180.07 SF		50% = 9,227.50 SF MIN
PAVING	14.1% = 2,602.93 SF		
PARKING	14 SPACES (4 COVERED)	20 SPACES	
PARKING & DRIVEWAY AREA	48.24% = 8,802.88 SF - (E)	62.55% = 12,684 SF	20% = 3,691.00 SF
DEFINE BASIS FOR PARKING	RESIDENTIAL PARKING SPACES REQUIRED 16 UNITS = 8 SPACES TOTAL / 4 OF 8 TO BE COVERED		

NOTE: NO EXISTING TREES ON SITE (WITHIN PROPERTY LINES), ALL TREES SHOWN WITH CANOPIES AND NEW, EXISTING OFF-SITE TREES TRUNKS ARE SHOWN WITH APPROPRIATE DIAMETERS



LEVEL 1
 2,186.43 SF TOTAL

ROOM TYPES:
 - COMMON ROOM
 - 2 STANDARD RESIDENTIAL UNITS (200 SF MIN)
 - 1 ACCESSIBLE RESIDENTIAL UNIT (200 SF MIN)
 - LAUNDRY / STORAGE
 - CLOSET
 - MAILBOXES

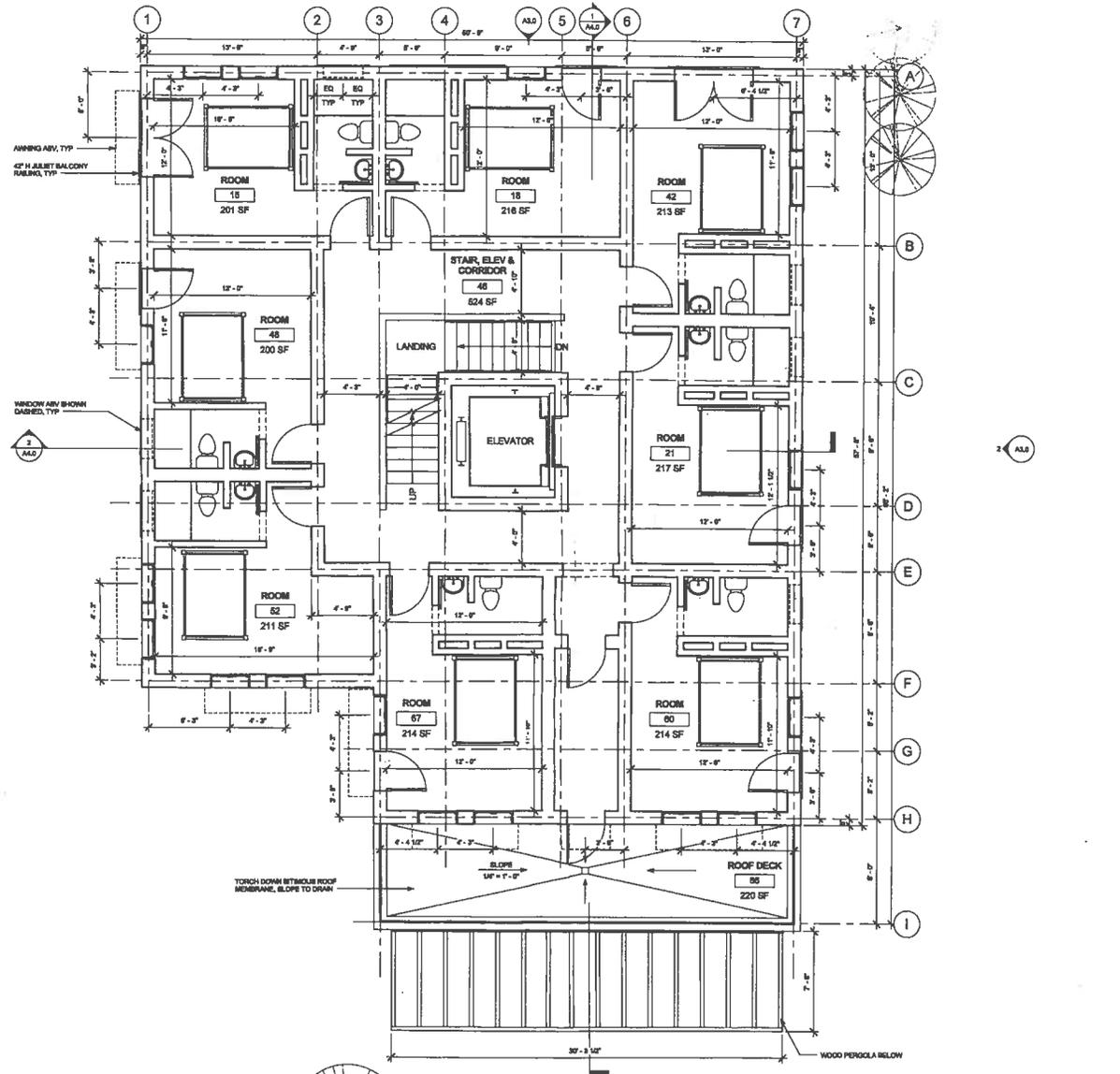
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REDEVELOPMENT
555 WILLOW ROAD
MENLO PARK, CA 94025

DRAWN	XX
CHECKED	XX
DATE	06.03.2016
SCALE	1/4" = 1'-0"
JOB NO	12-05
SHEET	FLOOR PLAN - LEVEL 1
1.0	

NOT FOR CONSTRUCTION

1 FLOOR PLAN - LEVEL 1
 1/4" = 1'-0"



LEVEL 2
 2,526.82 SF TOTAL

ROOM TYPES:
 - 8 RESIDENTIAL UNITS (200 SF MIN)
 - ROOF DECK

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REDEVELOPMENT
 555 WILLOW ROAD
 MENLO PARK, CA 94025

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CHECKED
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DATE
 06.03.2016

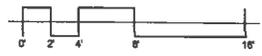
SCALE
 1/4" = 1'-0"

JOB NO
 12-05

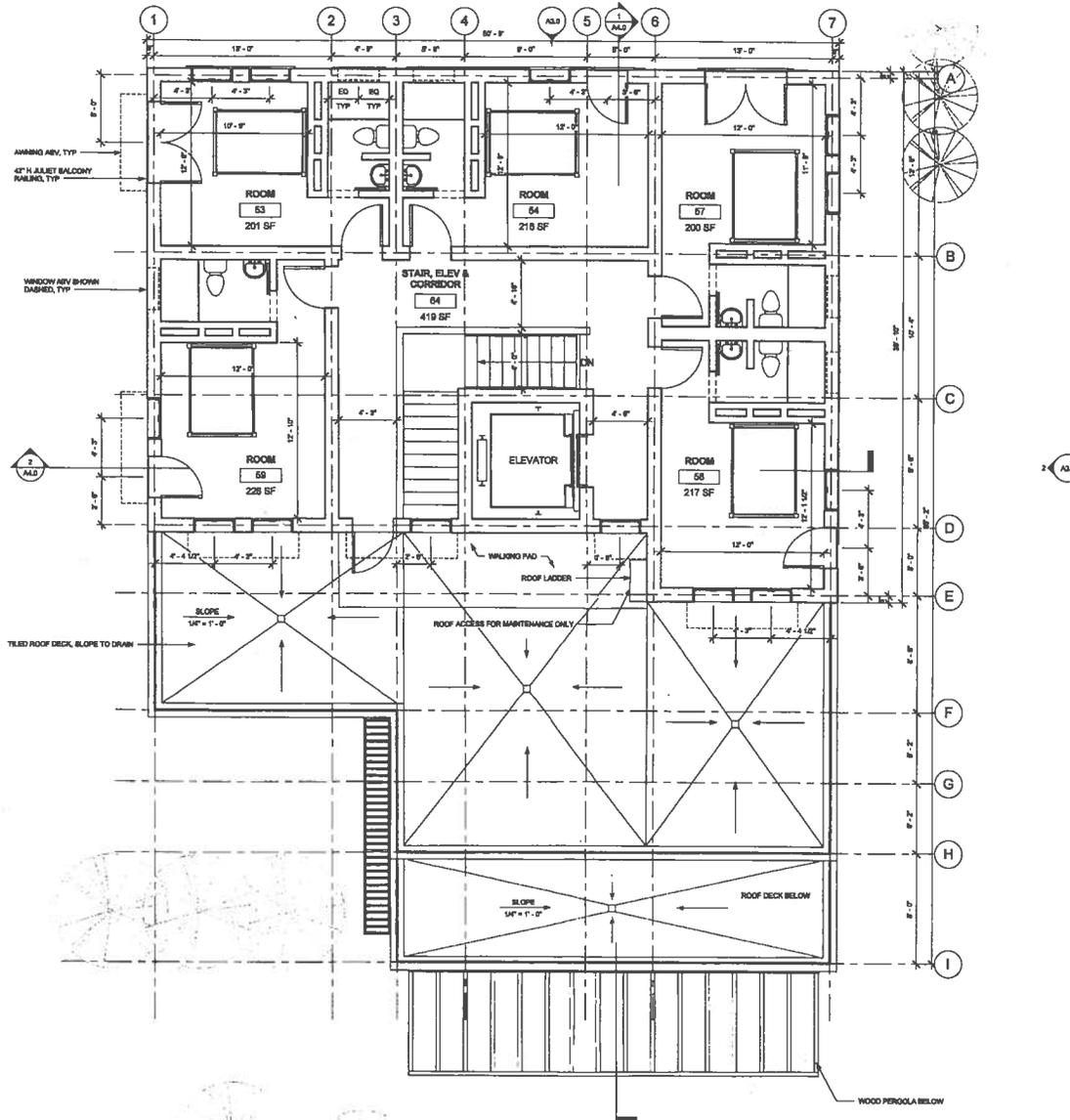
SHEET
 FLOOR PLAN - LEVEL 2

A2.1

NOT FOR CONSTRUCTION



1 FLOOR PLAN - LEVEL 2
 1/4" = 1'-0"

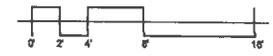


LEVEL 3
 1,862.76 SF TOTAL
 ROOM TYPES:
 - 5 RESIDENTIAL UNITS (200 SF MIN)
 - ROOF ACCESS

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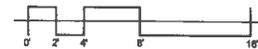
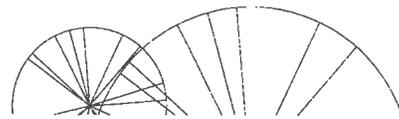
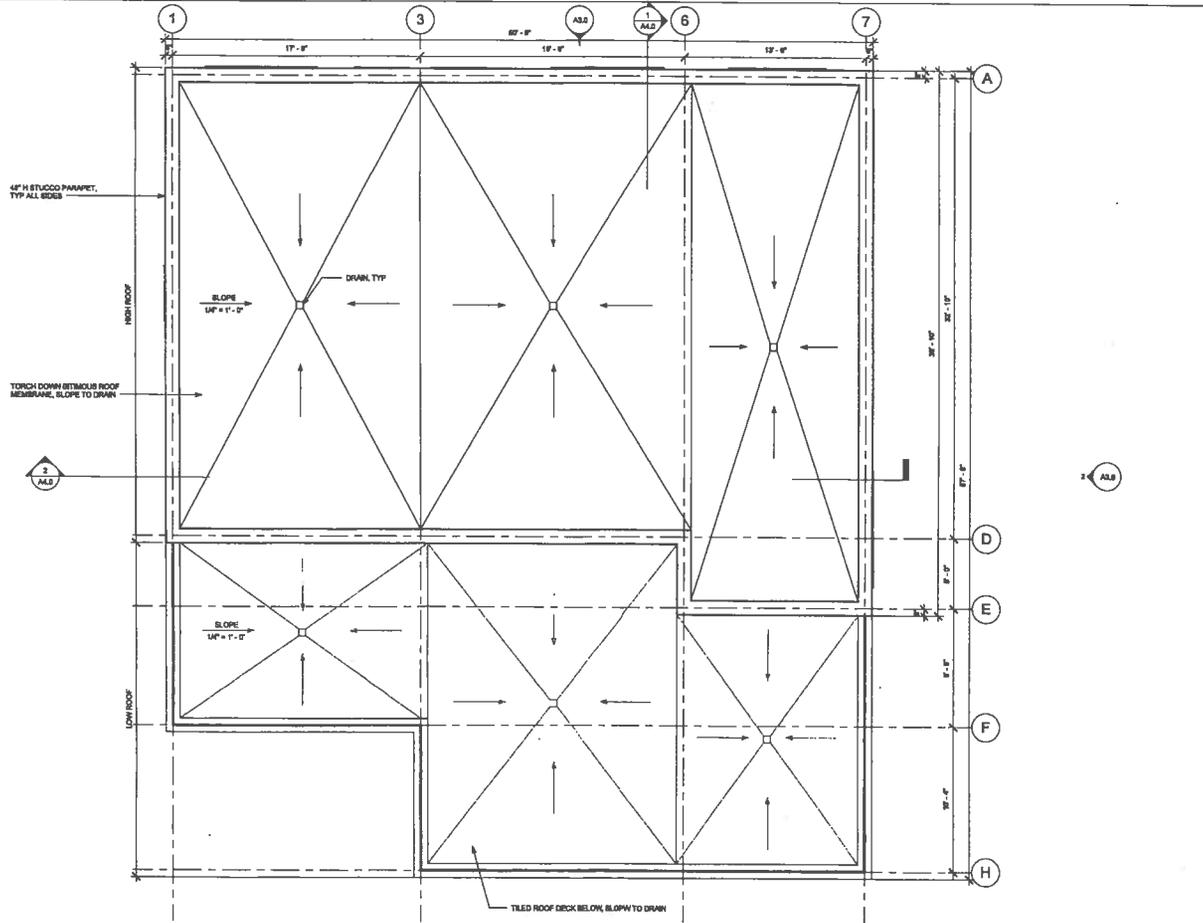
REDEVELOPMENT
 555 WILLOW ROAD
 MENLO PARK, CA 94025

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 CHECKED XX
 DATE 08.03.2016
 SCALE 1/4" = 1'-0"
 JOB NO 12-05
 SHEET FLOOR PLAN - LEVEL 3



① FLOOR PLAN - LEVEL 3
 1/4" = 1'-0"

A2.2
 NOT FOR CONSTRUCTION

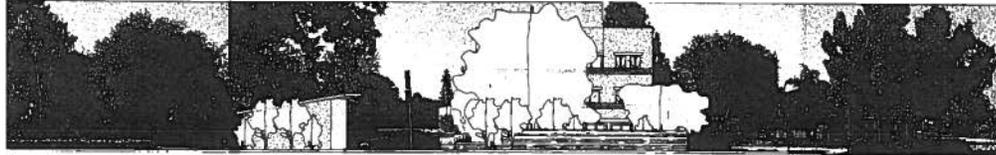


1 ROOF PLAN
1/4" = 1'-0"

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REDEVELOPMENT
555 WILLOW ROAD
MENLO PARK, CA 94025

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DATE	06.03.2016
SCALE	1/4" = 1'-0"
JOB NO	12-05
SHEET	ROOF PLAN
A2.3	

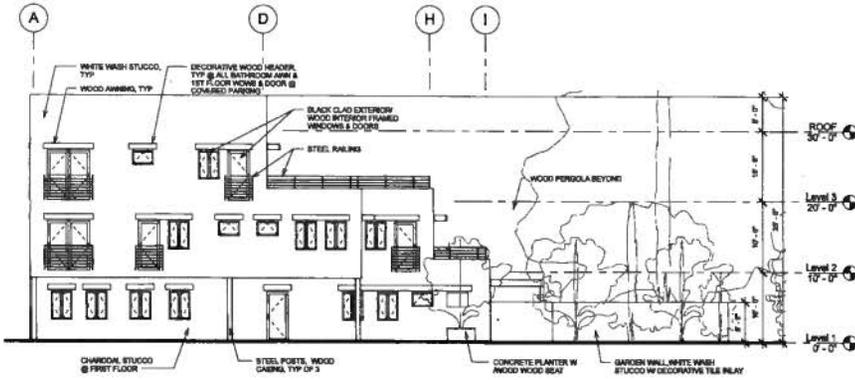


⑥ STREETScape
1/8" = 1'-0"

SEE MATERIAL NOTES ON SOUTH ELEVATION 4A.

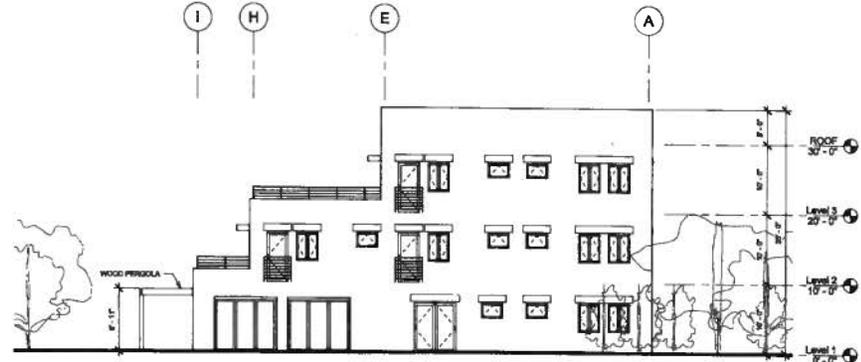
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④ SOUTH (LEFT) ELEVATION
1/8" = 1'-0"

SEE MATERIAL NOTES ON SOUTH ELEVATION 4A.



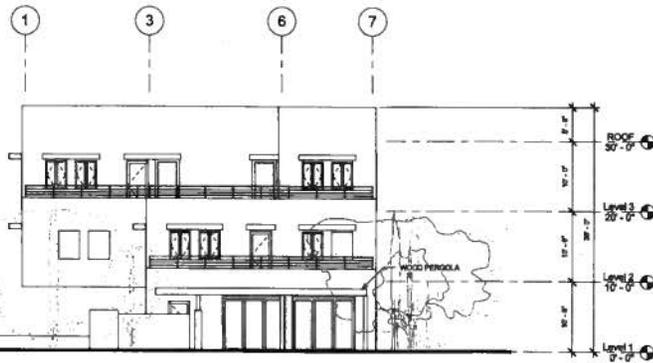
② NORTH (RIGHT) ELEVATION
1/8" = 1'-0"

SEE MATERIAL NOTES ON SOUTH ELEVATION 4A.

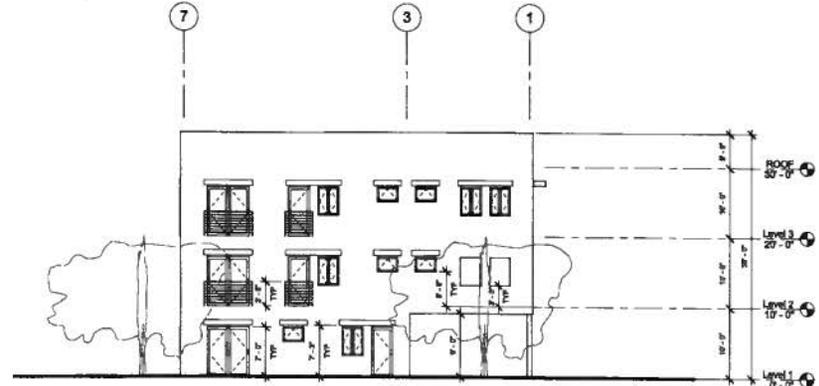
REDEVELOPMENT
555 WILLOW ROAD
MENLO PARK, CA 94025

DRAWN XX
CHECKED XX
DATE 06.03.2018
SCALE As Indicated
JOB NO 12-05
SHEET EXTERIOR ELEVATIONS
A3.0

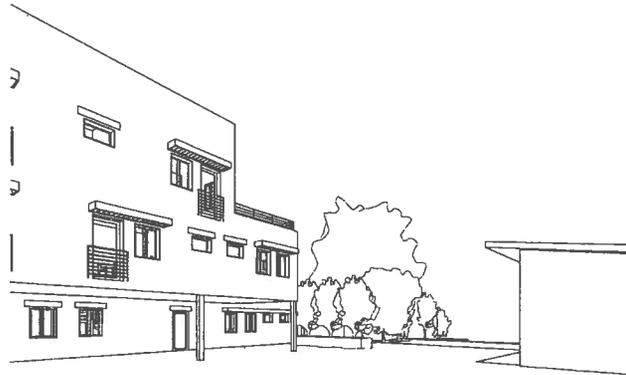
NOT FOR CONSTRUCTION



③ EAST (FRONT) ELEVATION
1/8" = 1'-0"



① WEST (REAR) ELEVATION
1/8" = 1'-0"



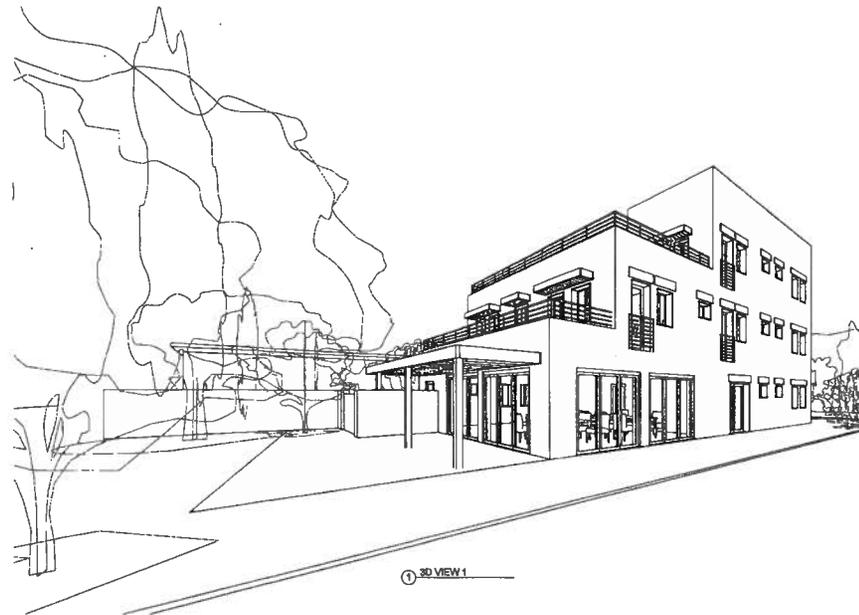
④ 3D VIEW 4



② 3D VIEW 2



③ 3D VIEW 3



① 3D VIEW 1

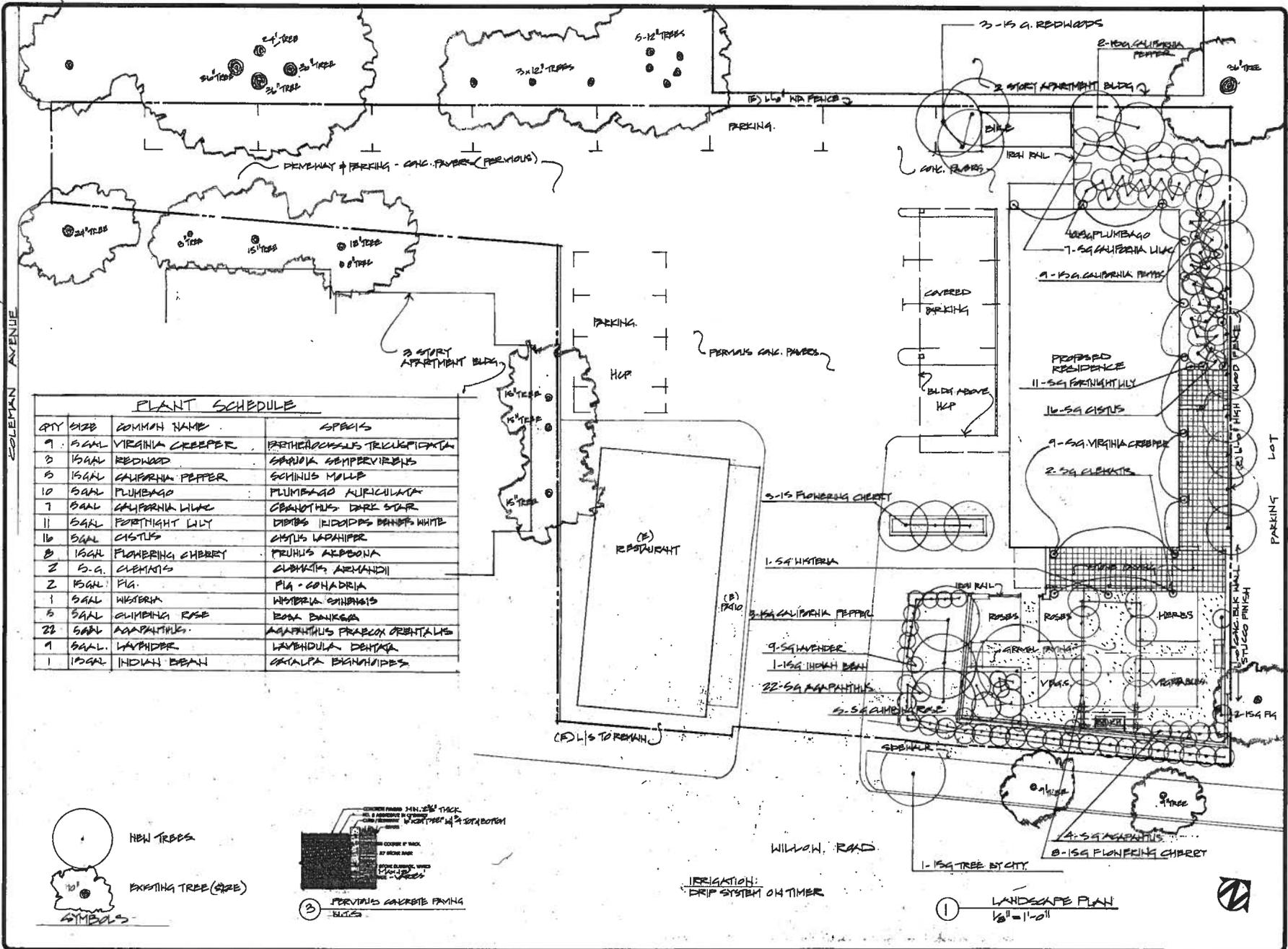
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REDEVELOPMENT
 555 WILLOW ROAD
 MENLO PARK, CA 94025

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 DATE
 06.03.2016
 SCALE

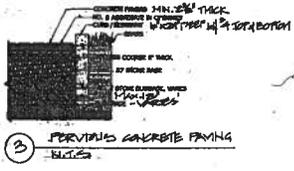
JOB NO
 12-05
 SHEET
 3D VIEWS

NOT FOR CONSTRUCTION
A5.0



PLANT SCHEDULE

QTY	SIZE	COMMON NAME	SPECIES
9	3 GAL	VIRGINIA CREEPER	BATHYRACHIS TRICUCULATA
0	15 GAL	REDWOOD	SEQUOIA SEMPERVIRENS
5	15 GAL	CALIFORNIA PEPPER	SCHINUS MOLLE
10	5 GAL	PLUMBAGO	PLUMBAGO AUFICULATA
7	5 GAL	CALIFORNIA LILAC	CELANOTHUS DARK STAR
11	5 GAL	FORTNIGHT LILY	DIAPHS ILLINOIS BLENDS WHITE
16	5 GAL	CISTUS	CISTUS LADANIFER
2	15 GAL	FLOWERING CHERRY	PRUNUS ALBONA
2	S.G.	CLEMATIS	CLEMATIS ARMANDII
2	15 GAL	FIG	FIG - CONADRIA
1	5 GAL	WISTERIA	WISTERIA SINENSIS
5	5 GAL	CLIMBING ROSE	ROSA BANKSA
22	5 GAL	ASAPANTHUS	ASAPANTHUS PRABOX ORIENTALIS
1	5 GAL	LAVENDER	LAVENDULA DENTATA
1	10 GAL	INDIAN BEAN	CAHALPA BIGNONIODES



REVISION	BY

REDEVELOPMENT
555 WILLOW ROAD
 MENLO PARK, CA 94025

LANDSCAPE PLAN &
 PLANTING SCHEDULE

DRAWN	CHECKED
A-02-16	1/2" SCALE
12-03	1/8" = 1'-0"
	1/2" = 1'-0"

L1.0

OF SHEETS